



THE CITY OF DAWSON

AGENDA - COUNCIL MEETING #C23-18

TUESDAY, November 21, 2023 at 7:00 p.m.

Council Chambers, City of Dawson Office

Join Zoom Meeting

<https://us02web.zoom.us/j/84357945943?pwd=d2Zjbm9WU3ZvamZwQmVKcFdWWitBUT09>

Meeting ID: 843 5794 5943

Passcode: 438307

1. CALL TO ORDER

2. ADOPTION OF THE AGENDA

1. Council Meeting Agenda #C23-18

3. DELEGATIONS & GUESTS

1. Laurie Berglund- Possible Uses of CBC Building
2. Mike Ellis- Dawson City Ambulance Association

4. BUSINESS ARISING FROM DELEGATIONS & GUESTS

5. PUBLIC HEARINGS

1. Subdivision Application #23-103-Lots 7 to 10, Block D, Ladue Estate
2. Rezoning Application #23-088-Lot 2, Block U, Ladue Estate
3. Zoning Bylaw Amendment No. 27 (Bylaw #2023-17)

6. ADOPTION OF THE MINUTES

1. Council Meeting Minutes C23-16 of October 4, 2023
2. Council Meeting Minutes C23-17 of October 17, 2023

7. BUSINESS ARISING FROM MINUTES

8. SPECIAL MEETING, COMMITTEE, AND DEPARTMENTAL REPORTS

1. Subdivision Application #23-103-Lots 7 to 10, Block D, Ladue Estate
2. Dredge Pond II Master Plan
3. Recreation Fund and Community Grants Fund- September Intake

9. BYLAWS & POLICIES

1. Council Proceedings Bylaw Amendment No. 1 Bylaw (#2023-16)- Third Reading
2. Zoning Bylaw Amendment No. 25 (#2023-14)- Second and Third Reading
3. Zoning Bylaw Amendment No. 27 (#2023-17)- First Reading

10. CORRESPONDENCE

1. RCMP Monthly Policing Report- August
2. RCMP Monthly Policing Report- September

11. IN CAMERA-LEGAL & LAND MATTERS

12. ADJOURNMENT

PROPOSAL FOR USE OF THE HISTORIC FRONT STREET CIBC BUILDING

Community Use Supporting Healthy Living



Submitted by individuals within a community-oriented group committed to fostering, promoting, and offering alternatives for healthy living to the residents of Dawson City, Yukon.

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PROJECT/PROPOSAL OVERVIEW

- We are a passionate collective of community members committed to establishing a non-profit organization aimed at promoting and fostering alternative opportunities and experiences that encourage a healthy, substance-free lifestyle.
- Our mission is to collaborate with individuals and organizations to address mental health and substance use concerns within our town.
- The focal point of this proposal is to secure a venue for these initiatives. We propose utilizing the Old CIBC Building, currently undergoing restoration in Dawson City, Yukon, to create a dedicated space for our activities. This historic location will serve as a hub for our efforts in supporting, encouraging, and providing avenues for living healthy, substance-free lifestyles.
- By repurposing this iconic building, we aim to establish a welcoming environment that fosters community engagement and addresses the critical issues of mental health and substance use.
- We look forward to the opportunity of working collaboratively with all stakeholders to make a positive impact on the well-being of our community.

BACKGROUND & RATIONALE

WHO ARE WE? Our group is comprised of individuals with firsthand experiences dealing with mental health and substance use challenges. Informed by our personal journeys and our connections with fellow Dawsonites, we deeply understand the complexities surrounding these issues.

WHO DO WE REPRESENT? Seeking representation and input from the citizens of Dawson who have encountered the impacts of unhealthy living practices, our group's opinions and actions align with a broad spectrum of individuals desiring increased access to alternative and healthy lifestyles.

WHY THIS BUILDING? The historic CIBC building stands as a magnificent structure with the potential to become a central hub for a diverse array of services promoting healthy living. We advocate for its accessibility to all Dawson City residents, envisioning it as a multifunctional space catering to the diverse needs of our community. Its prime location and size make it an ideal venue to host numerous activities and services.

WHAT WOULD THIS BUILDING BE USED FOR? While this proposal outlines some envisioned uses for the building, it is not an exhaustive list. Decision-making on services will be guided by ongoing research and community input, ensuring alignment with the community's evolving needs and desires. Our commitment lies in fulfilling our mandate to provide opportunities for healthy, substance-free experiences and services.

WHY CHOOSE US AND OUR VISION? As a non-profit group, we believe we are well-suited to oversee and direct the utilization of this building. Our motivation stems from a genuine desire to meet the diverse needs of potential users who share our vision for increased opportunities in healthy, substance-free experiences. Unencumbered by profit concerns, we bring a bias-free perspective, dedicated to fostering a community where our collective vision becomes a reality.

OUR VISION FOR THE BUILDING

- Our envisioned purpose for this Historic CIBC Building is as a versatile space dedicated to promoting, supporting, and facilitating diverse healthy living experiences.
- On the upper floor, we envision a dual-use space. By day, a welcoming snack bar accessible to all age groups, offering a panoramic view of the river. As evening falls, this area could transform into a non-alcoholic bar or coffee house, providing a serene setting for adult-focused activities. We anticipate the addition of an outdoor patio to capitalize on the scenic river view, creating an ideal spot for patrons to enjoy during the day. Depending on community preferences, this upper area could serve as an inclusive eating establishment or an alternative snack and activity venue open to all ages.
- In the evening, the space could transition into an adult-only venue, hosting planned activities and featuring an alcohol-free bar. Live music, dancing, games, karaoke, and other social events are among the ideas aimed at providing a substance-free alternative to traditional bar scenes.
- The main floor is envisioned as an open area with smaller office spaces located at the north end. This open space would be available for various community activities, such as yoga, dance, small group gatherings, meetings, and the much-needed "Romp and Run" program catering to small children and their parents. Additionally, the space could house a small library dedicated to information and books on healthy living, provide room for mental health offices or counseling services, and serve as a venue for AA meetings or other support group gatherings. Bookings for the use of this space would be facilitated through the non-profit organization, ensuring accessibility for a wide range of community initiatives.

PROVIDING REAL SOLUTIONS

Why is this action needed?

- In our town, establishments offering evening entertainment and services are abundant, yet the majority of these venues serve alcohol. This presents a significant gap in non-alcoholic social activities for adult citizens to engage in after work or on weekends. The limited options available pose a particular challenge for individuals grappling with mental health and substance use issues, leaving them with few alternatives for evening activities in Dawson City. Recognizing this gap, our group identifies a genuine need for an evening venue that refrains from serving alcohol, providing a laid-back, social space for individuals to unwind and enjoy quality time with friends.
- Moreover, many individuals in Dawson City who have sought treatment for mental health and substance use issues find it challenging to reintegrate into normal life, often experiencing setbacks and relapses into old patterns. By introducing alternatives to the prevalent "bar" scene, our group believes that those seeking social engagement in the evenings can find a supportive environment conducive to making healthier choices and establishing new, positive habits.
- Offering a venue of beauty and prestige communicates a profound level of support and care for individuals facing these struggles. Committing to promoting and encouraging healthy living in such a prominent manner sends a clear and powerful message that every person is deserving of our collective time and resources.
- As substance use and related public health issues escalate, it becomes imperative for our community to take proactive measures. Establishing healthy social outlets is crucial to addressing the rising challenges associated with substance use, reinforcing our commitment to the well-being of our citizens and the overall welfare of our community.

FUNDING & RESOURCES

- The non-profit group currently in formation comprises individuals with diverse experiences in business operations, ownership, and construction. Leveraging their collective skills, abilities, and affiliations, this group is poised to embark on a project dedicated to enhancing the well-being of the Dawson City community.
- To bring this initiative to fruition, the group will actively seek financial support from various sources. The proposed timeline involves a year-long process for establishing the non-profit organization, applying for funding, and exploring other avenues of financial support. We urge you to consider our proposal seriously, allowing us the necessary time to secure the financial backing crucial for accomplishing our community-oriented goals.
- Upon successfully securing the required financial support, we commit to contributing funds to complete the building in line with the specifications outlined for our proposed venue. The goal is to have the necessary financial support in place by January 2025, enabling us to proceed with the interior and exterior finishing of the building, aligning with both our vision and the specifications set forth by the City of Dawson. Our proactive fundraising efforts aim to alleviate some of the final costs associated with the building's restoration, providing potential savings for the City of Dawson.
- In essence, we are ready and willing to collaborate closely with the City of Dawson and other relevant agencies involved in the development of this project and property. Through this collaboration, we aim to create a mutually beneficial outcome for all stakeholders involved.

CONCLUSION

- As you navigate the initial stages of planning for the CIBC building, we understand that various options are under consideration. We express our optimism that the Mayor and Council will earnestly consider our proposal, reflecting our genuine aspiration for this building to serve as a hub supporting healthy lifestyles.
- While our group may be in its early stages, we bring forth a wealth of collective experience, a deep-rooted love for our community, and an unwavering motivation to achieve both our goals and those of the Dawson City community.
- Our commitment extends to thorough research into the wants and needs of Dawson's citizens, undertaking the groundwork necessary to transform this venue into a space that caters to the enjoyment and benefit of all Dawson City residents.
- Enclosed in an attachment are the names of supporters we've gathered in just a few short days. We present this as evidence that our goals, desires, and aspirations align with those of numerous individuals in our community. We eagerly anticipate the opportunity to work collaboratively towards a shared vision of a thriving, healthy community space.

Would you endorse the repurposing of the CIBC building to create community spaces fostering healthy living?

(

Potential amenities could include an alcohol-free bar/coffee shop operating in the evenings for adults, transitioning to an all-ages venue during the day on the upper floor. This space might feature an outdoor patio with a scenic river view, live music, board games, and various nightly activities.

Additionally, envision an open area on the main floor that can be reserved for activities such as romp and run, yoga, games, workshops, small group gatherings, meetings, creative events, and more).

Name

Contact info

Dear Dawson City Council

We are coming to Dawson City Council to discuss Dawson City Ambulance Association and our ability to supplement the services delivered by Yukon Emergency Medical Services.

There is a documented gap in service delivery for emergency medical services currently provided by YEMS. Over the past couple of years the community has seen this reduction in service delivery provide more disruption to service delivery.

Over the past few years the YEMS has been saying “One Team One Service” and changing the role of volunteer responders to that of paid professional responders. In this process of professionalisation, the spirit of volunteerism has been eroded. The service has not been adaptive to changing community needs and volunteers have been leaving.

Speaking to past members of the voluntary EMS service, it is clear that there is a strong spirit of volunteerism within the community. Those voices have given strong support for a different way of working as the expectations placed on volunteers by YEMS, became unsustainable for some. Our association has formed in order to capture this passion for providing care in a volunteer capacity. We have an opportunity to try different ways of working.

We are coming to Dawson City Council with a proposal for service and request for a range of supports. We hope to augment this community’s resilience with regards pre-hospital and emergency care.

We look forward to your feedback following our presentation.

Mike, Aedes & Lee
Dawson City Ambulance Association



DAWSON CITY AMBULANCE ASSOCIATION

Community Based, Community Driven Emergency Care



MISSION



To provide a patient transport service



To provide a complementary emergency medical response



To support the education and delivery of local emergency care training



THE GAP

We were told there is 84% “coverage” based in Dawson City – is this good enough for Dawson City?

- The current backup is a Whitehorse based response provided by the medevac team

Dwindling volunteerism due to dissociation between community and service

- Reduced volunteers and reduced flexibility = less coverage
- Overburden of professionalization has eroded volunteer will



IMPACT OF DEFICITS

Community members have told us:

- Local residents are uninformed about coverage and lack information to make informed choices e.g. about risky recreational activities (e.g. paragliding, mountain biking), making Dawson City their permanent home
- Tour operators and tourism sector providers don't always have the confidence to assure visitors to our city of ambulance coverage
- Business development opportunities may be affected across multiple sectors



TEAM VALUES

- We all have a right to a personal life
- We all have a right to choose how much or how little we are available
- We all have a right to reasonable levels of safety in our voluntary role
- We all have a right to our own feelings and the emotional support we might need
- We all have a voice and it has equal value
- We all have a right to be treated fairly
- We will be there for each other and our community
- We all (including the public) have a right to open, honest and transparent information about the service



THE PLAN

Immediate goals:

- Establish a support service that covers times and days of coverage difficulty
- Provide coverage when YEMS unable to respond
- Provide supplementary services when requested by YEMS (e.g. mass casualty incident)
- Minimum service is patient collection and transport to hospital

Development goals:

- Provide community support services (including event medical support and coverage e.g. Gold Show, Thaw di Gras, Music Fest, etc.)
- Community AED distribution and maintenance
- Community emergency response education
- Community outreach and engagement



OPERATIONAL STARTUP NEEDS

Ambulance/Assets

- Request donation of unused ambulance from YEMS / Purchase a used ambulance approximately \$30,000
- Funding to purchase essential emergency medical equipment \$10,000
- Somewhere to house the ambulance

Insurance

- Financial support / Inclusion in DCFD insurance coverage for general commercial liability
- Workers Compensation Board coverage under city policy

Service Funding

- Agreement needed with Yukon Health Insurance Plan to pay for deployment when YEMS unavailable
- Contributions from local governments and businesses

Dispatch

- Need a coordinated approach to dispatch when YEMS unavailable

Volunteers

- Goal for approximately 10 volunteers to cover rotations



ACHIEVEMENTS SO FAR...

\$2000 grant from KVA for purchase of automated defibrillator

\$11,500 raised through donations

Establishment of volunteer scope of practice statements

An initial team of 6 committed volunteers with a range of skills including drivers, first aid providers, paramedics, nurse and physician all with friendly faces



NOTICE OF PUBLIC HEARING

Subdivision Application

(Subdivision Application #23-103)

Subject Property	Lots 7, 8, 9, & 10, Block D, Ladue Estate
Date and Time	21st November, 2023, 7:00pm
Location	Council Chambers, City Hall
Listen to Public Hearing	Radio CFYT 106.9 FM or cable channel #11



As per Bylaw, S.5.1.4.II, upon receiving an application for subdivision, Council must give public notice of the application. Therefore, the City of Dawson is now requesting input from the public regarding the subdivision application of Lots 7, 8, 9, & 10, Block D, Ladue Estate.

For more information or to provide your input prior to the public meeting, please contact:

Planning Assistant
Box 308, Dawson, YT Y0B 1G0
PlanningAssist@cityofdawson.ca
867-993-7400 ext. 438

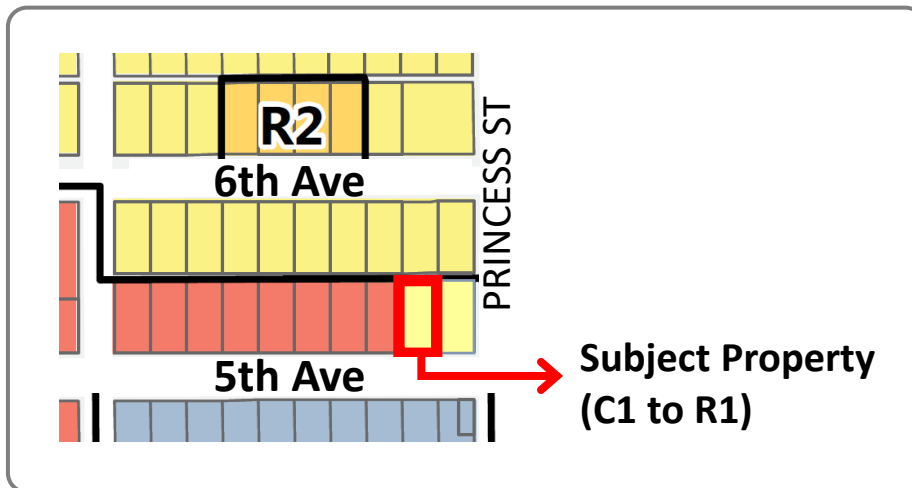


NOTICE OF PUBLIC HEARING

Zoning Bylaw Amendment No.25 (Bylaw #2023-14)

(Rezoning Application #23-088)

Subject Property	Lot 2, Block U, Ladue Estate
Date and Time	21st November, 2023, 7:00pm
Location	Council Chambers, City Hall
Listen to Public Hearing	Radio CFYT 106.9 FM or cable channel #11



As per the Municipal Act, S. 294.1, upon receiving an application for a Zoning Bylaw Amendment, council must give public notice of the application. Therefore, the City of Dawson is now requesting input from the public regarding a rezoning of Lot 2, Block U, Ladue Estate from C1: Core Commercial to R1: Single Detached and Duplex Residential.

For more information or to provide your input prior to the public meeting, please contact:

Planning Assistant
Box 308, Dawson, YT Y0B 1G0
PlanningAssist@cityofdawson.ca
867-993-7400 ext. 438



NOTICE OF PUBLIC HEARING

Zoning Bylaw Amendment

(Bylaw No. 2023-17 / Zoning Bylaw Amendment No. 27 Bylaw)

Subject Property	All lands within the municipal boundary
Date and Time	21st November 2023, 7:00pm
Location	Council Chambers, City Hall
Listen to Public Hearing	Radio CFYT 106.9 FM or cable channel #11

As per the Municipal Act, S. 294.1, the council shall give notice of its intention to pass a zoning bylaw or amendment. Therefore, the City of Dawson is now requesting input from the public regarding Zoning Bylaw Amendment No. 27 that adds 'reclamation', 'remediation' and 'land development preparation' definitions to the ZBL and permits these uses in all zones, amends the definition of Lodging Facility and the required number of parking spaces.



For more information or to provide your input prior to the public meeting, please contact:

Planning Assistant
Box 308, Dawson, YT Y0B 1G0
PlanningAssist@cityofdawson.ca
867-993-7400 ext. 438

MINUTES OF COUNCIL MEETING C23-16 of the Council of the City of Dawson held on Wednesday, October 4, 2023 at 7:00 p.m. via City of Dawson Council Chambers.

PRESENT:

Mayor William Kendrick
 Councillor Alexander Somerville
 Councillor Julia Spriggs
 Councillor Brennan Lister
 Councillor Patrik Pikálek

ALSO PRESENT:

CAO: David Henderson
 MC: Elizabeth Grenon
 PDM: Farzad Zarringhalam
 PWM: Jonathan Howe
 PJM: Owen Kemp-Griffin

	1	Call To Order	The Chair, Mayor Kendrick called Council meeting C23-16 to order at 7:00 p.m.
C23-16-01	2	Adoption of the Agenda Moved By: Councillor Somerville Seconded By: Councillor Pikálek	That the agenda for Council meeting C23-16 of October 4, 2023 be adopted as presented. CARRIED 5-0
	3	Public Hearings	
	3.1	Zoning Bylaw Amendment No. 24 RE: Add Microbrewery/Craft Distillery to zone C1 as a permitted use	The Chair called for submissions. The Chair called for submissions a second time. The Chair called for submissions a third and final time, and hearing none declared the Public Hearing closed.
	3.2	Boundary Adjustment Application #23-091 RE: Lots 6, 7 & 8, Block 9, Days Addition	The Chair called for submissions. The Chair called for submissions a second time. The Chair called for submissions a third and final time, and hearing none declared the Public Hearing closed.
	4	Adoption of the Minutes	
C23-16-02	4.1	Council Meeting Minutes C23-12 of July 12, 2023 Moved By: Councillor Pikálek Seconded By: Councillor Spriggs	That the minutes of Council Meeting C23-12 of July 12, 2023 be approved as amended. CARRIED 5-0

C23-16-03	4.2	Special Council Meeting Minutes C23-13 of August 11, 2023 Moved By: Councillor Spriggs Seconded By: Councillor Somerville
		<p>That the minutes of Special Council Meeting C23-13 of August 11, 2023 be approved as amended.</p> <p>CARRIED 5-0</p>
C23-16-04	4.3	Council Meeting Minutes C23-14 of September 6, 2023 Moved By: Councillor Spriggs Seconded By: Councillor Pikálek
		<p>That the minutes of Council Meeting C23-14 of September 6, 2023 be approved as presented.</p> <p>CARRIED 5-0</p>
C23-16-05	4.4	Special Council Meeting Minutes C23-15 of September 29, 2023 Moved By: Councillor Somerville Seconded By: Councillor Spriggs
		<p>That the minutes of Special Council Meeting C23-15 of September 29, 2023 be approved as presented.</p> <p>CARRIED 5-0</p>
	5	Business Arising From Minutes
	6	Financial and Budget Reports
C23-16-06	6.1	Accounts Payable Cheques and EFT's from #59621–59876 Moved By: Councillor Somerville Seconded By: Councillor Spriggs
		<p>That Council acknowledges receipt of the Accounts Payables 23-16 to 23-19 Cheques #59621-59876 and EFT's, provided for informational purposes.</p> <p>CARRIED 5-0</p>
	7	Special Meeting, Committee, and Departmental Reports
C23-16-07	7.1	Council & Committee of the Whole Meeting Schedule Change Moved By: Councillor Pikálek Seconded By: Councillor Spriggs
		<p>That Council change, by resolution, the meeting day for council and committee of the whole meetings from Wednesday to Tuesday. And that Council Change, by resolution, the meeting schedule for Council committee meetings and committee of the whole meetings, effective October 4, 2023 or immediately following the passing of such resolution by council, to the following:</p> <ul style="list-style-type: none"> -Committee of the Whole meetings will be scheduled for the first Tuesday of the Month excepting the months of July, August, and January. -Council Meeting will be scheduled for the 3rd Tuesday of the month. <p>CARRIED 5-0</p>

C23-16-08	7.1.1	Recess Moved By: Mayor Kendrick Seconded By: Councillor Somerville	<p>That Council take a five-minute recess.</p> <p>CARRIED 5-0</p>
<hr/> Councillor Somerville declared a conflict of interest and left the meeting.			
C23-16-09	7.2	Arena Concession Lease Moved By: Councillor Spriggs Seconded By: Councillor Pikálek	<p>That Council approves leasing the Recreation Centre Kitchen to Tr'ondëk Hwëch'in (TH) for the provision of their Nutrition Program for a monthly lease rate of \$950 plus propane cost for a term commencing October 5th, 2023, and expiring August 31, 2024.</p> <p>CARRIED 4-0</p>
<hr/> Councillor Somerville came back into the meeting.			
C23-16-10	7.3	Proposed Amendments to the Council Proceedings Bylaw (#11-12) Moved By: Councillor Somerville Seconded By: Councillor Spriggs	<p>That Council give Bylaw 2023-16, being the Council Proceedings Bylaw Amendment No. 1, first reading, as amended.</p> <p>CARRIED 4-1</p>
C23-16-11	7.3.1	Amendment 1 Moved By: Councillor Somerville Seconded By: Councillor Spriggs	<p>That Council amend Section 4.04(a) to add the following: "and not more often than once a quarter thereafter."</p> <p>CARRIED 4-1</p>
C23-16-12	7.3.2	Amendment 2 Moved By: Councillor Pikálek Seconded By: Councillor Spriggs	<p>That Council direct staff to amend the wording of Section 4.04(a), prior to second reading, to enable the action immediately and when a new Council is elected.</p> <p>CARRIED 3-2</p>
C23-16-13	7.4	Contract Award: Administration Building HVAC Upgrades Moved By: Mayor Kendrick Seconded By: Councillor Spriggs	<p>That Council award the Administration Building HVAC Upgrade contract to Borealis Fuels & Logistics for \$480,585.00 plus GST as per their submitted bid.</p> <p>CARRIED 5-0</p>

C23-16-14	7.5	Contract Award: Boiler Servicing Moved By: Councillor Somerville Seconded By: Councillor Spriggs	<p>That Council award the annual Boiler Service 3-year contract to CCI Combustion Control Inc for \$125,198.00 as per their submitted bid.</p> <p>CARRIED 5-0</p>
C23-16-15	7.6	Long-Term Recycling Planning Moved By: Mayor Kendrick Seconded By: Councillor Somerville	<p>That Council receive this report and attachment for information purposes prior to discussion on November 7, 2023.</p> <p>CARRIED 5-0</p>
C23-16-16	7.7	Boundary Adjustment Application #23-091 RE: Lots 6, 7 & 8, Block 9, Days Addition Moved By: Councillor Spriggs Seconded By: Councillor Pikálek	<p>That Council grant subdivision authority to adjust the boundaries of Lots 6,7, and 8, Block 9, Day's Addition (Subdivision Application 23-091) subject to the following conditions:</p> <ol style="list-style-type: none"> 1.The applicant submits a plan of subdivision completed by a certified lands surveyor drawn in conformity with the approval. 2.The applicant shall, on approval of the subdivision plan by the City of Dawson, take all necessary steps to enable the registrar under the Land Titles Act to register the plan of subdivision. <p>CARRIED 5-0</p>
C23-16-17	7.8	Pre-Approval of Expenses and Per Diem for Attendance at Chief and Mayor Forum in Whitehorse Moved By: Councillor Somerville Seconded By: Councillor Spriggs	<p>That Council authorize the reimbursement of expenses and per diem for the Mayor to attend the Chief and Mayor Forum on October 24, 2023 in Whitehorse from 9:00 a.m. to 4:00 p.m.</p> <p>CARRIED 5-0</p>
8	Bylaws & Policies		
C23-16-18	8.1	Bylaw #2023-09 Official Community Plan Amendment No. 10- (Dome Rd.) Third & Final Reading Moved By: Councillor Somerville Seconded By: Councillor Spriggs	<p>That Council give Bylaw #2023-09, being Official Community Plan Amendment No. 10 Bylaw, third and final reading.</p> <p>CARRIED 5-0</p>

	8.2	Bylaw #2023-13 Zoning Bylaw Amendment No. 24- (Microbrewery/Craft Distillery) Second & Third Reading
C23-16-19	8.2.1	<p>Bylaw #2023-13 Zoning Bylaw Amendment No. 24-Second Reading Moved By: Councillor Pikálek Seconded By: Mayor Kendrick</p> <p>That Council give Bylaw #2023-13, being the Zoning Bylaw Amendment No. 24 Bylaw, second reading.</p> <p>CARRIED 5-0</p>
C23-16-20	8.2.2	<p>Bylaw #2023-13 Zoning Bylaw Amendment No. 24-Third Reading Moved By: Councillor Somerville Seconded By: Councillor Spriggs</p> <p>That Council give Bylaw #2023-13, being the Zoning Bylaw Amendment No. 24 Bylaw, third and final reading.</p> <p>CARRIED 5-0</p>
C23-16-21	8.3	<p>Bylaw #2023-14 Zoning Bylaw Amendment No. 25- (C1 to R1-5th Avenue) First Reading Moved By: Councillor Somerville Seconded By: Councillor Spriggs</p> <p>That Council give bylaw #2023-14, being the Zoning Bylaw Amendment No. 25 Bylaw, first reading.</p> <p>CARRIED 5-0</p>
C23-16-22	8.3.1	<p>Refer to Committee of the Whole Meeting Moved By: Mayor Kendrick Seconded By: Councillor Somerville</p> <p>That Council refer bylaw #2023-14, being the Zoning Bylaw Amendment No. 25 Bylaw to the next Committee of the Whole meeting.</p> <p>CARRIED 5-0</p>
C23-16-23	8.4	<p>Bylaw #2023-15 Zoning Bylaw Amendment No. 26 (North End R2) First Reading Moved By: Councillor Spriggs Seconded By: Councillor Lister</p> <p>That Council give Bylaw #2023-15, being the Zoning Bylaw Amendment No. 26 Bylaw, first reading.</p> <p>CARRIED 4-1</p>
	9	<p>Public Questions</p> <p>Brent McDonald had a question in regards to the lack of consultation with user groups of the recreation center in relation to the recently approved concession lease.</p> <p>Diana Andrew had a question regarding delegations. She also had a question on why the Council members want to chair the meetings and on what the role of the rec board is currently.</p>

Dan Davidson had a question regarding the cable system. He also had a question regarding a house being built on 7th avenue.

Kim Biernaskie had questions regarding the Council Proceedings Amendment Bylaw, the Council Chambers AV, and the Action Review Report.

George Filipovic had a question regarding the Public Questions process.

C23-16-24

10

Adjournment

Moved By: Councillor Spriggs

Seconded By: Councillor Pikálek

That Council Meeting C23-16 be adjourned at 10:04 p.m. with the next regular meeting of Council being October 17, 2023.

CARRIED 5-0

THE MINUTES OF COUNCIL MEETING C23-16 WERE APPROVED BY COUNCIL RESOLUTION #C23-18-XX AT COUNCIL MEETING C23-18 OF NOVEMBER 21, 2023.

William Kendrick, Mayor

David Henderson, CAO

MINUTES OF COUNCIL MEETING C23-17 of the Council of the City of Dawson held on Tuesday, October 17, 2023 at 7:00 p.m. via City of Dawson Council Chambers.

PRESENT:

Mayor William Kendrick
 Councillor Alexander Somerville
 Councillor Julia Spriggs
 Councillor Brennan Lister
 Councillor Patrik Pikálek

ALSO PRESENT:

CAO: David Henderson
 MC: Elizabeth Grenon
 PDM: Farzad Zarringhalam
 PWM: Jonathan Howe
 PJM: Owen Kemp-Griffin

	1	Call To Order	The Chair, Mayor Kendrick called council meeting C23-17 to order at 7:00 p.m..
C23-17-01	2	Adoption of the Agenda Moved By: Mayor Kendrick Seconded By: Councillor Somerville	That the agenda for Council meeting C23-17 of October 17, 2023 be adopted as amended. CARRIED 5-0
	3	Public Hearings	
	3.1	Subdivision Application #23-057-Lots 6 & 7, Block 5, Day's Addition	The Chair called for submissions. The Chair called for submissions a second time. The Chair called for submissions a third and final time, and hearing none declared the Public Hearing closed.
	3.2	Subdivision Application #23-071-Lots 5 and S 15' of Lot 6, Block HB, Harper Estates	The Chair called for submissions. The Chair called for submissions a second time. The Chair called for submissions a third and final time, and hearing none declared the Public Hearing closed.
	4	Added Agenda Item-Shelly Hassard	Shelly Hassard-Association of Yukon Communities (AYC)- gave an update on the work AYC has been doing on the Comprehensive Municipal Grant (CMG).
	5	Petitions & Questions	

Lambert Curzon had questions regarding cable TV issues.

Diana Andrew had a question regarding public involvement in the budget process.

Kim Biernaskie had questions regarding the Council Proceedings Amendment Bylaw.

	6	Adoption of the Minutes
--	----------	--------------------------------

C23-17-02	6.1	Council Meeting Minutes C23-16 of October 4, 2023 Moved By: Councillor Somerville Seconded By: Mayor Kendrick
		That the minutes of Council Meeting C23-16 of October 4, 2023 be referred to the next Council meeting. CARRIED 5-0

	7	Financial and Budget Reports
--	----------	-------------------------------------

C23-17-03	7.1	Financial Variance Report Moved By: Councillor Somerville Seconded By: Councillor Spriggs
		That Council accept the Financial Variance Report, for informational purposes. CARRIED 5-0

	8	Special Meeting, Committee, and Departmental Reports
--	----------	---

C23-17-04	8.1	Subdivision Application #23-071-Lots 5 and S 15' of Lot 6, Block HB, Harper Estates Moved By: Councillor Somerville Seconded By: Councillor Pikálek
		That Council grant subdivision authority to consolidate Lot 5 & Southerly 15' of Lot 6, Block HB, Harper Estate (Subdivision Application #23-071) subject to the following conditions: <ol style="list-style-type: none">1. The applicant submits a plan of subdivision completed by a certified lands surveyor drawn in conformity with the approval.2. The applicant shall, on approval of the subdivision plan by the City of Dawson, take all necessary steps to enable the registrar under the Land Titles Act to register the plan of subdivision. CARRIED 5-0

	8.2	Official Community Plan Comprehensive Review Moved By: Councillor Somerville Seconded By: Councillor Pikálek
		That the adoption of methodology for a comprehensive review of the Official Community Plan be postponed until the first regular meeting in October 2024. TABLED

C23-17-05	8.2.1	Table the Resolution Moved By: Councillor Somerville Seconded By: Mayor Kendrick
------------------	--------------	---

That Committee of the Whole table the resolution regarding the comprehensive review of the Official Community Plan.

CARRIED 5-0

C23-17-06 **8.3** **Emergency Plan Status Update**
Moved By: Councillor Spriggs
Seconded By: Councillor Somerville

That Council accept the Emergency Plan Status report, for informational purposes.

CARRIED 5-0

9 **Bylaws & Policies**

C23-17-07 **9.1** **Bylaw #2023-16 Council Proceedings Bylaw Amendment No. 1-Second Reading**
Moved By: Councillor Somerville
Seconded By: Councillor Lister

That Council give bylaw #2023-16, being the Council Proceedings Bylaw Amendment No. 1 Bylaw, as amended, second reading.

CARRIED 4-1

C23-17-08 **10** **Correspondence**
Moved By: Councillor Somerville
Seconded By: Councillor Pikálek

That Council acknowledge receipt of the following correspondence:

1. Hähkè Darren Taylor RE: Hähkè Issac Statue Design & Location
2. Rod Dewell RE: Arena Concession Lease
3. Amelie Morin RE: Arena Concession Lease
4. Corbin Murdoch, Executive Director, DCMF RE: Open House Invitation
5. Lambert Curzon RE: Fire Break & Channel 12 Council Meetings
6. Heritage Advisory Committee Minutes #23-14 and #23-15

for informational purposes.

CARRIED 5-0

11 **Business Arising from Correspondence**

Share the response letter sent to Rod Dewell from the CAO to Council.

12 **In Camera-Legal and Personnel Related Matter**

C23-17-09 **12.1** **Move to In Camera**
Moved By: Councillor Pikálek
Seconded By: Councillor Somerville

That Council move into a closed session of Committee of the Whole, as authorized by Section 213(3) of the Municipal Act, for the purposes of discussing a legal and personnel related matter.

CARRIED 5-0

C23-17-10 **12.1.1 Recess**
Moved By: Mayor Kendrick
Seconded By: Councillor Pikálek
That Committee of the Whole take a three-minute recess.
CARRIED 5-0

C23-17-11 **12.1.2 Extend Meeting**
Moved By: Mayor Kendrick
Seconded By: Councillor Somerville
That Council meeting C23-17 be extended not to exceed one hour.
CARRIED 5-0

13 Adjournment
No adjournment was made because the meeting automatically adjourned at 11:00PM.

THE MINUTES OF COUNCIL MEETING C23-17 WERE APPROVED BY COUNCIL RESOLUTION #C23-18-XX AT COUNCIL MEETING C23-18 OF NOVEMBER 21, 2023.

William Kendrick, Mayor

David Henderson, CAO



City of Dawson Report to Council

Agenda Item	Subdivision Application #23-103 (Consolidation)
Prepared By	Planning and Development
Meeting Date	November 21, 2023
References (Bylaws, Policy, Leg.)	Subdivision Bylaw, Municipal Act, OCP, Zoning Bylaw
Attachments	Notice of public hearing

x	Council Decision
	Council Direction
	Council Information
	Closed Meeting

Recommendation

That Council grant subdivision authority to consolidate Lots 7, 8, 9 & 10, Block D, Ladue Estate (Subdivision Application #23-103) subject to the following conditions:

1. The applicant submits a plan of subdivision completed by a certified lands surveyor drawn in conformity with the approval.
2. The applicant shall, on approval of the subdivision plan by the City of Dawson, take all necessary steps to enable the registrar under the Land Titles Act to register the plan of subdivision.

Executive Summary

Subdivision application #23-103 has been submitted in order facilitate the development of TH Heritage Complex.

Background

These four lots are located within Settlement Land Parcel C-20FS/D. Currently, there are multiple buildings on the site.



Discussion / Analysis

Subdivision Bylaw

Subdivision Control Bylaw s. 3.01 states that every subdivision of land must be made in accordance with the Municipal Act, the Official Community Plan, the Zoning Bylaw, and the Subdivision Control Bylaw. The Analysis/Discussion section of this report is intended to discuss the proposal's conformity with the provisions outlined in the relevant legislation, policies, and plans.

Municipal Act

The Municipal Act s. 314 details the requirements for any proposed plan of subdivision to have direct access to the highway to the satisfaction of the approving authority. Access to these lots exists on Front Street, Duke Street, and the laneway. The rear laneway is proposed to be realigned to avoid encroachment on to these lots. TH and City staff are collaborating to find a way forward.

Official Community Plan

The properties are currently designated as DC – Downtown Core: the area that best depicts the commercial core of Dawson during the gold rush. This location is recognized as the heart of Dawson City since it accommodates a broad range of uses focusing on the commercial, cultural, and community needs of residents and visitors. The consolidated lot would retain the

same designation and any new use or development on the proposed lot would be required to conform to the OCP designation, or else apply for an OCP Amendment.

Zoning Bylaw

Lots 7, 8, 9 & 10 are zoned P2: Institutional. The proposed development is compliant with the Zoning Bylaw.

Currently, these parcels accommodate a number of structures, including the boiler building and the Han Fishery buildings. Regarding these structures, two applications have been submitted. It is proposed to demolish the Han Fishery buildings, and the boiler building will be completely relocated to Lot 6.

Fiscal Impact

NA

Alternatives Considered

Do not grant subdivision authority.

Next Steps

Planning will issue a letter of permit approval or denial in accordance with the council's decision.

Approved by	Name	Position	Date
	<i>David Henderson</i>	CAO	Nov 15, 2023



City of Dawson Report to Council

Agenda Item	Dredge Pond II Master Plan
Prepared By	Planning and Development
Meeting Date	November 21, 2023
References (Bylaws, Policy, Leg.)	
Attachments	Dredge Pond II Master Plan

x	Council Decision
	Council Direction
	Council Information
	Closed Meeting

Recommendation

That Council adopt Dredge Pond II Master Plan.

Executive Summary

The Dredge Pond II Master Plan, prepared by 3Pikas, is a significant step towards a multi-phase residential development in Dawson City. The planning area covers 143 hectares and is located 8 km east of downtown Dawson City along the Klondike River. The development is taking place on vacant Commissioner's Land.

Background

The final draft of the Dredge Pond II Master Plan and a report from Administration were presented to council during the November 7 Committee of the Whole meeting. At the same meeting, the Government of Yukon Land Development Branch also delivered a brief presentation. The Plan, by resolution, was forwarded to the next council meeting for adoption.

Discussion / Analysis

The timing of the following steps, requested by council, is the only new piece of information to add to the previous report.

- YESAB: Complete by spring/summer 2024
- DFO: Complete by early 2025
- OCP: February 2024
- ZBL: May 2024
- Detailed design: 2024-2025
- Construction: 2025-2027

The analysis presented in the preceding reports is detailed below.

Master Plan Highlights

- The final buildout of the Dredge Pond II Subdivision is 40 country residential lots which equates to approximately 88 people.
- The Dredge Pond II is intended to incorporate extant natural areas and to respond to natural features.
- The development concept is based on a development pattern comparable to the adjacent Dredge Pond Subdivision and other existing developments along the Klondike River valley.
- The layout and design of the lots complies with municipal and environmental regulations including minimum zoning setbacks and Environmental Health setbacks. Standard single detached dwellings with or without a garden suite can be built on the lots.
- Dredge Pond II covers an area of 143 hectares (353 acres). A little less than one-third of the area is devoted to housing. The 40 residential lots are divided into three residential clusters. These clusters provide infrastructure, services, and cost advantages.
- Roads would be either gravel or BST. All lots would be serviced with overhead power. Lot owners would be responsible for installing private water and sanitary servicing.
- Roughly 50% of the total developable area is reserved as open space for recreation, habitat, and flood protection. In addition, less than a quarter of the land is designated for heritage use and protection of dredge tailings, cultural landscape, and heritage resources. Much of this area cannot be developed as residential lots as they are either adjacent to the river, are low-lying, or have geotechnical constraints.
- The Master Plan includes a central playground, walkways that facilitate non-motorized trail use in the neighbourhood, and a historic park that safeguards one of the last remaining sections of dredge tailings within the municipal boundary.

Land Use

The allocation of land to various uses is consistent with the objectives of the Official Community Plan, the Heritage Management Plan, and the public engagement feedback. It makes sense to dedicate half of the developable area to open space for recreation, particularly since this reduces the risk of flooding. Conforming to the Heritage Management Plan, the area designated for heritage use contributes to the preservation of dredge tailings and heritage resources.

Due to the area's natural conditions and municipal and environmental regulations, it was impractical to offer a range of lot sizes, as suggested by the public. According to the Zoning Bylaw, the minimum lot size for country residential developments is one acre. Given the restrictions on each parcel's buildable area, proximity to various water bodies, and the YG Environmental Health regulations, parcels larger than one acre are preferable. However, parcel sizes greater than two acres are undesirable due to the possibility of subdivision. Therefore, the optimal lot size is between one and two acres.

Open Space

The Parks and Recreation Manager for the City of Dawson indicated that, in general, the concepts for this plan align with the goals of the Parks and Recreation Master Plan. However, there are some concerns regarding the plan's implementation that should be considered during the design phase:

- The swimming components of the plan should be clarified to help the city's stance on it (from a liability standpoint and the expectations it may cause).
- Additional services will result in increased maintenance and responsibilities for Recreation Department, necessitating additional funding and personnel.
- Considering the size and scope of the historic park, the Recreation Manager recommends that the Yukon Government participate in the plan's implementation.

Access

The proposed lots will have appropriate highway access. Internal subdivision roads will be either gravel or BST, depending on detailed design discussions between YG and the City.

TH Considerations

The planning area is adjacent to two TH Settlement Parcels, C-5B and C-14B. It is also located across the highway from C-3B. The subdivision design has been planned to integrate with C-5B and C-14B, including enabling future road access to these parcels. The planning team worked with TH staff throughout the planning process and also briefed TH Council at key stages of the project.

Official Community Plan

Dredge Pond II is currently designated FRP – Future Residential Planning (FRP). An OCP amendment will be required to redesignate the areas to Country Residential and Parks and Natural Space.

Zoning Bylaw

The planning area is currently zoned FP – Future Planning. A zoning amendment will be required to redesignate the area to Country Residential and Parks and Natural Space.

The proposed changes are consistent with the content of the zoning bylaw as specified in the Municipal Act.

It is important to note that the Plan is a guide for future development and will be refined as the project and development progress through subsequent Council decision points such as OCP and zoning amendments and subdivision applications. However, the Master Plan establishes guidelines for the main components of the development, including servicing, lot types, recreation areas, road network, and trails.

Fiscal Impact

Road operations and maintenance, maintenance of open spaces, and enforcement of bylaws will increase the municipal expenses. Greater number of residential lots will result in greater annual taxation.

Next Steps

Future steps include YESAB, OCP/Zoning amendments, other regulatory authorizations including Fisheries and Oceans Canada and water licenses, detailed design, and construction phase following the adoption of the Plan. This is a multi-phase development and depending on the regulatory approvals, the first phase could be released as soon as 2025.

Approved by	Name	Position	Date
	<i>David Henderson</i>	CAO	Nov 15, 2023



DREDGE POND II MASTER PLAN

GOVERNMENT OF YUKON
CITY OF DAWSON

FINAL

October 20, 2023

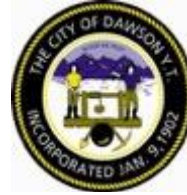


DREDGE POND II MASTER PLAN

PREPARED FOR:



GOVERNMENT OF YUKON
Community Services
Land Development Branch C-14
Box 2703
Whitehorse, YT
Y1A 2C6



CITY OF DAWSON
1336 Front Street
Box 308
Dawson City, YT
Y0B 1G0

SUBMITTED TO:

Ben Campbell, Project Manager
Government of Yukon
Community Services
Ben.Campbell@yukon.ca

Farzad Zarringhalam
Planning and Development Manager
City of Dawson
Planningmanager@cityofdawson.ca

PREPARED BY:

A handwritten signature in blue ink, appearing to read "Matthias Purdon".

Matthias Purdon, M.A.
Planner
3PIKAS

A handwritten signature in blue ink, appearing to read "Simon Lapointe".

Simon Lapointe, RPP, MCIP
Principal + Senior Planner
3PIKAS



I. VERSION HISTORY

VERSION	DATE	DESCRIPTION
1	2023/07/10	First Draft
2	2023/08/17	Second Draft
3	2023/10/20	Final

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1 INTRODUCTION

3PIKAS is pleased to present the Dredge Pond II Master Plan (‘Master Plan’) for a new country residential neighbourhood in Dawson City. The Master Plan was completed under the joint direction of the City of Dawson and the Government of Yukon – Land Development Branch (LDB).

We recognize that this project is creating residential opportunities for people to live, work and play on the traditional territory of the Tr’ondëk Hwëch’in (TH).

The Master Plan represents a major milestone toward a multi-phase residential development to accommodate a portion of the City of Dawson’s expected growth. Residential land use is supported by an extended road network, parks and greenspace areas, trails, power, and telecommunications. The Master Plan establishes the framework for this future neighbourhood by articulating the vision and framework for how the Dredge Pond II subdivision should grow over time.

1.1 PLANNING AREA

The Dredge Pond II Planning Area (‘planning area’) is approximately 143 hectares (353 acres) located 8 km east of downtown Dawson City along the Klondike River (see Figure 1). The planning area abuts the Klondike Highway to the south and lies within the City of Dawson’s municipal boundary.

The planning area is vacant, previously the site of dredge placer gold resource extraction. Today the planning area is characterized by dredge tailings piles (disturbed riverbed material) with small to medium ponds scattered throughout.

The tailing piles and ponds are the result of historical dredge gold mining in the area. Some of the ponds are connected to the Klondike River. As such, the height of the tailings piles varies based on fluctuation in the Klondike River and is estimated to be around six metres above the observed high water mark (OHWM).



PHOTO: DREDGE TAILINGS (DREDGE POND II)

The area is located in the Klondike River Valley, known for its history of gold dredging since the early 1900s. Gold dredges were used to extract placer gold from the gravel and rock substrate in the valley. These dredges created ponds as they excavated, leaving piles of larger materials such as gravel, cobble, and boulders. There are approximately sixty ponds located in the planning area. Most of the ponds are isolated from surface connections to the river and other ponds, surrounded by cobble and boulder deposits. However, a few ponds have either frequent or seasonal surface connectivity to the Klondike River, while there is also evidence of subsurface connectivity between ponds through water flow among the cobble and boulder dredge piles.

Some ponds have created fish habitats and contain species considered part of a potential Commercial, Recreational, or Aboriginal (CRA) fishery (e.g., Chinook salmon, round whitefish, and burbot).

1.2 LAND OWNERSHIP

All development associated with the Dredge Pond II Subdivision is occurring on vacant Commissioner's Land (Crown Land), with surrounding areas including a mix of Commissioner's Land, TH Settlement Lands, and privately held titled lands (Figure 2). TH's parcels C-3B, C-5B, and C-14B are adjacent to the Dredge Pond II Subdivision. The Master Plan has been designed to ensure that it does not have negative impacts on the TH parcels.

YG is the landowner and developer for the Dredge Pond II Subdivision. As the approving authority for the proposed land use, Dawson City will approve the Master Plan, Official Community Plan amendment, Zoning Bylaw amendments and future subdivision application.

1.3 SURROUNDING LAND USES

Existing land uses surrounding the Dredge Pond II Subdivision include country residential lots located west of Dredge Pond II in the existing Dredge Pond Subdivision. The subdivision provides a quiet rural lifestyle and character with easy access to nature and privacy.

There are commercial and industrial uses to the south along the Klondike Highway and various informal recreational trails and uses. Additionally, there is a utility easement along the Klondike Highway and industrial land dispositions to the south of the Dredge Pond II. Highways and Public Works operate a gravel pit to the south of the Dredge Pond II. TH parcel C-3B is subject to future planning and is intended for future residential use.

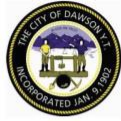
1.4 MINING CLAIMS

Some areas outside Dredge Pond II include mining claims though none of these claims have been developed. One inactive placer claim located within the planning area expired in October 2021.

FIGURE 1: PLANNING AREA



CLIENT:

Yukon 





PROJECT TITLE:


DREDGE POND II MASTER PLAN

MAP TITLE:

STUDY AREA

LEGEND:

-  Dredge Pond II Study Area
-  TH Settlement Lands
-  Municipal Boundary
-  Surveyed Parcels


1:9,000

0 100 200 300 m

REVISIONS:

1	2021/11/23	DREDGE POND II MASTER PLAN
2	2023/08/14	DREDGE POND II MASTER PLAN

PREPARED BY: SL	REVIEWED BY:
DATE: 2021 / 11 / 23	FIGURE:


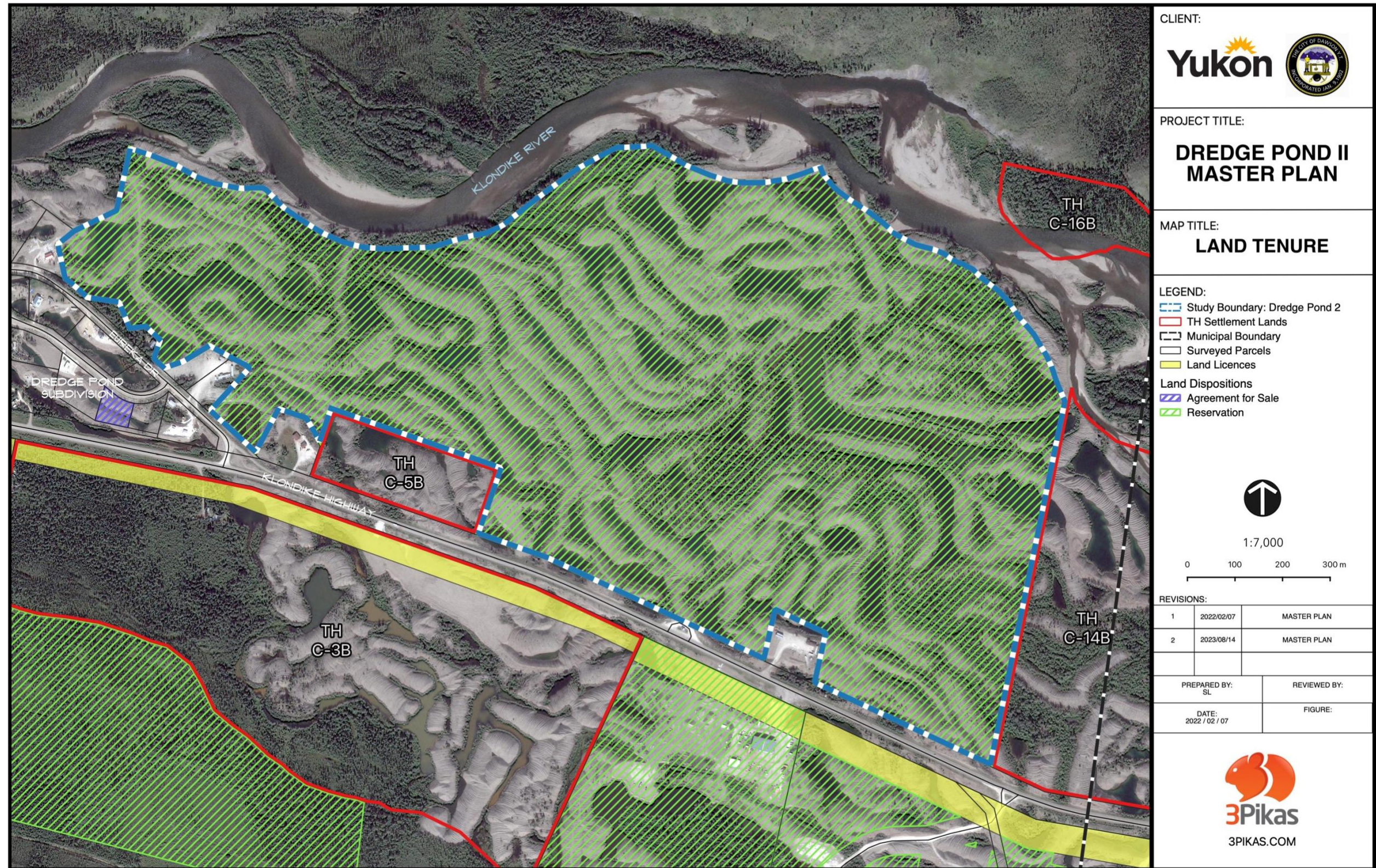
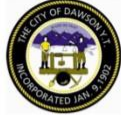

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FIGURE 2: LAND TENURE



CLIENT:

Yukon 






PROJECT TITLE:

**DREDGE POND II
MASTER PLAN**



MAP TITLE:

LAND TENURE

LEGEND:

-  Study Boundary: Dredge Pond 2
-  TH Settlement Lands
-  Municipal Boundary
-  Surveyed Parcels
-  Land Licences

Land Dispositions

-  Agreement for Sale
-  Reservation

0 100 200 300 m

1:7,000

REVISIONS:


1	2022/02/07	MASTER PLAN
2	2023/08/14	MASTER PLAN

PREPARED BY:
SL

REVIEWED BY:

DATE:
2022 / 02 / 07

FIGURE:


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3PIKAS.COM

2 PLANNING CONTEXT

2.1 OFFICIAL COMMUNITY PLAN CONTEXT

The City of Dawson’s 2018 Official Community Plan (OCP) is a comprehensive document that outlines the City’s long-term vision, goals, and policies for the development and growth of the municipality. It serves as a guiding framework for land use planning and decision-making.

The OCP addresses various aspects of community development, including land use, transportation, housing, infrastructure, environmental protection, economic development, and social well-being. The OCP was created through a process involving community engagement, input from residents and stakeholders, and coordination with relevant government agencies. It is an important tool for managing growth, preserving community character, and ensuring sustainable development of areas such as Dredge Pond II.

2.1.1 VISION, GOALS, DESIGNATION

The OCP vision statement is: “Honouring the Past, Sharing the Present, Embracing the Future”. Long-term goals pertaining to the Dredge Pond II Subdivision development include:

- Meet the full spectrum of housing needs in the community.
- Provide sufficient land available for residential development.

2.1.2 OCP DESIGNATION

Dredge Pond II is currently designated FRP – Future Residential Planning (FRP). An OCP amendment will be required to redesignate the areas to Country Residential and Parks and Natural Space.

2.2 ZONING

Development activities within the City must adhere to the Zoning Bylaw. The primary purpose of the Zoning Bylaw is to facilitate organized, efficient, and socially responsible development, while aligning with the goals and objectives set forth in the OCP. To achieve this, the Zoning Bylaw establishes specific land use zones and corresponding regulations that dictate the permissible use, location, type, and extent of development for each land parcel in Dawson City. It also includes guidelines to preserve and enhance the City’s distinctive character and historical significance.

2.2.1 ZONING BYLAW (2018-19)

The planning area is currently zoned FP – Future Planning (FP). The purpose of the FP zone is to maintain the land as open space until it is needed for development while also identifying potential areas for future growth in the community. These areas have the potential to accommodate various land use designations. A zoning amendment will be required to redesignate the area to Country Residential and Parks and Natural Space.

2.2.2 CITY HERITAGE MANAGEMENT PLAN (2008)

Dawson City boasts a wealth of distinctive heritage resources, shaped by its strategic location within the heart of the TH traditional territory and its historical ties to the gold rush era. The Heritage Management Plan establishes a framework for the preservation and management of cultural landscapes and divides the Klondike Valley Cultural Landscape into eight distinct Character Areas. The Klondike Valley Character Area encompasses the stretch of the Klondike River Valley extending from Hunker Creek to Bonanza Creek, encompassing the Dredge Pond II study area. The management recommendations and guidelines for this character area are rooted in the commitment to safeguard all elements of the natural and historic landscape that are valued by the community. This encompasses the preservation of notable features such as the dredge tailings and ponds.

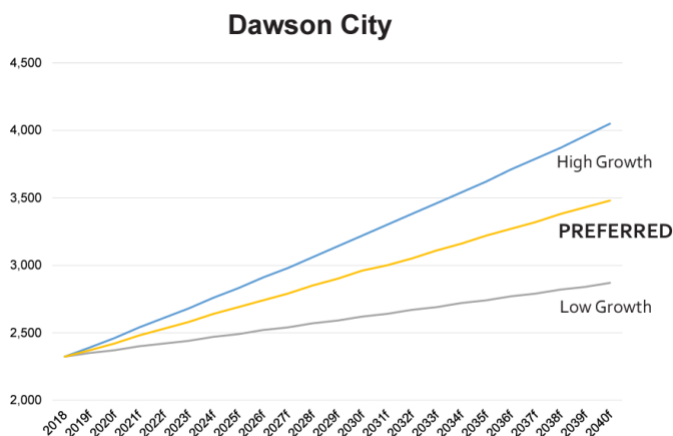
2.3 POPULATION & GROWTH

According to the Yukon Bureau of Statistics (Third Quarter, 2022), the estimated population of the Dawson City area was 2,331. The City of Dawson's OCP (2018) has identified a primary objective: to enhance the availability of diverse residential housing options. This objective aims to cater to individuals of different ages, income levels, and lifestyles, providing them with comfortable living arrangements in the community for the short and long term.

2.3.1 GROWTH PROJECTION

Over time, the population of Dawson City has steadily increased, leading to limitations in the housing and rental market in terms of supply and options. The Yukon Bureau of Statistics (YBS) collects population data for the entire territory and specific communities within Yukon. The YBS utilizes projection scenarios extending up to 2040 to provide insights into future population trends. In the most likely scenario, known as the Preferred Projection, Dawson City's population is projected to grow to 3,480 individuals by 2040. This represents an increase of 1,149 people compared to the population in 2022 (Figure 3). These projections offer valuable insights into the anticipated population growth within Dawson City over the coming years.

FIGURE 3: DAWSON CITY POPULATION PROJECTION (YBS, 2018)

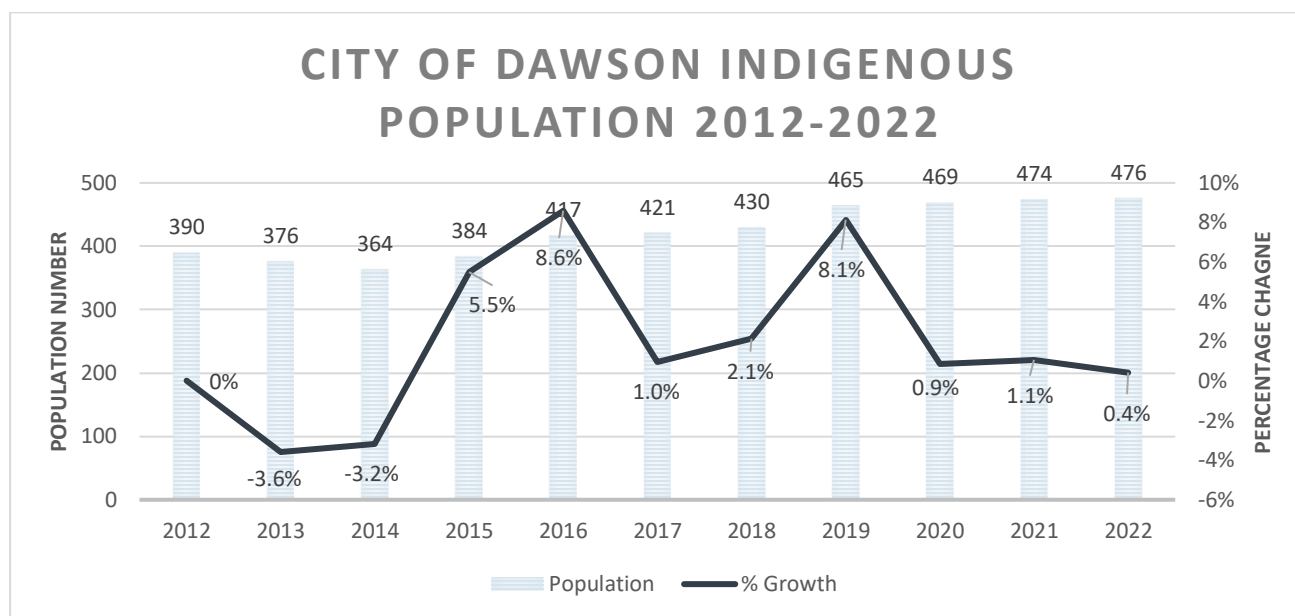


2.4 INDIGENOUS POPULATION: DAWSON CITY

Indigenous peoples play a significant role in the demographic makeup of Dawson City. As per the 2016 Census, the indigenous population accounted for 31.4% of the total population. The growth rate within the indigenous population in Dawson has been similar to that of the overall Yukon growth pattern. As shown in Figure 4, the indigenous population has steadily increased by approximately 2.1% annually (YBS, 2022).

Based on this growth rate, we can anticipate that the indigenous population in Dawson could expand by approximately 110 individuals, reaching a total of 586 by 2032.

FIGURE 4: INDIGENOUS POPULATION 2012-2022 – DAWSON CITY (YBS, 2022)



2.5 SITE CONDITIONS

2.5.1 ENVIRONMENTAL CONDITIONS

The planning area is characterized by relatively flat terrain with only minor changes in elevation due to tailing piles and ponds. The planning area underwent significant dredging, resulting in a landscape characterized by piles of rocks and boulders resting on compacted silty soil. Most of the tailings piles and peripheral deposits along the Klondike River shoreline are currently experiencing erosion, primarily caused by streambank erosion and seasonal flooding / channel migration.

Vegetation within the planning area is sparse. Mining disturbance removed organic soil horizons, so the ground conditions do not provide good conditions for vegetation growth. Nonetheless, there is evidence of vegetation communities returning slowly and re-generation of surface soils in some areas.

A Phase I Environmental Site Assessment (Phase I ESA) was completed during the pre-planning stage. The Phase I ESA did not reveal any evidence that historical or current site usage involving the storage,

use or disposal of hazardous substances on the subject property (Chilkoot, 2021). A subsequent Phase II Environmental Site Assessment (Phase II ESA) was conducted. One lead exceedance of the Yukon CSR standards was found at the location of an oil filter. During fieldwork, there were no visual or olfactory indications of contamination (no surface staining or odours). No other metals, VOCs, or hydrocarbon exceedances of the Yukon CSR standards were identified from the laboratory results. The area was cleaned up and remediated. No further environmental work is recommended.

2.5.2 FLOOD RISK

The Dredge Pond II Subdivision is located entirely within the Klondike River floodplain. As such, there is an increased risk of flooding from the Klondike River. YG hired YukonU Research Centre (YRC) to conduct a preliminary flood exposure assessment of the Dredge Pond II planning area.

According to YukonU, the water levels in the Klondike River are influenced by three primary factors:

- The quantity of water passing through the channel over a specific period typically measured in cubic meters per second (a higher flow rate corresponds to increased water levels).
- The water level downstream of a specific point. Similar to the impact of a dam, higher water levels downstream result in more water accumulating upstream, leading to increased water levels in that section of the river.
- The shape and roughness of the river channel also impact water levels. Obstacles such as large rocks, woody debris, and ice accumulations within the channel slow down the flow of water.

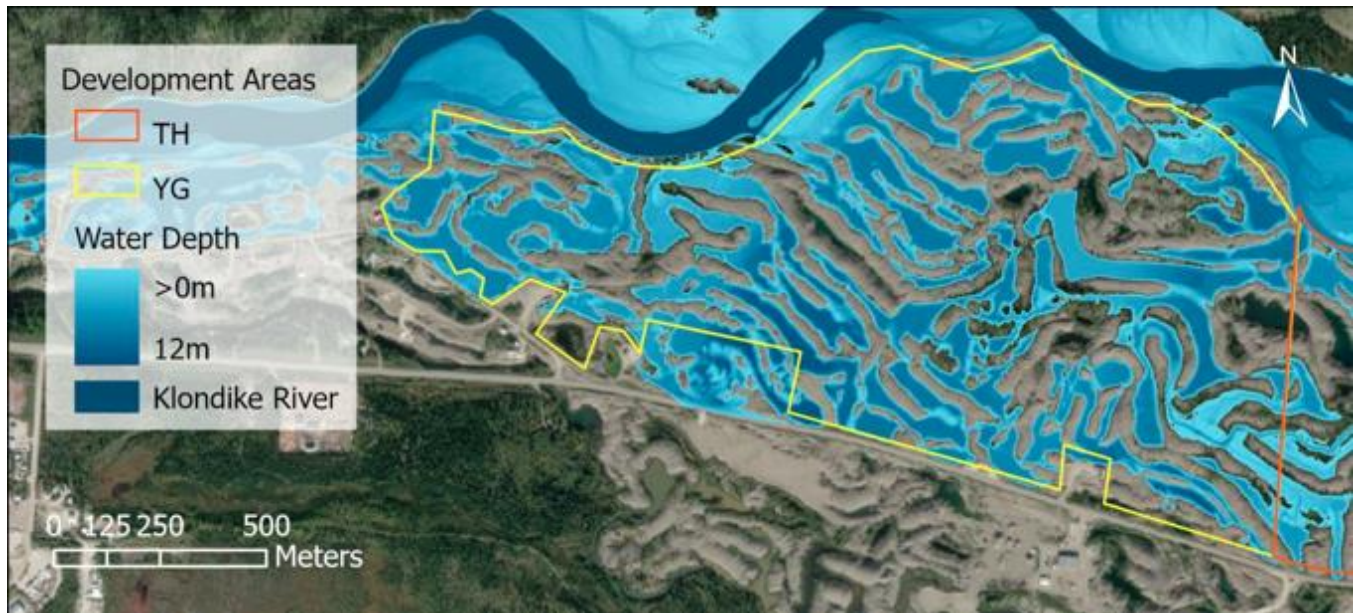
Understanding these dynamics is crucial for managing and predicting water levels. YukonU developed a model for the Klondike River using the Hydrological Engineering Centre's River Analysis System (HEC – RAS) program, developed by the United States Army Corps of Engineers. This widely used engineering tool is commonly used for designing hydraulic structures and developing flood maps. The topography of the Klondike River valley was obtained from a digital elevation model (DEM) provided by Yukon Geomatics, derived from LiDAR surveys. Bathymetry data for a small section near the Klondike Highway bridge came from a previous hydrodynamic model by Morrison Hershfield, while the rest of the sections used estimated bathymetry from aerial images during low-flow conditions.

According to YukonU, the calculated 200-year water surface elevation varies non-linearly between the upstream (342.5 m) and downstream (335.5 m) elevations. The study revealed a significant floodplain on the north side of the river and opposite the Dredge Pond II planning area, which serves for water evacuation at high flow or in the presence of ice jams.

Despite the significant room (i.e., freeboard) available for the river and land development, YukonU classified the area as Yellow (an area only partially available for development) for the following reason (Figure 5):

- As past satellite images reveal, the Klondike River remains mobile due to normal and climate-change-induced hydrological processes and in response to the placer mining legacy. This means that the bed elevation could continue to vary, that meanders, and gravel bars will keep adjusting, and that ice jam toe locations will change, all of which decrease certainty in characterizing the flood potential / risk.

FIGURE 5: AERIAL VIEW OF THE DREDGE POND II MASTER PLAN AREA



*with simulated 200-year water levels (YukonU Research Centre, Yukon University, 2021).

2.5.3 GEOTECHNICAL CONDITIONS

Chilkoot Geological Engineers Ltd completed a Geotechnical Feasibility Assessment in 2021. This assessment delineated regions within the planning area suitable for development (Figure 6). Overall, geotechnical conditions within the planning area are anticipated to be suitable for a country residential subdivision (Chilkoot, 2021). A total of 58.1 hectares have been identified as suitable for development or marginally suitable for development (Figure 6).

Given the planning area's proximity to the Klondike River and the floodplain, Chilkoot advises that cautions will need to be exercised throughout the development. Chilkoot suggested that the tailings piles could be utilized to fill designated ponds and low-lying areas in compacted layers. However, it is important to acknowledge that any alterations made to the tailings ponds could impact the existing drainage regime. Therefore, the infilling of each individual pond needs to be thoroughly evaluated on a case-by-case basis, considering the specific circumstances and potential implications.

2.5.3.1 ROAD DEVELOPMENT

Chilkoot suggests that the tailings should generally be suitable for use as road base and lot subgrade materials. Engineered civil works should be properly shaped to establish positive drainage which incorporates the use of ditches and culverts.

Importing granular subbase and base course materials may be necessary to establish the roadway structure if they are not produced onsite. In areas where roadways are constructed over fill (e.g., ponds or low lying areas), Chilkoot suggests that additional time will likely be required for stabilization, considering potential long-term settlement. As a result, these regions may initially require additional maintenance until sufficient consolidation occurs. It is recommended to delay the application of

bituminous surface treatment (BST) (if required) until the roadways have adequately stabilized. This approach ensures that the roadways are suitable for receiving BST and promotes long-term durability.

2.5.3.2 BUILDINGS AND SEPTIC FEASIBILITY

Buildings are anticipated to be able to use conventional shallow concrete foundations and or crib-type foundations, which would allow for releveling if necessary (Chilkoot, 2021).

When lots allow, septic fields are anticipated to be feasible. Septic fields will need to be located within areas with pre-existing mining tailings (Chilkoot, 2021). In addition, septic fields will need a 30m setback from any source of potable water, natural boundary or high-water level of any water body (Design Specifications for Sewage Disposal Systems, Yukon, 2022). However, should percolation rates be unsuitable, or areas of pre-existing tailings are not present within the lot, the option of using holding tanks may need to be explored. This option will need to be done in compliance with the Government of Yukon Environmental Health and Safety requirements.

2.5.4 RECREATION USE

The planning area offers valuable recreational opportunities to the residents, boasting an extensive network of informal trails spanning a total length of approximately 8.2 km. These trails serve as pathways for walking, accessing ponds for swimming, the Klondike River, and additional recreational areas within the planning area (see Figure 7).

The ponds within the planning area hold both aesthetic and recreational values. They contribute to the beauty of the surroundings and offer a range of activities for residents. Swimming is a popular activity during the warmer months, with five of the ponds providing local swimming areas. Fishing is also enjoyed by many, as the ponds are home to diverse fish species. Beyond their recreational significance, the ponds and tailings mounds are viewed as having historical importance as a visual touchstone from the post-goldrush dredge period.

2.5.5 HERITAGE

When considering the development of the area, it is crucial to evaluate the potential impact on heritage resources. To ensure the responsible development of a country residential area within the planning area, a Heritage Resource Impact Assessment (HRIA) was conducted in 2021 by Ecofor Consulting.

The field crew identified 10 historic rock stacked features on top of tailing piles. Additionally, field crews identified 29 anchor cable sites, 11 pole hole stone piles, seven dredge buckets, and several areas of scrap metal, cables, and insulators. No specific areas of pre-contact archaeological materials were noted. The HRIA recommended that at least one rock-stacked feature be avoided and materials be relocated to the proposed heritage park. No further heritage work is recommended. Ecofor identified certain areas of special interest.

2.5.6 FISHERY RESOURCES

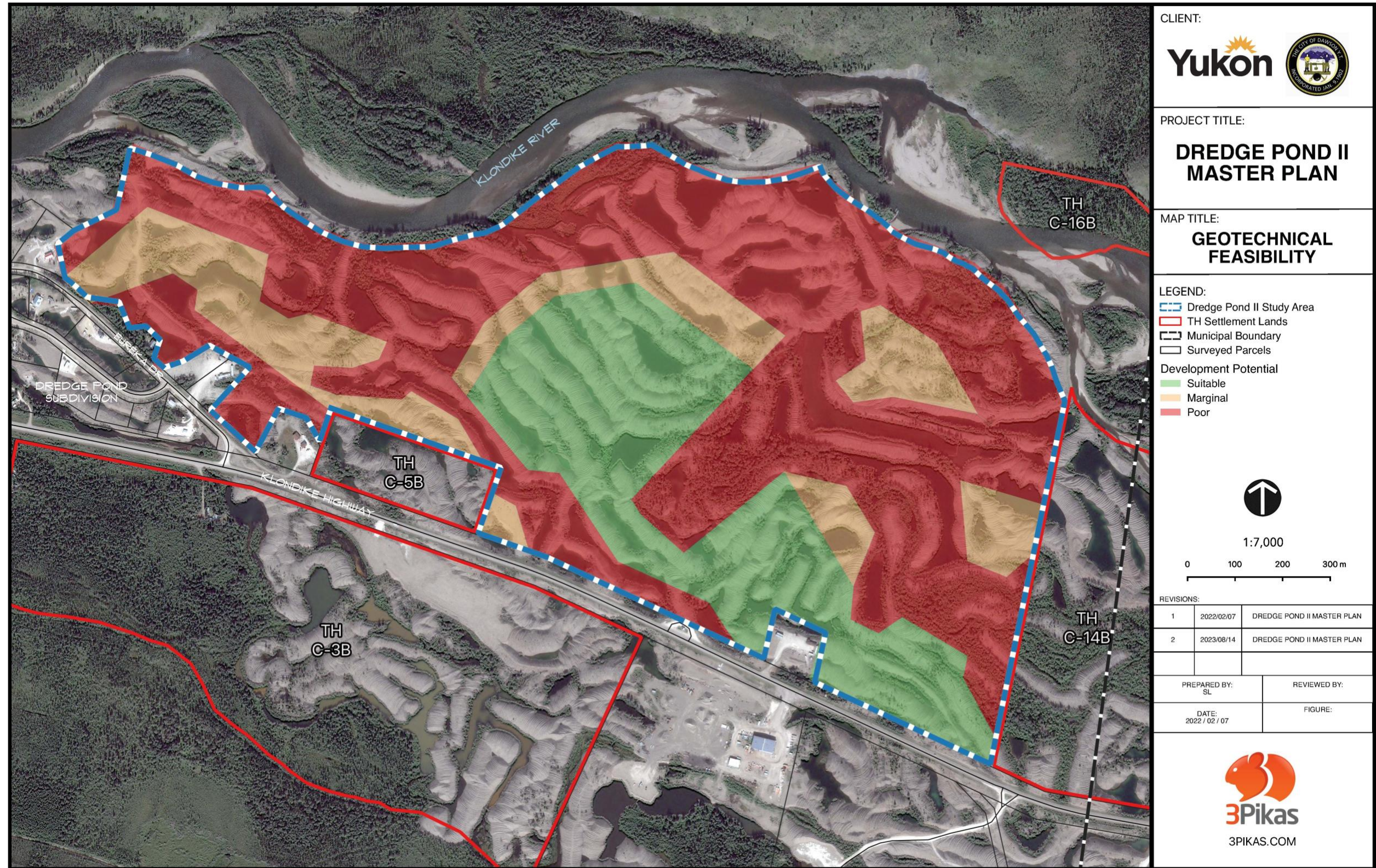
The planning area, located in the historic Klondike River Valley, has a significant legacy of gold dredging that dates back to the early 1900s, spanning over a century. As the gold dredges operated along the riverbanks to extract gold from the underlying deposits, they inadvertently left behind small ponds in

their wake. These ponds, created as a result of the dredging process, have been found to support fish populations.

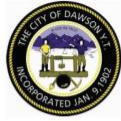
To gather information about the fish populations, a comprehensive field study was conducted in 2012 by Environmental Dynamics Inc (EDI). This study, known as fish mapping, aimed to assess the fish diversity and distribution within the 61 ponds surveyed and sampled. The findings revealed that out of the 61 ponds, 40 contained various fish species. Moreover, among these 40 ponds, 17 were identified as having fish species that are significant to the Commercial Recreational Access (CRA) fishery (EDI, 2012).

Typically, ponds that harbour fish, especially those with CRA fish species, are more commonly found in closer proximity to the Klondike River shoreline. However, it is worth noting that exceptions to this general pattern does exist, as illustrated in Figure 8. Fisheries Act Authorization will be required as well as a fish-habitat offsetting program as part of the implementation of this project.

FIGURE 6: GEOTECHNICAL DEVELOPMENT SUITABILITY



CLIENT:

Yukon 





PROJECT TITLE:

**DREDGE POND II
MASTER PLAN**




MAP TITLE:

**GEOTECHNICAL
FEASIBILITY**

LEGEND:

-  Dredge Pond II Study Area
-  TH Settlement Lands
-  Municipal Boundary
-  Surveyed Parcels

Development Potential

-  Suitable
-  Marginal
-  Poor

0 100 200 300 m

1:7,000

REVISIONS:

1	2022/02/07	DREDGE POND II MASTER PLAN
2	2023/08/14	DREDGE POND II MASTER PLAN

PREPARED BY: SL

REVIEWED BY:

DATE: 2022 / 02 / 07

FIGURE:


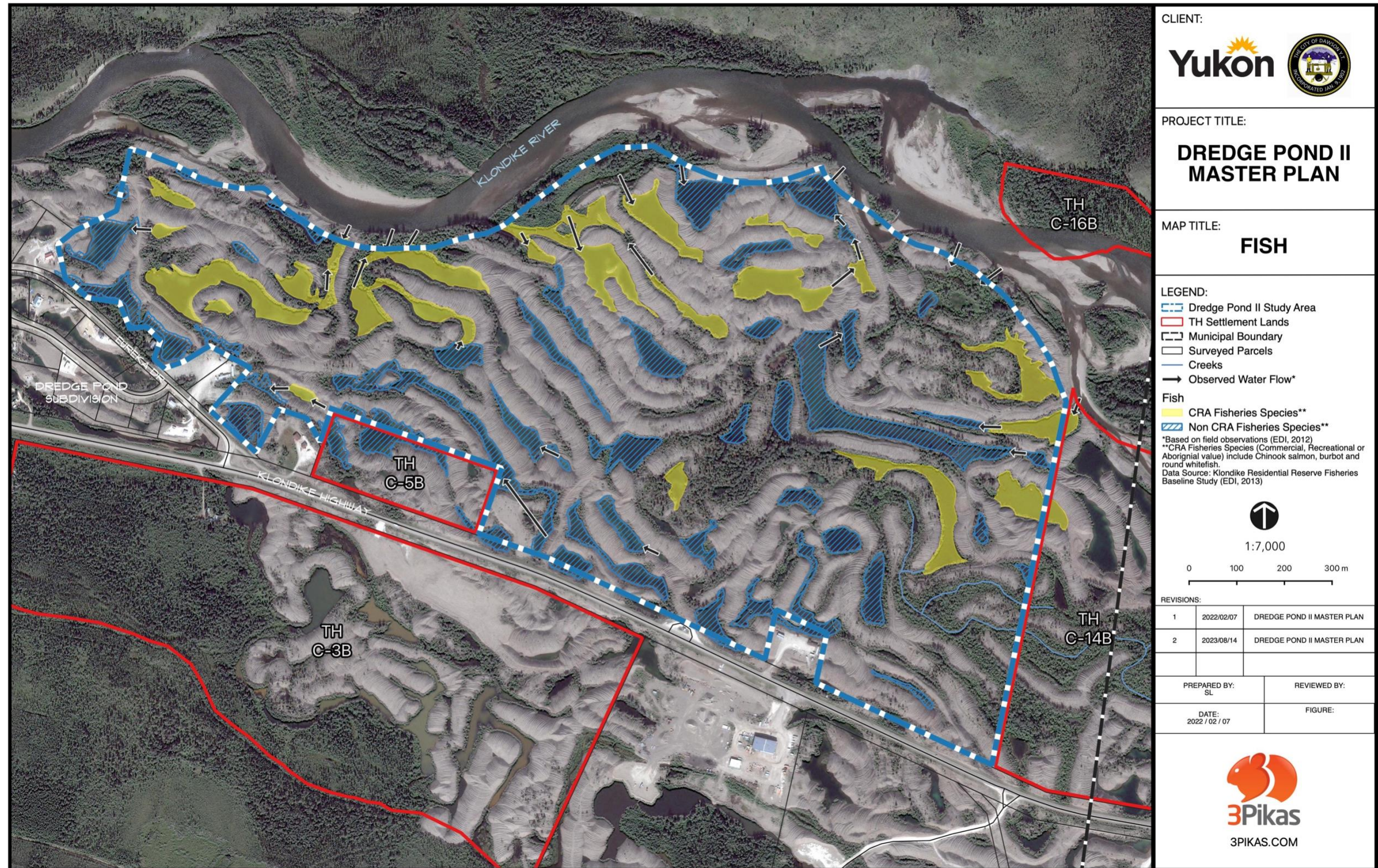

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3PIKAS.COM

FIGURE 7: RECREATION VALUES



FIGURE 8: FISH



3 COMMUNITY ENGAGEMENT

The Dredge Pond II project placed great importance on engaging Dawson City residents, stakeholders, and TH citizens. However, due to the increasing COVID-19 restrictions at the time, all originally planned in-person public engagement events had to be cancelled and transitioned to online platforms in late 2021 and early 2022. The public engagement process involved three surveys and one webinar.

The first survey was conducted for approximately one month and was made available on the City of Dawson's project website on December 21st, 2021. Physical copies of the survey were available at the City of Dawson Main Office building. The second survey was posted on the City of Dawson's project website from June 13th to July 3rd, 2022. A separate survey was designed specifically for TH citizens and was accessible online and in paper format. The survey was conducted for a two-week period in May 2022. Additionally, a mailout was sent to all TH citizens residing in the TH traditional territory to inform them about the project, invite their participation in the survey, and solicit input.

In total, 100 people completed the first survey, and 33 completed the second survey. All relevant information regarding the project was posted on the Dredge Pond II project page on the City's website.

On January 11th, 2022, a webinar was organized on Zoom, jointly hosted by the Government of Yukon, the City of Dawson, and 3Pikas. The Project Team delivered a presentation followed by a question-and-answer session. Approximately 22 individuals attended the webinar.

Furthermore, on January 20th, 2022, the Project Team delivered a presentation to the Heritage Advisory Committee (HAC) of the City of Dawson.

3.1 ENGAGEMENT GOALS

The goals of the public engagement were:

- To inform Dawson City residents and TH Citizens about the project;
- Gather input to help develop a vision for the future subdivision, inform neighbourhood principles, and identify key design considerations;
- Present the draft vision and principles; and
- Present options and gather input.

3.2 WHAT WE HEARD

The following provides a summary of the comments received during engagement that are related to the overall development. Comments about draft concept plans were used to produce the final concept plan.

Key Themes include (in no particular order):

- History and dredge tailings
- Partnership and collaboration with Tr'ondëk Hwëch'in
- Community and community spaces
- Recreation, trails and connections
- Housing and Affordability
- Klondike River and flood hazards
- Protecting sensitive areas and wildlife

3.2.1 WEBINAR

Participants provided comments on the following during the January 2022 webinar:

- Retaining a portion of the tailings.
- The area's heritage value includes artifacts and cultural resources.
- The area's recreation value includes trails, swimming, fishing, etc.
- The proposed mechanism for releasing the lots out onto the market. The lot release timing and the proposed lot sizes.
- The Klondike River: The interplay between the Klondike River and the flood zone and the need for flood mitigations.
- The potential for the planning exercise to consider the provision for shared septic systems.
- The need to consider adjacent land uses and the future development plans on TH C-14B.

3.2.2 FIRST SURVEY: DECEMBER 2021 / JANUARY 2022

The primary objective of the initial survey was to collect feedback from the community, which would then be used to shape the subdivision's vision, principles, and other essential values that would serve as guiding principles for the design process. 100 people completed the first survey.

Survey respondents provided comments on the following:

- A large portion of respondents (75) identified the Klondike River as a high-priority area to be considered in the plan.
- Other special areas or features identified by respondents include:
 - Tailing piles
 - Trails
 - Water

- Natural areas
- Wildlife areas
- 88 respondents identified establishing trail linkages to connect Dredge Pond II with existing nearby subdivisions and other parcels as a medium to high priority.
- 83 respondents identified protecting trails as a medium to high priority.
- 88 respondents identified establishing trails to connect Dredge Pond II with the Klondike River as a medium to high priority.
- While 20 respondents identified preserving the character of the dredge tailings as a high priority, 33 respondents identified preserving the character of the tailings as a low priority.
- 80 respondents assigned a medium to high priority ranking to neighbourhood parks.

In considering sustainability and resiliency, these were the common themes heard:

- Consider climate change and build climate change mitigations and adaptations
- Incorporate appropriate setbacks from the River to avoid flooding
- Include social and affordable housing
- Preserve a critical mass of historic dredge tailings
- Create appropriate lot sizes
- Partner with Tr'ondëk Hwëch'in
- Consider natural eco-systems and maintain publicly accessible greenspace along the Klondike River
- Create community space, community connection, and amenities
- Respect and retain the heritage character and resources
- Encourage revegetation to help increase ecological diversity

Finally, survey participants were asked about their big ideas for what would make Dredge Pond II a truly great subdivision? These were the common themes heard:

- Include space for children and youth
- Include a setback from the highway to reduce traffic noise
- Set aside lots and make them accessible to low-income and first-time buyers
- Provide a range of lot sizes
- Consider an innovative land lottery approach
- Create affordable lots
- Provide country residential housing with a shared central community space
- Include a section for higher-density residential
- Incorporate space for a large community garden
- Consider including a community park
- Consider houseboats on some of the ponds
- Consider setting aside some of the ponds for swimming

3.2.3 SECOND SURVEY: JUNE / JULY 2022

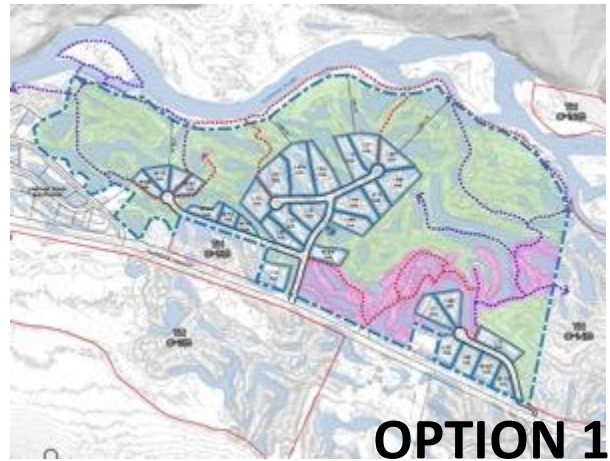
The primary aim of the subsequent survey was to solicit input from the community regarding draft vision and the two proposed draft options. Survey participants provided comments on the following:

- **Vision:**

- One person commented that the vision lacked an emphasis on affordability and access to land and housing.
- Another respondent noted that the vision could be improved by including a reference or statement on the need for all new infrastructure to be green and low carbon.

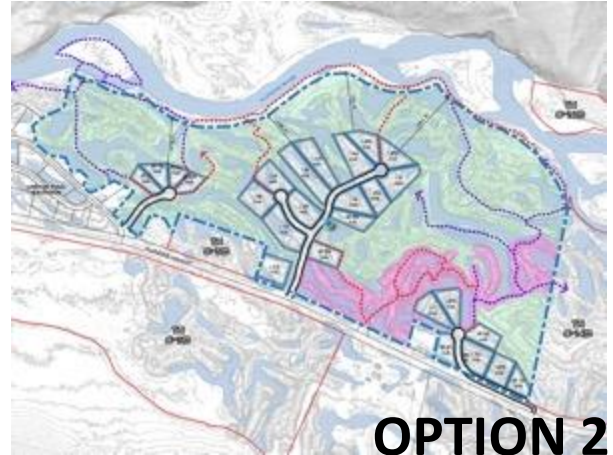
- **Option 1:**

- Respondents generally appeared favourable toward option 1. One respondent stated, "I believe option 1 is the best viable configuration. I do also think that we could reclaim some of the old dredge ponds and allow for expansion in the future."
- Another respondent mentioned being in support of the clusters approach "as they make a greater community vibe but I do think you need more lots added to some of these."
- One respondent inquired about the lot sizes and was concerned that some of the lots would be subdivided in the future.
- One respondent noted not being worried about the impacts on the tailings. They noted that there are many more in the region and many more in the Klondike valley. They went on to say that producing liveable space and retaining space needed to provide trails into and out of the subdivision is badly needed and is more important at this point.
- One respondent referred to the large green space area, the trail network, and the dredge tailings as favourable features and agreed with the level of protection placed on these features.
- Finally, one respondent commented on the need for more compact residential living.



- **Option 2:**

- Respondents appeared to be slightly less supportive of this option.
- The proposed number of lots was noted by one respondent as being less favourable than option 1.
- The configuration of the lots was also noted as being less favourable than option 1.
- One respondent mentioned that the elongated lot configuration was less useful and family friendly.
- One respondent mentioned not agreeing with the need for a historic tailings park as housing was more of a priority, while another noted that there wasn't enough dredge tailing protection.



4 VISION & PRINCIPLES

The following vision for the development was developed with input from City of Dawson residents and the Dawson City Council. It considers the broad demographic trends as well as the needs and goals of the City of Dawson looking towards the future.

“Dredge Pond II is a unique, livable, connected, and resilient subdivision. It protects the eclectic mix of historic resources and celebrates the diversity of cultures and the past. Dredge Pond II is designed to encourage a sense of community and interactions amongst residents and the public. It provides a number of residential lots to cater to a range of ages and incomes and family circumstances.

The Dredge Pond II subdivision is centered around an extensive maze of ponds and trails, which wind through the subdivision stretching from the Highway to the Klondike River connecting green space and providing access to natural amenities. It will be designed to integrate with nearby Tr'ondëk Hwëch'in C-5B and C-14B.”

4.1 DEVELOPMENT OBJECTIVES

The development objectives provide specific direction for how the vision will be carried through the Master Plan and subsequent development. These objectives will serve as a framework for various planning aspects, including lot layout, the design of greenspaces, trails, road networks, and supporting community infrastructure. The objectives also provide greater detail on the overall design intent for the neighbourhood.

4.1.1 NURTURE EXISTING NATURAL AREAS

The Dredge Pond II is designed to include existing natural areas and respond to natural features. This may include the Klondike River riparian area, ponds, watercourses, and native plant vegetation.

Intent:

- Identify and preserve significant environmental and ecological resources and natural areas within the Dredge Pond II area.
- Design the subdivision layout to avoid unnecessary disturbance of major natural areas or significant landscape features.
- Utilize existing natural areas as part of public green spaces and/or incorporate a trail network within these areas.
- If possible, connect natural areas with larger, ecological networks to allow for wildlife movement and improve ecosystem services.



PHOTO: TYPICAL DREDGE POND II VEGETATION

- Subdivision design should incorporate elements to protect and enhance the Klondike River riparian areas.

4.1.2 CONNECT TO THE RIVER

Public connections to the Klondike River should be provided where opportunities exist while respecting and acknowledging private spaces, the river, and the flood zones in the design of the subdivision.



PHOTO: KLONDIKE RIVER

Intent:

- Only low-vulnerability recreational uses should be retained along the river corridor to accommodate floodwaters.
- Connect trails with trail networks located in adjacent subdivisions.
- Connect open spaces with trails.
- Maintain and, where possible, provide access to the Klondike River for recreation.
- Maintain a riparian buffer along the Klondike River corridor.

4.1.3 FOSTER A DISTINCT HERITAGE AND CULTURAL IDENTITY

Distinct, yet connected land uses within Dredge Pond II, each with its own unique purpose and character, should be fostered. Features, focal points, natural elements, and heritage resources are integrated and represented in various locations within the subdivision. The subdivision retains a distinct ‘look and feel’ unique to the dredge tailings, including the piles, rock stacks, and other heritage resources.



PHOTO: ROCK STACKS

Intent:

- Preserve existing tailings and, where possible, create new viewpoints.
- Reflect and incorporate Dawson and Tr'ondëk Hwëch'in natural or cultural features of the site in some of the following elements: Street names, signage design and materials (e.g., street signs, entrance signs, plaques), and trail elements (e.g., interpretive signage).
- Incorporate tailings features that signal arrival and departure from the Dredge Pond II subdivision.

4.1.4 CREATE A RESILIENT NEIGHBOURHOOD

The subdivision should be resilient and adapt to changing conditions such as climate change and changes in residents' needs and preferences. Resilient subdivisions are designed for efficient infrastructure and are able to respond and adapt to changes.

Intent:

- Incorporate a climate lens of resiliency in the design of new infrastructure.
- Minimize hard surface infrastructure requirements, optimize infrastructure use, and avoid duplication where possible.
- Seek out and create partnerships to deliver amenities and share in risk (e.g., co-locate complementary uses, share access and service areas, etc.).
- Where possible, restore and/or adapt existing tailings to preserve heritage features.
- Re-direct post-development flows away from ponds with CRA fish species where possible to maintain their habitat quality.
- Reduce community vulnerability to flooding by providing a large lateral setback from the river and locating residential uses in areas identified as suitable for development or marginally suitable for development.
- Only low-vulnerability recreational uses should be retained along the river corridor.

5 DEVELOPMENT CONCEPT

The concept plan illustrates the overall land uses, road, and proposed development fabric. This plan was designed to provide a range of places for people to live and recreate. The plan aims to develop the dredge tailings area while limiting the impact on aquatic life and areas of interest.

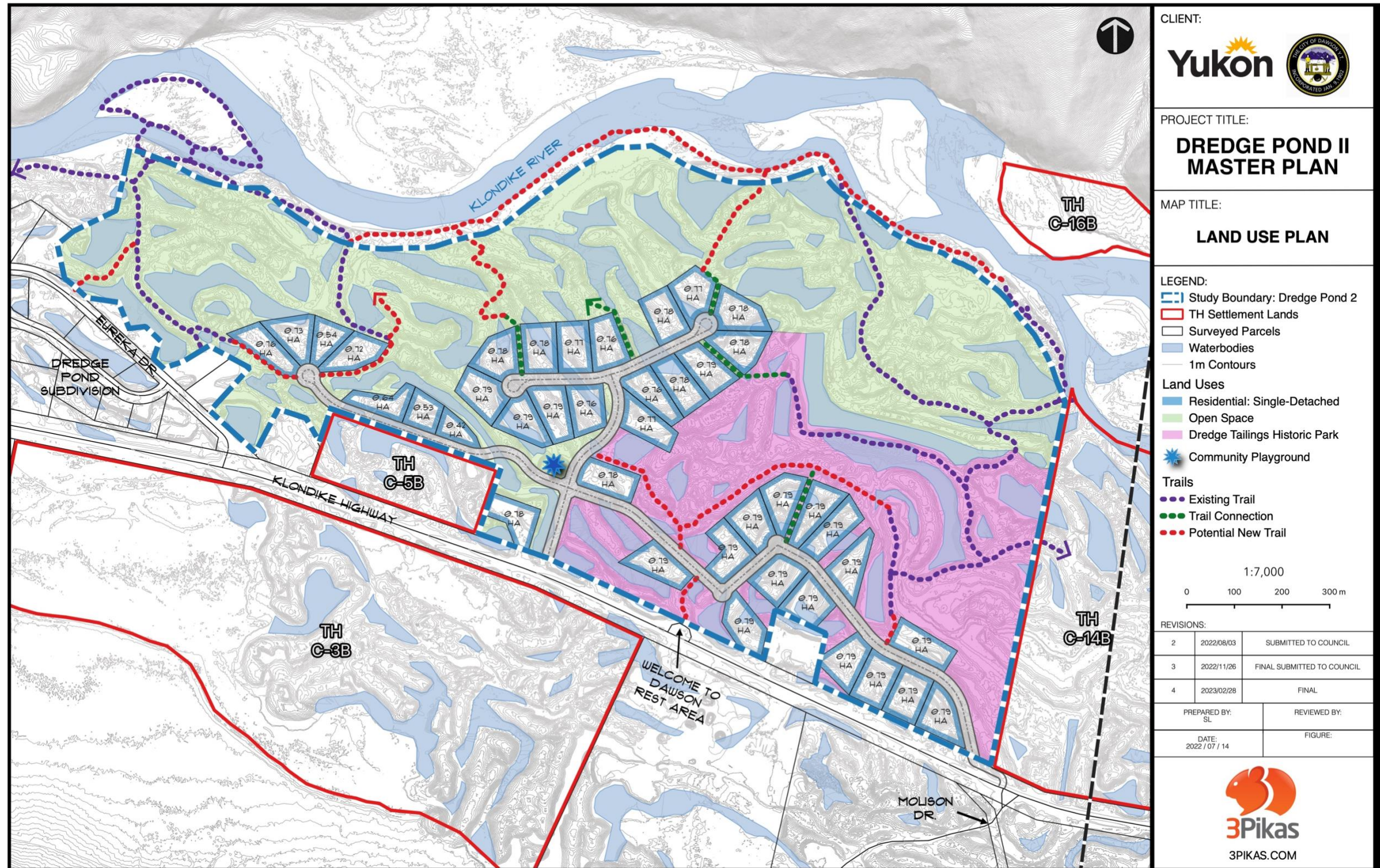
Overall, Dredge Pond II is designed to conserve and connect with its natural environment and honour its heritage. A vast open space network is integral to the subdivision concept, connecting the residential lots, community park, natural areas, and the Klondike River. More specifically, a large open space area was planned primarily for human use and enjoyment but also serves as a temporary water retention area during extreme flooding events. A historic park space fosters and encourages an active community while retaining the historic value of the tailing piles and ponds (Figure 9).

The proposed development concept provides a variety of residential lot sizes, allowing for country residential living, which requires relatively large lots to facilitate onsite services. The Master Plan also considers greenspace, land use, and its importance in building a community with a natural feel.

This development concept is based on a development pattern comparable to the adjacent Dredge Pond Subdivision and other existing developments along the Klondike River valley. This approach promotes “recycling” areas with a high concentration of tailing piles and avoids areas requiring a large amount of fill. It focuses on reusing and repositioning tailing piles where possible. This strategy helps in minimizing earthwork and regrading, even though large quantities will still be necessary.

The lot design and configuration took into account municipal and environmental regulations, which encompassed factors such as minimum zoning setbacks and Environmental Health setbacks. Ponds and open water create building siting challenges, and space is limited. Building on a lot constricted between a road, a pond, and the Klondike River increases vulnerability and reduces overall resilience. For this reason, additional development controls are recommended in Section 5.3. Finally, the irregular nature of the tailings creates potential access limitations and material requirements.

FIGURE 9: CONCEPT PLAN



5.1 LAND USE

The land use plan describes the location, density and type of housing, green space, and community use that will be developed. Land use designations are aligned with the Official Community Plan and are guided by the principles endorsed within this document.

Dredge Pond II is 143 hectares (353 acres). Just under a third of the area is dedicated to housing. The 40 residential lots are organized into three main residential clusters. These clusters offer an advantage in terms of infrastructure, services, and cost. The lots vary in shape, size, and dimension and are accessed via two new accesses on the Klondike Highway. The proposed accesses to the site at the Klondike Highway meet Yukon’s access spacing requirements. The lots were carefully designed to accommodate options for building sites, grading, and onsite holding tanks and arranged to take advantage of tailing piles and topography to create a more sustainable and resilient subdivision. Residential lots are set back from the main Klondike River channel. Based on available information, a 200m to 600m setback could provide flood protection, recreation space, and habitat function.

Approximately half of the total developable area is retained as open space for recreation, habitat function, and flood protection. It is envisioned that open spaces should be at a walkable distance to residential lots. Careful thought went into locating the neighbourhood park space to help facilitate access and to incorporate the wider open space and trail network. More importantly, open space areas provide much-needed space for engineered flood protection structures or physical measures, such as floodplain restoration, to allow flows to bypass potential ice jams while limiting the rise in upstream water levels.

Finally, just under a quarter of the area is dedicated to heritage use and to provide protection for the dredge tailings, cultural landscape, and heritage resources. Access to the Historic Park is provided through a rest area on the Klondike Highway and strategically positioned beside the main entrance to the subdivision. The area is envisioned to include an array of artifacts representative of the time period. Informative signage, plaques, or displays should be strategically placed throughout to provide historical context, stories, and explanations of the significance of various structures or areas.

TABLE 1: SUMMARY OF LAND USE

LAND USE	AREA (HA)	AREA (%)
LOW DENSITY RESIDENTIAL	30.18	21%
OPEN SPACE	72.45	51%
HERITAGE PARK	33.63	23%
ROAD	7.10	5%
TOTAL	143.36	100%

5.1.1 LOT SUMMARY AND ANTICIPATED POPULATION AT FULL BUILD-OUT

The table below summarizes the dwelling units by type and future population projections. The anticipated housing density of Dredge Pond II is 0.77 du/net ha, with a total housing stock of 44 units, and a population of 88 residents.

TABLE 2: SUMMARY OF NUMBER OF LOTS, UNITS, AND POPULATION CAPACITY

LAND USE / HOUSING TYPE	AREA (HA)	AREA (%)	# OF LOTS	ESTIMATED NUMBER OF SUITES	DU/NET HA	POPULATION**
RESIDENTIAL: SINGLE-DETACHED HOUSING	30.18	21%	40	4	1.46	88

*The estimate is based on 10% of lots having additional dwelling units (i.e., secondary and garden suites).

**The estimate is based on an average household of 2.0 people per household from the 2016 Stats Canada Census

5.2 RESIDENTIAL LAND USE

The essence of residential lots is envisioned to retain the area's natural character. Lot sizes support standard single-detached housing with or without a garden and/or living suites.

Lots vary in size to take advantage of the existing topography. Lot sizes and frontage range considerably from 1 acre (0.40 ha) to 2 acres (0.80 ha) and frontage from 15m to 136m width.

Intent: Provide low-density single-detached housing with a garden or living suite option.

Recommendations for low-density residential:

- Permitted residential use includes single-detached housing.
- All inhabited buildings must be constructed 1m above the 200-year flood elevation per the prescribed subdivision design elevations.
- A garden or living suite may be allowed where design elevations can be achieved in line with the overall grading plan.
- Apply flexible setbacks to reduce the need for cut / fill and reduce the risk of flooding.
- All new lots have buildable areas above the 200-year flood elevation.
- Shared driveways are permitted where there are no options for individual driveways or if residents agree to share driveway development costs.



PHOTO: COUNTRY RESIDENTIAL HOUSING FORM

5.2.1 OPEN SPACE

Creating natural green spaces and open spaces where folks can congregate and recreate is a key theme within the Master Plan. The primary intent of the open space concept is to preserve large areas of connected natural and existing vegetation as habitat, for recreational activities, and as flood prevention.

The open space concept supports a connected multi-use trail system. Where possible, existing trails were retained. These trail connections provide coherent access to future trails. The primary intent of the trails is to create low-impact recreation opportunities.

Recommendations for open space areas:

- Create gathering spaces for community and recreational use.
- Retain a natural look and feel that fits with adjacent development patterns.
- Provide green trails and recreation opportunities.
- Provide flood prevention.

5.2.1.1 PLAYGROUND

The Master Plan incorporates a central playground with access from the main entrance to the subdivision. Playgrounds provide a space where the communities can come together and where children can spend time outside playing and engaging in physical activity.

Additionally, having a central playground can help promote active transportation, such as walking or biking, as families are more likely to walk or bike to the playground if it is easily accessible. This can further contribute to a healthy and sustainable community. The playground is intended to include play structures and equipment and could be fitted with roofing or enclosures to provide shelter from snow, wind, and cold temperatures.

These covered areas would allow children to continue playing even during light snowfall or chilly weather. To ensure year-round accessibility, the design should account for snow removal and maintenance during the winter months. A successful playground would blend elements of play, safety, cultural appreciation, and environmental awareness while accommodating the unique challenges posed by cold weather and snow.



PHOTO: NEIGHBOURHOOD PLAYGROUND

5.2.1.2 WALKWAYS & TRAILS

Walkways accommodate non-motorized trail use within the neighbourhood and provide pedestrian connections to trails. When a walkway abuts private property, the primary goal is to foster unobstructed access and reduce the potential for encroachment. This is achieved by designing the walkway junction with appropriate signage and soft landscape treatment such as boulders, shrubs, trees, and plants. This signals that the area is a public space (Figure 10). Trails should augment and align with nearby trails, and should be 2 to 3 metres wide.

FIGURE 10: WALKWAY DESIGN & TREATMENT

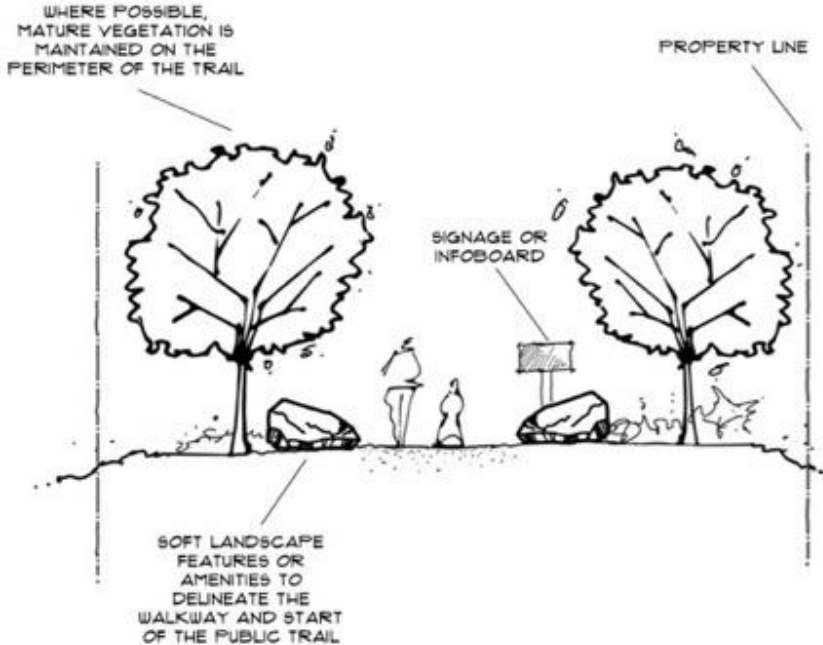


FIGURE 11: PROPOSED SURFACE MATERIAL FOR TRAIL CONSTRUCTION: COMPACT CRUSH



5.2.2 HISTORIC PARK

The City of Dawson historic park provides protection for one of the last remaining sections of dredge tailings within the municipal boundary. While much of Dawson surrounding area was once characterized by rolling tailings piles, the majority of the tailings have been altered by further mineral extraction or other activities and development. As such, the Master Plan incorporates a historic park which encompasses 33.63 ha of the planning area.

Intent: Moving forward through further planning, the City of Dawson should pay attention and respond to the protection of tailings piles, tailings ponds, and other historical assets such as, mining equipment and artifacts. Further, the historic park addresses the protection of these historical assets by promoting low-impact activities and discouraging most forms of development, especially those which may require extensive re-grading. The historic park includes information plaques to facilitate site visits, interpretive trails and boardwalks to guide visitors toward historical assets or areas, and picnic areas for visitors to enhance the visit. While the historic park space does not encompass the entire planning area, the Master Plan suggests that artifacts in the area slated for development and grading be moved to the historic park.

5.3 ZONING AND DEVELOPMENT REGULATIONS

The City of Dawson Zoning Bylaw 2018-19 regulates various aspects of land use and development within the municipality. Among other things, the City of Dawson Zoning Bylaw includes provisions and regulations related to the following: land use, density, building height, setbacks, parking requirements, and subdivision requirements. Overall, the zoning bylaw aims to ensure orderly and compatible development, protect the character of the neighbourhood, promote public safety, and balance the needs of different land uses within the municipality.

The following zones reflects the desired mix of land uses, density, and character for the Master Plan area. The proposed zoning for Dredge Pond II includes Country Residential (R3) and Parks and Natural Space (P1). While Table 3 provides a summary of the zoning proposed within the Master Plan, Figure 12 shows the proposed zoning districts within the plan.

The Country Residential (R3) regulations should be reviewed, and the following changes should be considered:

- The 200-year flood elevation plus a 1m of “freeboard” should be used to establish the elevation of the underside of a wooden floor system or the top of a concrete slab for habitable buildings.
- In the case of a manufactured home, the ground level or top of the concrete or asphalt pad on which it is located shall be equal to or higher than the above-described elevation.
- Buildings should not be constructed in regions where tailings ponds have been infilled due to anticipated settlement.

Low-vulnerability accessory structures such as sheds, greenhouses, and landscaping features are permitted to be situated below the 200-year water level.

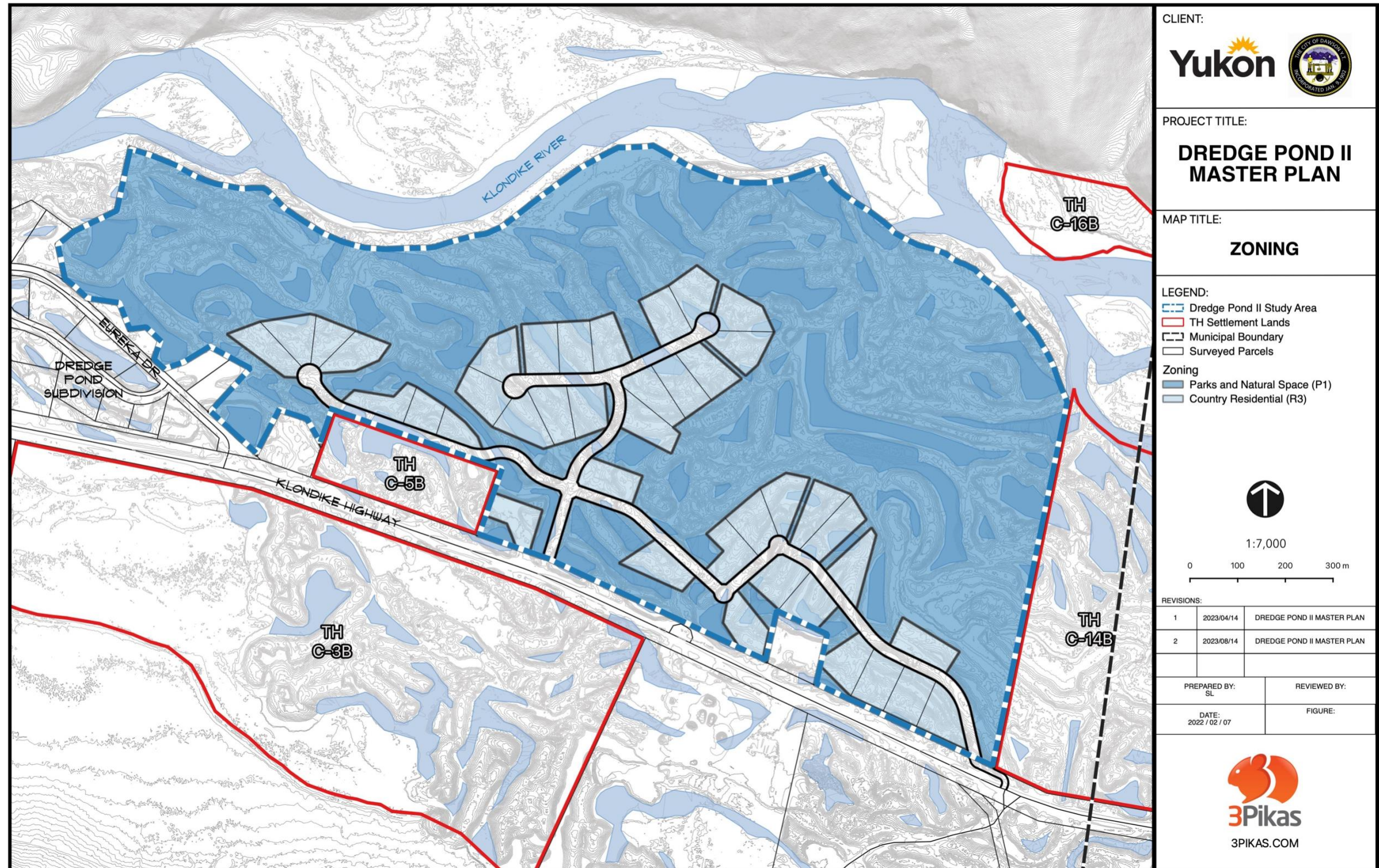
TABLE 3: CITY OF DAWSON ZONING BYLAW 2018-19

ZONING	INTENT	PRIMARY USE
Country Residential (R3)	<i>The purpose of the R3 zone is to permit low-density single detached housing in a rural setting.</i>	<i>Accessory building or structure - Bed and breakfast - Garden suite -Home industry - Home occupation -Modular home - Secondary suite -Single detached dwelling</i>
Parks and Natural Space (P1)	<i>The purpose of the P1 zone is to provide parks and natural areas for outdoor enjoyment.</i>	<i>Accessory building or structure- Campground - Cultural event or display - Park- Dock - Natural science exhibits and interpretive signage - Outdoor recreation facility - Public washrooms - Trails – Vendor, commercial – Vendor, food</i>

5.3.1 SUBDIVISION

Municipal regulation of the subdivision of land manages how parcels of land are divided into smaller lots. The City of Dawson regulates the layout of lots and their development. Subdivision control can ensure that the lots are designed to minimize hazards, are accessible, and can be maintained over the long term. Managing where and how land is divided into smaller lots is important to promote resilient developments to flood hazards. All proposed subdivided lots should have at least one viable building site and comply with all municipal and environmental setbacks. Consent to subdivide should be withheld where these conditions cannot be met. Lots should be less than 0.8 hectares to prevent further subdivision.

FIGURE 12: ZONING



6 ENGINEERING SERVICING PLAN

This section describes the preliminary servicing plan for the infrastructure required for Dredge Pond II. It is important to note that the planning and engineering sections are mutually supportive, and the overall functionality and sustainability of the subdivision depend on these two aspects working together.

The detailed servicing design should be developed with a close review of this master plan and be guided by goals, overall design intent and an integrated approach for the development.

The Preliminary Design Report, including site challenges, predesign, and Class D capital cost estimate, is attached in Appendix A.

6.1 SITE GRADING

The site grading plan was developed with consideration of the following principles:

- Stormwater management – Ensure proper drainage.
- Wastewater servicing – Ensure proper setbacks.
- Roads – Conform to existing topography wherever possible.
- Existing vegetation retention – Evaluate and identify opportunities to maintain vegetation within the lots and greenspace.
- Minimize earthworks – Provide the least earthworks to grade the development.

The overall grading concept plan (Figure 13) identifies proposed finished subdivision elevations and grades of the roads with the corresponding cut and fill shown. Other key components of the grading plan, such as driveways and conceptual minimum lot grading areas, are also shown.

6.1.1 DESIGN ELEVATION

While locating buildings and infrastructure outside the floodplain is always ideal, it is not possible in the case of Dredge Pond II. Dredge Pond II is adjacent to the Klondike River, so the risk of flooding due to ice jams is significant. According to the Yukon University Preliminary Assessment of Flood Exposure Report, the estimated 200-year water level varies non-linearly between 335.5m downstream to 342.5m from west to east, respectively. However, for the purposes of this Master Plan, a linear approach was used to determine the 200-year flood elevation throughout the planning area and a 1m of “freeboard” was added to provide an additional level of safety.

As such, a subdivision design elevation varies between 337m to 344m, from west to east. The minimum road design elevations are specified in the overall subdivision grading plan (Figure 13) and the Road Profile (Figure 14). The minimum lot design elevations are provided in (Table 4).

FIGURE 13: GRADING PLAN

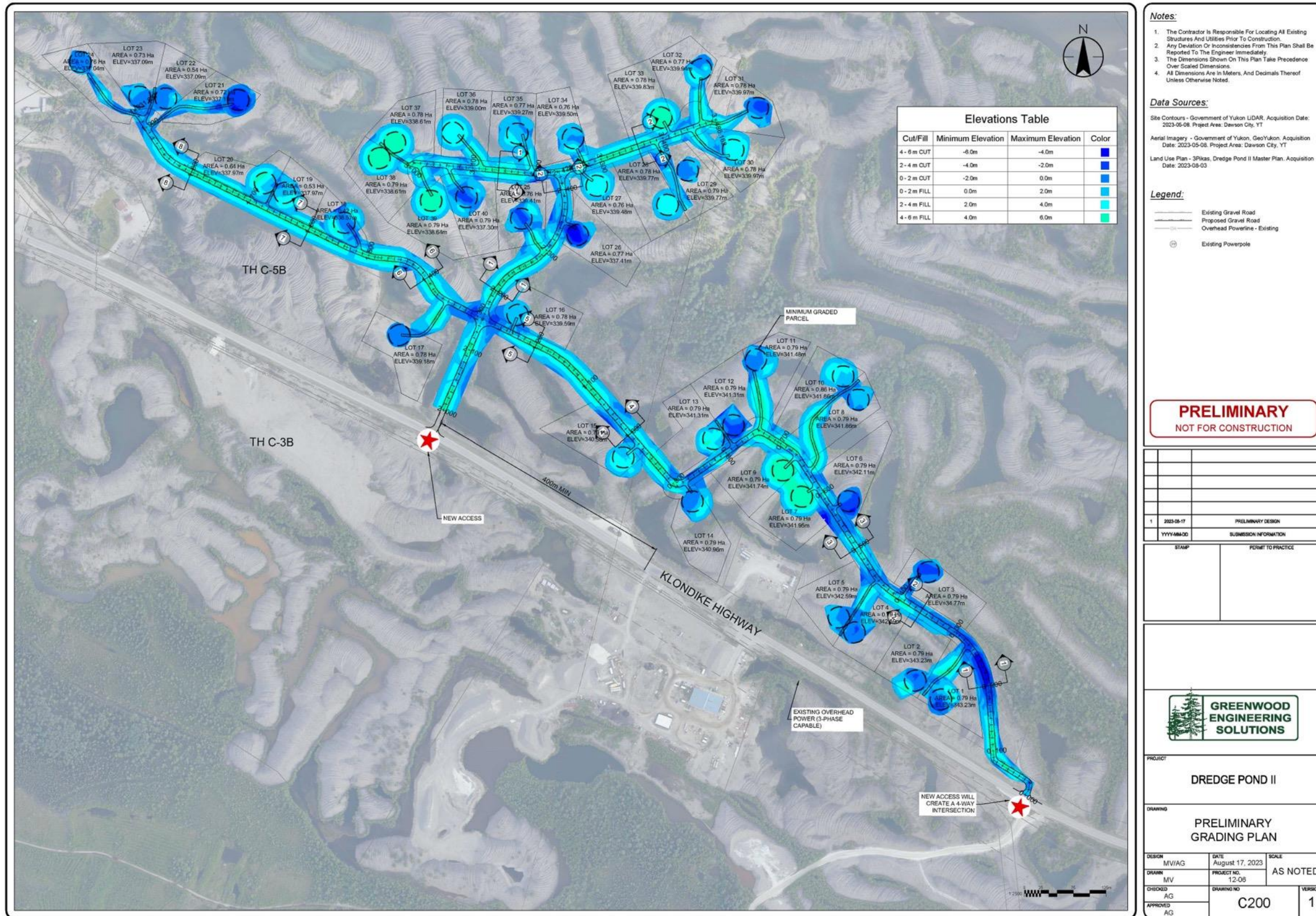


FIGURE 14: ROAD PROFILE

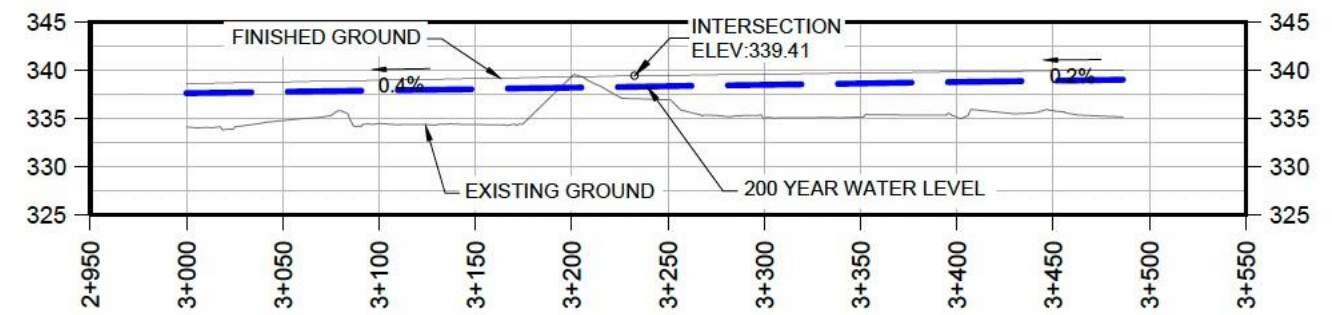
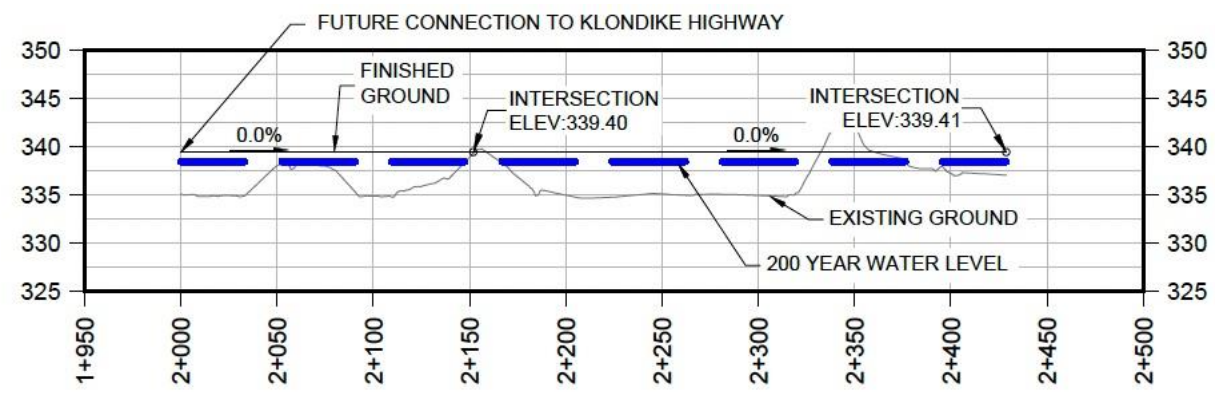
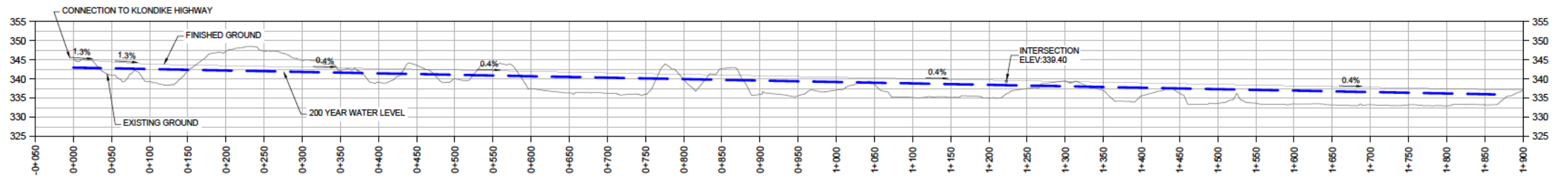


TABLE 4: LOT DESIGN ELEVATIONS

200 YEAR FLOOD DESIGN ELEVATIONS		
LOT NUMBER	LOT AREA (Ha)	DESIGN ELEVATION (m)
1	0.79	343.23
2	0.79	343.23
3	0.79	342.77
4	0.79	342.59
5	0.79	342.59
6	0.79	342.11
7	0.79	341.95
8	0.79	341.86
9	0.79	341.74
10	0.86	341.86
11	0.79	341.48
12	0.79	341.31
13	0.79	341.31
14	0.79	340.96
15	0.79	340.58
16	0.78	339.59
17	0.78	339.18
18	0.42	338.57
19	0.53	337.97
20	0.64	337.97
21	0.72	337.13
22	0.54	337.09
23	0.73	337.09
24	0.76	337.04
25	0.76	339.41
26	0.77	337.41
27	0.76	339.48
28	0.78	339.77
29	0.79	339.77
30	0.78	339.97
31	0.78	339.97
32	0.77	339.94
33	0.78	339.83
34	0.76	339.50
35	0.77	339.27
36	0.78	339.00
37	0.78	338.61
38	0.79	338.61
39	0.79	338.64
40	0.79	337.30

6.2 WATER & WASTEWATER

6.2.1 WATER

Water servicing could be provided using either water delivery by trucks or through well systems, with the final responsibility falling on the property owner in accordance with zoning and development regulations and Design Specifications for Sewage Disposal Systems (YG, Environmental Health Services).

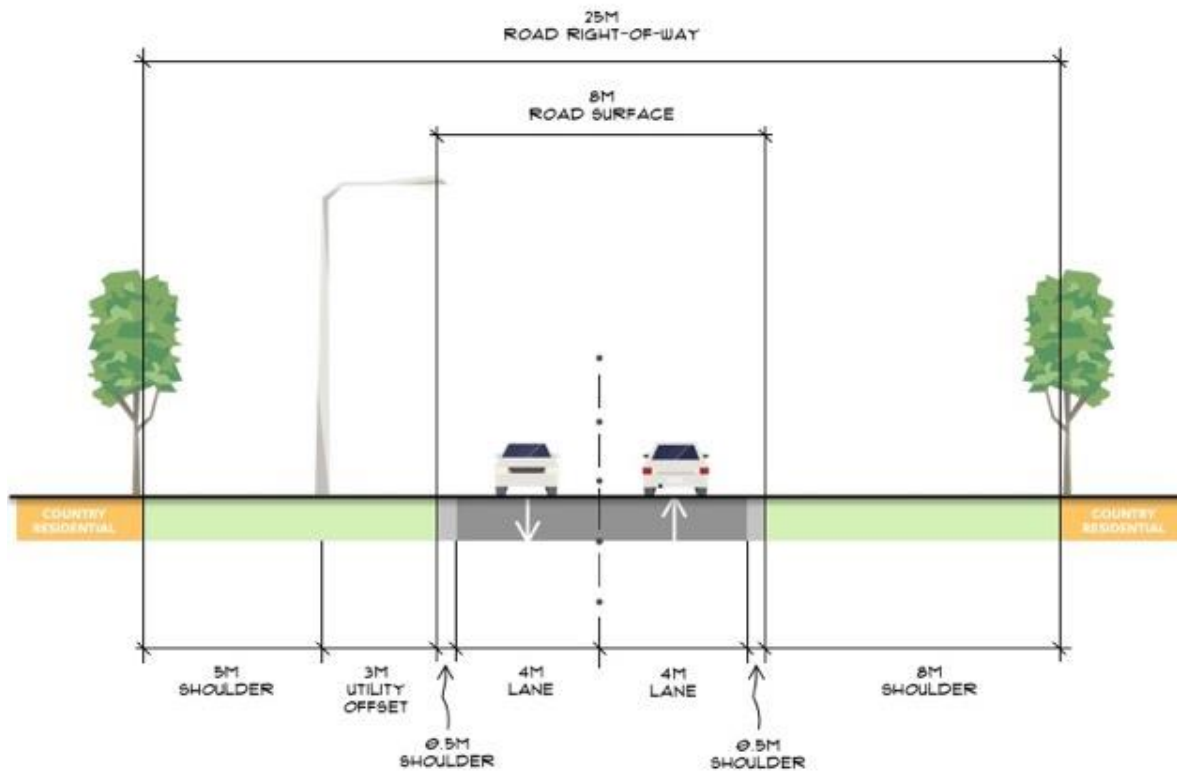
6.2.2 WASTEWATER

Where conditions allow for a 30m setback from any source of potable water, natural boundary or high-water level of any water body, septic fields are anticipated to be feasible. However, given the granular native material on site, the high hydraulic conductivity of the soils to the Klondike River, and the potential for flooding, there is a high risk of septic fields contaminating the river. There must be a minimum of 1.2 m of vertical separation between the bottom of a bed and the seasonally high groundwater table and/or impervious layer (Design Specifications for Sewage Disposal Systems, Yukon, 2022). Septic holding tanks will be required if percolation rates and regulatory setbacks are unsuitable within the lot. The tank sizing and setbacks will need to align with the Yukon government regulations and design standards.

6.3 ROADS AND DRIVEWAYS

Access to the proposed subdivision will be provided by an 8m wide, 2-lane gravel access road with a 25m right of way from the Klondike Highway (Figure 9). All internal access roads inside the subdivision will also be 8m wide, 2-lane gravel access roads with a 25m right of way. A minimum 3.5m wide gravel driveway will be provided to all lots. All roadways and driveways will have a 3% cross fall with the crown located 1m above the 200-year water level. Given the porous nature of the soils and the fact that the area will be built up with extensive dredge ponds throughout the development, culverts will not be required at all road crossings and driveways, and further review of any culvert requirements to manage drainage should be reviewed as part of the detailed design stage. Storm runoff will be conveyed to primarily through overland drainage (ditches) to open space areas. An overall subdivision drainage plan should be developed during detailed design to ensure run-off from developments will flow into designated open spaces.

FIGURE 15: LOCAL ROAD CROSS SECTION



6.4 POWER & COMMUNICATION

All electricity in Dawson City is provided and distributed by Yukon Energy Corporation (YEC). There is currently no existing electrical infrastructure in the Dredge Pond II planning area. However, 3-phase power is provided along the Klondike Highway between Dawson City and the Airport. YEC has indicated that they currently do not have the capacity to support the proposed 40 residential units in the Dredge Pond II area but are expecting to be able to supply this proposed development by November 2025 as they are in the process of procuring additional power generation equipment. All Dredge Pond II Subdivision electrical services would be provided via overhead power.

6.5 CLASS D COST ESTIMATE

Greenwood Engineering Solutions provided a Class D cost estimate. The cost estimate is intended to assist in making initial decisions on the feasibility of the Dredge Pond II subdivision. Many elements, such as final loting, fill requirements, construction season, year of construction, etc., could impact the final cost estimate. The cost estimate includes items such as road construction, driveways, fill, two highway intersections, power and transformers, and a playground.

The was estimated to cost **\$11,400,000** or **\$285,000** per lot.

Note that these costs include a 50% contingency and engineering mark-up, which is typical of the Class D level to account for assumptions and associated risk of cost increases.

More details regarding the breakdown of costs and assumptions can be found in the pre-design report in Appendix A.

TABLE 5: CLASS D COST ESTIMATE

Item	Description	Unit	Quantity	Unit Rate	Cost Estimate
1	Earthworks				
1.1	Road Construction STA 0-000 - 1-860 (8m Wide)	l.m	1,860	\$568	\$1,056,480
1.2	Road Construction STA 2-000 - 2-428 (8m Wide)	l.m	428	\$568	\$243,104
1.3	Road Construction STA 3-000 - 3-486 (8m Wide)	l.m	486	\$568	\$276,048
1.4	Driveways (3.5m Wide)	l.m	1,969	\$56	\$110,261
1.5	Common Fill	m ³	151,000	\$12	\$1,812,000
1.6	Imported Fill	m ³	90,000	\$36	\$3,240,000
1.7	Highway Intersections	ea	2	\$75,000	\$150,000
2	Power and Communication				
2.1	Overhead Powerpoles with Allowance for Transformers	ea	46	\$12,000	\$552,000
3	Leisure				
3.1	Playground	ea	1	\$120,000	\$120,000
Subtotal					\$7,559,893
Contingency and Engineering (50%)					\$3,779,946
TOTAL					\$11,400,000
Cost Per Residential Lot					\$285,000

7 NEXT STEPS

7.1 TECHNICAL STUDIES

During the pre-planning and feasibility phase, a series of technical studies were undertaken to verify conditions and feasibility. These studies included a desktop geotechnical evaluation, an environmental assessment, a heritage impact assessment, a fisheries baseline study, and an analysis of flood exposure.

Before advancing to detailed design and construction, several additional steps need to be fulfilled to conclude the planning process. These steps encompass supplementary technical studies and securing environmental and municipal endorsements and permits.

The following technical studies should be completed prior to embarking on additional planning work.

Traffic Impact Assessment (TIA): Prior to development, a traffic study should be conducted in an effort to anticipate and mitigate the impacts of increased traffic levels on the Klondike Highway.

Flood Risk Map: Prior to detailed design, a flood risk mapping exercise should be completed in an effort to determine the socio-economic impacts flooding can have on the study area. The mapping would seek to identify critical infrastructure, homes, and other buildings that flooding could affect and may include financial impact estimates of potential floods of varying magnitudes.

Flood Risk and Mitigation Assessment: A flood risk and mitigation assessment should be completed. The scope of the study should consider all scales of mitigation and adaptation measures and, ultimately, select appropriate flood mitigation and adaptation approaches.

Climate Risk Assessment: A detailed climate risk assessment should be completed through an independent firm, and the owner should sign off on the accepted level of risk before moving forward to final design, tendering, and construction.

Geotechnical Investigation: While zoning regulations and policies are separate from building standards, decisions over development will be impacted where the two intersect. Requiring specific floodproofing requirements of a building is a valuable mechanism to complement flood risk mitigation and adaptation. A detailed geotechnical investigation must be completed to confirm soil conditions and foundation design specifications in flood-prone areas.

7.2 REGULATORY APPROVAL

When approved, the Master Plan can be advanced to regulatory approvals, permitting, and detailed design / construction tendering stages.

Regulatory approvals required to move forward include the YESAA review process, Water Licence, Fisheries Act Authorization, and municipal approvals such as OCP and zoning amendments and subdivision (Table 6). The timelines of these assessments vary.

TABLE 6: APPROVALS REQUIRED

APPROVALS	AUTHORITY
YESAA Review Process	YESAB
Water Licence	Yukon Water Board
Fisheries Act Authorization	Department of Fisheries and Oceans
OCP Amendment	City of Dawson
Zoning Amendment	City of Dawson
Subdivision Approval	City of Dawson

8 APPENDIX A

PRELIMINARY DESIGN REPORT: DREDGE POND II MASTER PLAN (GREENWOOD ENGINEERING SOLUTIONS, 2023)



City of Dawson Report to Council

Agenda Item	Community and Recreation Grants
Prepared By	Paul Robitaille, Parks and Recreation Manager
Meeting Date	November 16, 2023
References (Bylaws, Policy, Leg.)	Community Grant Policy #16-01, Recreation Grants Policy 2017-06
Attachments	

x	Council Decision
	Council Direction
	Council Information
	Closed Meeting

Recommendation

That Council approve the Community Grants, as recommended by the Community Grant Committee in the amount of \$200 and

That Council approve the Level 2 Recreation Grants, as recommended by the Recreation Board in the amount of \$12,800.

Executive Summary

Community Grants

\$30,000 is budgeted for Community Grants to be dispersed over the three intakes.

- In the January and May Intakes a total of \$29,800 were approved, leaving us with a balance of \$200.
- The current Community Grants recommendation is for \$200, which would leave \$0 remaining in this budget for the year.

Recreation Grants

\$43,051 is budgeted for Recreation Grants.

- In the January and May intakes \$35,002.50 in Recreation Grants were approved, leaving us with a balance of \$8,048.50.
- To date \$17,000 has been approved directly for City of Dawson Parks and Recreation initiatives by the Rec Board.
- The current Recreation Grants intake recommendation is for \$6,800 and if approved will leave us with a balance of \$1,248.50 remaining.

Background

The City of Dawson Manages and Distributes [Community Grants](#) and [Recreation Grants](#)

[Community Grants](#) are funded by the City of Dawson through reserves and governed by the Dawson Community Grant Policy.

- Applications are reviewed by the Community Grant committee and the Recreation board, with recommendations forwarded to City Council for final approval.
- Funding is approved in the Dawson annual Budget process and is \$30,000 for 2023.
- There are 3 intakes per year.
- The evaluation criteria for Community Grants applications are as follows:
 - Provide a lasting infrastructure legacy to the community.
 - Demonstrate significant volunteer involvement.
 - Generate significant local spending and economic impact.
 - Maintain open public access to the event or project.
 - Demonstrate partnership with other levels of government and community groups.

- Show large event attendance and local involvement.
- Have limited access to alternative funding sources.
- Generate awareness of City of Dawson.
- Create a sustainable public and social benefit.
- Involve youth and seniors.
- and the *Recreation Grants Policy* establish the criteria.

Recreation Grants are funded by the Yukon Governments Yukon’s Community Lottery Program and Governed by the Dawson Recreation Grant Policy.

- Level 1 Applications (individuals) and Municipal applications are approved by the Recreation Board.
- Level 2 applications (Groups) are reviewed and approved by the Recreation Board in Conjunction with the Community grant committee to maximize the effective distribution of funds.
- Funding is based on population and is \$43,051 for 2023.
- Funds are used for municipal and community purposes.
- The evaluation criteria for Recreation Grants are as follows:
 - Public benefit (number of participants, large target audience)
 - Reduction of barriers (such as low fees, accessibility, reduce social & cultural barriers, location)
 - Building capacity (leadership development, instructor training, activity promotion or infrastructure improvement)
 - Application (complete, alternative funding sources, partnerships)
 -

Discussion / Analysis

- All activities were deemed to fit the criteria and policies for both funds during review.
- It is typical to have a small balance for the September Intake, based on more activities/events occurring during summer months.
- Community Grants demand has seen an increase since the pandemic.
- Staff expects to recommend changes to both programs, at a future Committee of the Whole meeting, to discuss challenges and opportunities to improve these programs.

Fiscal Impact

All items were budgeted for, and expenses are within budgeted amounts.

Alternatives Considered

N/A

Next Steps

- Approved applications will be directed to proceed with their initiatives.
- Following the end of their approved initiative, applicants are required to provide Parks and Recreation Department with a *Summary Report* of the activities and expenses they undertook within six months of approval.
- Based on the delivery of a *Summary Report*, a cheque is issued from the Municipality to the applicant.

Approved by	Name	Position	Date
	<i>David Henderson</i>	CAO	June 26, 2023



City of Dawson Report to Council

Agenda Item	Council Proceedings Bylaw Amendment no 1, 3rd reading
Prepared By	David Henderson CAO
Meeting Date	Oct 17, 2023
References (Bylaws, Policy, Leg.)	Yukon Municipal Act City of Dawson Proceedings Bylaw #11-12
Attachments	

<input type="checkbox"/>	Council Decision
<input type="checkbox"/>	Council Direction
<input type="checkbox"/>	Council Information
<input type="checkbox"/>	Closed Meeting

Recommendation

That Council consider the proposed amendment and determine what they believe is best for the Municipality.

This report is an updated version of the report previously provided to Council on this issue. Additional or amended comments are identified by italics / blue coloring in color copies

Executive Summary

An amendment to the City of Dawson Proceedings Bylaw has been put forward by Councillor Somerville, amended by council and is now coming forward as amended for 3rd and final reading. The amended amendment, if adopted:

1. Directs Council to designate a chairperson from its members who will chair all Council and Committee of the Whole meetings until such time as another member of council is so designated.
2. Directs that Council will designate the chairperson:
 - a. immediately upon enactment of the amendment,
 - b. at the first meeting of a newly elected council,
 - c. and at the first meeting of each calendar year.
3. Allows for council to designate the chairperson, with advance notice at a preceding meeting, throughout the year but no more than once per quarter.

Prior to proposing the current amendment, the proponent sought advice from the Yukon Government community services municipal representative for the City of Dawson as to the ability of Council, within the existing legislation, to adopt a bylaw amendment of this nature. The response was that Yukon Municipalities have the power, by bylaw or enactment, to provide for some other presiding officer than the mayor at their meetings - even when the mayor is in attendance.

Following the 2nd reading Administration further sought a legal opinion on the ability of council, within existing legislation, to adopt the proposed bylaw, with it noted that the most recent Yukon Municipal legislation contains a possible contradiction in wording related to the issue and with the awareness of similar procedural amendment adoptions elsewhere in Canada and challenges to their adoption.

The legal opinion has been received and advised that the proposed amending bylaw would be reasonable for Council to adopt should they deem it appropriate to do so. The legal opinion also identified that legal opinions and legislative interpretation always have a degree of uncertainty.

Background

The Yukon Municipal Act defines its purpose as:

- to provide a legal framework and foundation for the establishment and continuation of local governments to represent the interests and respond to the needs of their communities.
- to provide local governments with the powers, duties, and functions necessary for fulfilling their purposes; and
- ***to provide local governments with the flexibility to respond to the different needs and changing circumstances of their communities.***

The Yukon Municipal Act further directs 217(1) That council shall by bylaw make rules for calling meetings and governing its proceedings, the conduct of its members, the appointment of committees and generally for the transaction of its business. The City of Dawson thus adopted **Proceedings Bylaw #11-12**

The Municipal Act 180(1)(a) defines that the Mayor shall preside when in attendance at all council meetings, **except if the procedures bylaw or this or any other Act provides otherwise.**

The Municipal Act identifies that if a municipal council wishes to change its proceedings bylaw it must give notice at a meeting of council preceding the meeting at which first reading of such changes will be considered.

The proposed amendment under consideration was

presented at a Committee of the Whole meeting, then forwarded to Council as a notice of Motion. It was then presented at a following Council meeting for first reading where it was amended to be effective immediately upon final reading approval, to include designation of a chairperson at the first meeting of a newly elected council, and to incorporate the potential redesignation of Chair throughout the year but not more than once per quarter. The amended amendment was adopted by council at 2nd reading and is now before council for a 3rd and final reading.

Recommendation to Share the Chair

The Dawson Municipal Council engaged the services of a consultant in October 2022 to work with council and build a constructive working relationship between members of Council.

One of the resulting recommendations was to share the role of meeting chair amongst council members. As of July 2023, this recommendation had not been acted on by Council.

The Current CAO recommended at a meeting of council in July of 2023 that Council adopt a process whereby Committee of the Whole meetings would be chaired by the designated Deputy Mayor which rotates through Council members every three months. This suggestion did not move forward for consideration.

Advice and feedback from Yukon Community Services, the branch of the Yukon Government that oversees municipalities, and the Community advisors assigned to the City of Dawson have been sought on the question of designating a member of council other than the Mayor as Chair.

Advice received to date suggests that such a step is provided for within the Municipal Act and is utilized at the committee level in Whitehorse although is not common amongst municipal governments to the degree currently being considered in Dawson. There are examples of a similar process in other provincial jurisdictions, more often when dealing with two tier government structures.

The Yukon Government's primary focus is that the Municipality meet the Municipal Acts defined purposes of local Governments - that of providing within its jurisdiction:

- good government for its community; and
- services, facilities, or things that a local government considers necessary or desirable for all or part of its community.

And that the municipality do so within the legislative requirements of the Municipal Act.

Spirit and Intent

Municipal Advisors and the CAO have discussed with members of Council questions of Spirit and Intent of municipal legislation, which should always be considered when interpreting and applying legislation. These discussions can best be described as working discussions.

Legislation often tries to establish spirit and intent in the introductory passages under preamble and purposes and related areas. In the case of the Yukon Municipal Act the introductory passages primarily focus on a municipality delivering good government and the services the municipal government defines as necessary locally with a degree of flexibility in how the municipality does so.

Discussion / Analysis

The Yukon Municipal act identifies that the Mayor will chair meetings unless otherwise identified by the Municipality's proceeding's bylaw.

The proposed amendment to the City of Dawson proceedings Bylaw identifies that Council will designate the Chairperson from amongst its members.

The spirit and intent of the Municipal Act as identified in the introductory passages of the legislation appears to be focussed on getting the job done – the job being effectively meeting the needs of the municipality, meeting legislative requirements, in a responsive and transparent manner. The spirit and intent of legislation should be considered when interpreting or enforcing legislation.

The change is significant relative to common municipal practice and change always carries some risk of unforeseen consequences. If the Change is adopted Council should recognize that adapting to the changes may be an evolving process.

Fiscal Impact

No direct fiscal Impact due to the adoption of this bylaw amendment.

Legal advice sought by administration does have costs but is considered prudent risk mitigation by City management and appropriate.

Similar procedural amendments have been adopted in other Canadian Municipalities. In some cases, the adoption of such amendments has been challenged legally by the affected municipal mayor with differing results dependent on the unique circumstances of each case, the jurisdiction and unique characteristics of the jurisdictions legislations, and differing rulings at different levels of the court system.

Should this amendment be challenged in court all parties will incur legal costs and potential liability.

Alternatives Considered

As identified in the Background the alternative proposed by staff was that the chairmanship of Committee of the Whole meetings be assumed by the Deputy mayor which rotates amongst councilors on a quarterly basis. Appointing councilors to chair committee of the whole, standing committees or various sub committees is common practice amongst municipalities.

Doing so enables councilors to assume responsibilities in the legislative process and allows the Mayor to participate to a greater degree in the discussions and debates formulating the questions coming before the formal council meeting for consideration.

A key point here is that the Dawson Proceedings Bylaw identifies that the Mayor will vote on every matter and is permitted to debate on any issue without relinquishing the chair. In Parliamentary Procedure the Chairperson is expected to chair a meeting objectively and engaging in the debate diminishes the perception of objectivity - thus municipalities often adopt rules or practice whereby the chair limits their involvement in a debate or hands over the chair to another member of council if they actively engage in the debate. Thus, the perceived advantage of allowing the Mayor to participate to a greater degree in the discussion and debate is not an advantage to such a system in Dawson under the current procedural rules.

When this alternative was suggested to Council it was not endorsed or put forward by a member of council for consideration

Following the introduction of the current amendments under consideration a version of the above alternative was put forward to council via the Mayor whereby the Mayor would allow the deputy mayor to chair various meetings of council at the discretion of the mayor but excluding responding to questions from the public. This alternative was not supported by council.

It is understood at the time writing this report that a variation of this alternative may be proposed as an amendment at 2nd consideration of 2nd reading.

The proposed amendment cited above was postponed to the 3rd reading, pending the receipt of a legal opinion cited herein

Next Steps

The proposed amendment is at 3rd and final reading.

If adopted at a third and final reading, as per the amended Amendment, council will immediately designate a member as Chairperson.

The simplest process to do so will be to ask for a resolution designating a member of council as chairperson. If such a resolution is supported by a majority of council the designated member assumes the chair. Staff will review options to recommend in the event that no member receives a majority vote of designation.

Approved by	Name	Position	Date
	David Henderson	CAO	Nov 15, 2023



THE CITY OF DAWSON

Council Proceedings Bylaw Amendment No. 1 Bylaw

Bylaw No. 2023-16

WHEREAS section 265 of the Municipal Act, RSY 2002, c. 154, and amendments thereto, provides that a council may pass bylaws for municipal purposes.

WHEREAS section 210 of the *Municipal Act*, (RSY 2002), c. 154 requires council to enact a bylaw to establish rules for calling meetings and governing its proceedings, and the appointment of members of council to council committees;

THEREFORE, pursuant to the provisions of the *Municipal Act* of the Yukon, the council of the City of Dawson, in open meeting assembled, **ENACT AS FOLLOWS:**

PART I - INTERPRETATION

1.00 Short Title

This bylaw may be cited as the ***Council Proceedings Bylaw Amendment No. 1***

2.00 Purpose

2.01 The purpose of this bylaw is to provide for

(a) Amendments to Council Proceedings Bylaw #11-12.



THE CITY OF DAWSON

Council Proceedings Bylaw Amendment No. 1 Bylaw

Bylaw No. 2023-16

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DRAFT



THE CITY OF DAWSON

Council Proceedings Bylaw Amendment No. 1 Bylaw

Bylaw No. 2023-16

3.00 Definitions

3.01 In this Bylaw:

- (a) Unless expressly provided for elsewhere within this bylaw the provisions of the *Interpretation Act*, RSY 2002, c. 125, shall apply;
- (b) The definitions of the *Municipal Act*, (RSY 2002), c. 154 shall apply to this Bylaw.
- (c) “*Member*” shall refer to a duly elected member of the municipal Council or a duly appointed member of a committee as the context warrants.
- (d) “*Special Meeting*” shall refer to a meeting of Council held outside of the regular schedule of Council meetings.
- (e) “*City Hall*” shall refer to the administration building located at 1336 Front Street in Dawson City, Yukon.
- (f) “*Chairperson*” shall refer to the presiding officer at any meeting of Council or Council Committee.

PART II – APPLICATION

4.00 Amendment

- 4.01 Amend Section 5 title from “MAYOR” to “CHAIRPERSON”.
- 4.02 Section 5: replace the first sentence with the following: “Per Section 180 (b) of the *Municipal Act*, the Chairperson shall preside over the conduct of the meeting and:”
- 4.03 Section 9(5) “Mayor to Open Meetings”: replace with the following: “Chairperson to Open Meetings. When a quorum is present, the Chairperson must call the meeting to order and shall serve as Chairperson of that meeting.”
- 4.04 Replace Section 9(6) “Appointment of Chairperson” with the following:
 - (a) Immediately upon enactment of this bylaw, at the first meeting of a newly elected council, and at the first meeting of each calendar year, Council shall from amongst its Members designate a Member to serve as Chairperson.



THE CITY OF DAWSON

Council Proceedings Bylaw Amendment No. 1 Bylaw

Bylaw No. 2023-16

- (b) Notwithstanding Section 9(6)(a), Council may by resolution, and not more than once per quarter, designate a chairperson during the calendar year with notice of the intended resolution given at a prior council meeting.
- (c) When a quorum is present, but the Chairperson is not present within fifteen (15) minutes after the time at which the meeting is scheduled to begin, the Chief Administrative Officer shall call the meeting to order and, by resolution, the Council shall appoint a Member to act as Chairperson for that meeting.”
- 4.05 Add a new subsection to Section 3 to read as follows: 3(5) Review of Council Proceedings Bylaw. During the first six months of council’s term of Office, council shall schedule a review of the Council Proceedings Bylaw and proceed to amend it if deemed advisable at that time.

PART III – FORCE AND EFFECT

5.00 Severability

- 5.01 If any section, subsection, sentence, clause or phrase of this bylaw is for any reason held to be invalid by the decision of a court of competent jurisdiction, the invalid portion shall be severed and the part that is invalid shall not affect the validity of the remainder unless the court makes an order to the contrary.

6.00 Enactment

- 6.01 This bylaw shall come into force on the day of the passing by Council of the third and final reading.

7.00 Bylaw Readings

Readings	Date of Reading
FIRST	October 4, 2023
SECOND	
THIRD and FINAL	



THE CITY OF DAWSON

Council Proceedings Bylaw Amendment No. 1 Bylaw

Bylaw No. 2023-16

William Kendrick, Mayor

Presiding Officer

David Henderson, CAO

Chief Administrative Officer

DRAFT

Proposed amendment to 3rd reading of the amended Amendment to the City of Dawson Proceedings Bylaw:

Council is hereby provided with advance notice within the agenda of a proposed amendment to the 3rd reading of the proposal to amend the Council proceedings bylaw to be moved by Mayor Kendrick

That the proposed wording be changed to:

4.01 Amend Section 5 title from "MAYOR" to "CHAIRPERSON".

4.02 Section 5: replace the first sentence with the following: "Subject to the *Municipal Act*, the Mayor shall preside as Chairperson of Regular and Special Council Meetings and the Deputy Mayor shall preside as Chairperson of Committee Meetings and:"

4.03 Section 9 (5) "Mayor to Open Meetings": replace with the following: "Chairperson to Open Meetings. When a quorum is present, the Chairperson must call the meeting to order and shall serve as Chairperson of that meeting."

4.04 Delete current amendment, replace with: Amend 9 (6) "Appointment of Chairperson" with the following:

When a quorum is present but the Chairperson is not present within fifteen (15) minutes after the time at which the meeting is scheduled to begin, the Chief Administrative Officer shall call the meeting to order and, by resolution, the Council shall appoint a Member to act as Chairperson for that meeting until the Chairperson arrives. *The appointed Chairperson of a meeting has the powers, duties, and responsibilities of the Chairperson in respect of that meeting.*

And that

4.05 Add Section "Review of Bylaw". During the first six months of council's term of Office, council shall schedule a review of the Council Proceedings Bylaw and proceed to amend it if is deemed advisable at that time.



City of Dawson

Report to Council

Agenda Item	Zoning Bylaw Amendment No.25 (Bylaw #2023-14)
Prepared By	Planning and Development
Meeting Date	November 21, 2023
References (Bylaws, Policy, Leg.)	
Attachments	Draft Bylaw #2023-14

x	Council Decision
	Council Direction
	Council Information
	Closed Meeting

Recommendation

That Council give second and third readings to Zoning Bylaw Amendment No.25 (Bylaw #2023-14).

Executive Summary

The structure on Lot 2, Block U, Ladue Estate is a single detached residence that existed prior to the adoption of the current Zoning Bylaw. The lot, however, is zoned C1: Core Commercial. To bring the property into compliance, the owner filed a Zoning Bylaw Amendment Application to rezone the property to R1.



Lot 2, Block U, Ladue

Background

The First Reading of Zoning Bylaw Amendment No.25 (Bylaw #2023-14) took place on October 4, 2023. Additional information concerning the rezoning of the adjacent lot (Lot 1, Block U, Ladue Estate) was provided to the Committee of the Whole on November 7, 2023, in response to a request from the Council. It was verified that Lot 1 underwent the same procedure and was rezoned from C1 to R1.

Discussion / Analysis

No further information is available to add to the reports that have been presented to the council during prior meetings.

Alternatives Considered

Give second reading to Zoning Bylaw Amendment No.25 (Bylaw #2023-14).

Do not give second and third readings to Zoning Bylaw Amendment No.25 (Bylaw #2023-14).

Approved by	Name	Position	Date
	<i>David Henderson</i>	CAO	Nov 15, 2023



THE CITY OF DAWSON

Zoning Bylaw Amendment No. 25 Bylaw

Bylaw No. 2023-14

WHEREAS section 265 of the Municipal Act, RSY 2002, c. 154, and amendments thereto, provides that a council may pass bylaws for municipal purposes, and

WHEREAS section 289 of the Municipal Act provides that a zoning bylaw may prohibit, regulate and control the use and development of land and buildings in a municipality; and

WHEREAS section 294 of the Municipal Act provides for amendment of the Zoning Bylaw;

THEREFORE, pursuant to the provisions of the *Municipal Act* of the Yukon, the council of the City of Dawson, in open meeting assembled, **ENACT AS FOLLOWS:**

PART I - INTERPRETATION

1.00 Short Title

1.01 This bylaw may be cited as the **Zoning Bylaw Amendment No. 16 Bylaw.**

2.00 Purpose

2.01 The purpose of this bylaw is to provide for

- (a) An amendment to the Zoning Bylaw from C1: Core Commercial to R1: Single-detached/duplex residential, located at Lot 2, Block U, Ladue Estate.



THE CITY OF DAWSON

Zoning Bylaw Amendment No. 25 Bylaw

Bylaw No. 2023-14

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DRAFT



THE CITY OF DAWSON

Zoning Bylaw Amendment No. 25 Bylaw

Bylaw No. 2023-14

3.00 Definitions

3.01 In this Bylaw:

- (a) “city” means the City of Dawson;
- (b) “council” means the Council of the City of Dawson;

PART II – APPLICATION

4.00 Amendment

4.01 This bylaw amends Lot 2, Block U, Ladue Estate from C1: Core Commercial to R1: Single-detached/duplex residential in the Zoning Bylaw Schedule C: Historic Townsite, as shown in Appendix A of this bylaw.

PART III – FORCE AND EFFECT

5.00 Severability

5.01 If any section, subsection, sentence, clause or phrase of this bylaw is for any reason held to be invalid by the decision of a court of competent jurisdiction, the invalid portion shall be severed and the part that is invalid shall not affect the validity of the remainder unless the court makes an order to the contrary.

6.00 Enactment

6.01 This bylaw shall come into force on the day of the passing by Council of the third and final reading.



THE CITY OF DAWSON

Zoning Bylaw Amendment No. 25 Bylaw

Bylaw No. 2023-14

7.00 Bylaw Readings

Readings	Date of Reading
FIRST	October 4, 2023
PUBLIC HEARING	
SECOND	
THIRD and FINAL	

William Kendrick, Mayor
Presiding Officer

David Henderson, CAO
Chief Administrative Officer



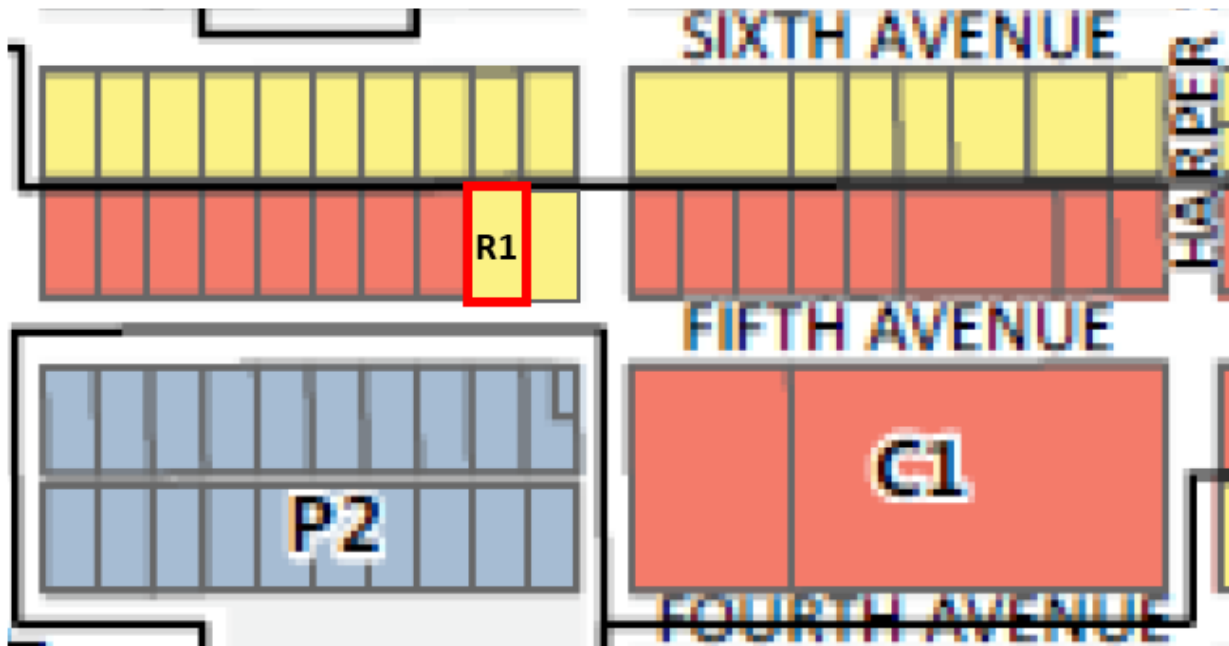
THE CITY OF DAWSON

Zoning Bylaw Amendment No. 25 Bylaw

Bylaw No. 2023-14

PART IV – APPENDIX A

Figure 1. Amended area





City of Dawson

Report to Council

Agenda Item	Zoning Bylaw Amendment No. 27 Bylaw
Prepared By	Planning and Development
Meeting Date	November 21, 2023
References (Bylaws, Policy, Leg.)	OCP, Zoning Bylaw
Attachments	Draft Bylaw #2023-17

x	Council Decision
	Council Direction
	Council Information
	Closed Meeting

Recommendation

That Council give first reading to the Zoning Bylaw Amendment No.27 (Bylaw #2023-17).

Executive Summary

The purpose of this Bylaw Amendment is to:

1. add definitions for 'reclamation', 'remediation' and 'land development preparation' and permit these uses in all zones;
2. revise the definition of 'Lodging Facility';
3. specify how the number of parking spaces for mixed-use developments should be calculated.

Background

New permitted uses

Adding 'reclamation', 'remediation' and 'land development preparation' was part of the ZBL Amendment No.19 in 2022. The second reading was given to the Bylaw on August 31, 2022. Because the Amendment included provisions for establishing a DCD for mining activities, the third reading was contingent on the signing of a statutory declaration, which has not yet occurred. Due to the fact that the issuance of certain development permits has been halted pending final approval of the amendments and these new permitted uses are not pertinent to the signed declaration, administration suggests removing them from Bylaw Amendment No.19 and addressing them in here.

Lodging Facility

A section of the Zoning Bylaw definition of Lodging Facility pertains to the access of units. This appears inefficient, particularly in light of the climatic conditions in Dawson City.

Parking spaces

For mixed-use developments, the current Zoning Bylaw provides no guidance on how to calculate the total number of parking spaces. The calculation method will be specified in this amendment.

Discussion / Analysis

New permitted uses

This ZBL amendment adds 'reclamation', 'remediation' and 'land development preparation' definitions to the ZBL and permits these uses in all zones. The broad goal of this is in line with achieving sustainable development goals and addressing current permitting conflicts.

A currently unresolved issue is the conflict between the goal of the YG Department of Energy, Mines and Resources of implementing reclamation work and the fact that the City cannot issue a development permit to enable this work to occur on unpermitted and nonconforming natural resource development operations. Reclamation of mining sites is considered to be of general benefit to the community. As such, Administration is proposing the separation of reclamation activity from the 'natural resource development' definition to enable the permitting of reclamation work without rezoning.

Options

- 1) Reclamation, remediation & land development preparation permitted in all zones (proposed)

PRO	CON
<ul style="list-style-type: none"> • Meets the goal of encouraging both mining reclamation and environmental remediation without creating unnecessary barriers. • Effort toward sustainable development/land use. • Aligns with numerous OCP goals (see below). • There is precedent in the Whitehorse ZBL that suggests that it's reasonable to permit environmental remediation in all zones. • Equitable for applicants wishing to pursue reclamation work across all zones, regardless of natural resource development compliance. Does not enable claims in one zone vs. another. 	<ul style="list-style-type: none"> • Risk associated with establishing a legal-nonconforming status beyond reclamation, into natural resource development. • We may not understand the scale, size, and impacts of all remediation projects (could be more intrusive than foreseen). • Possible impacts on neighboring properties.

2) Reclamation as conditional use; remediation & land studies permitted in all zones

PRO	CON
<ul style="list-style-type: none"> • Enables a case-by-case review of proposed reclamation by Council, enabling a better understanding of scale and impacts of each proposal and more nimble regulation. 	<ul style="list-style-type: none"> • Risk associated with establishing a legal-nonconforming status beyond reclamation, into natural resource development. • Can be time consuming. • Can create a grey area and less transparency in decision making. Eg. uncertainty for claim holders and YG on whether reclamation will be permitted. • Could disincentivize remediation work – which goes against the intent of s.10 of OCP (Environmental Stewardship: “Addressing local environmental impacts is essential to Dawson’s overall sustainability”).

The following definitions have been added to this bylaw amendment:

“LAND DEVELOPMENT PREPARATION” means activity related to the preparation of land to facilitate future development in line with the Official Community Plan, including grading, clearing and/or environmental, geotechnical, hydrological, heritage, or similar assessments and work that is conducted by a certified professional.

“RECLAMATION” means the process of reconvertng disturbed land, whether or not the disturbance of such land was done lawfully or unlawfully, to its former state or other productive state and/or use in line with the Official Community Plan.

“REMEDIATION” means the treatment of material to lower the concentration of contaminants to levels below those specified in the Yukon Environment Act and Yukon Contaminated Sites Regulations, as amended from time to time.

Add the following to s. 8 ‘Specific Use Regulations’:

s. 8.13 ‘Reclamation, Remediation and Land Development Preparation’

- .1 Reclamation of former natural resource development sites, land development preparation, and remediation of land containing contaminated material is permitted in all zones.
- .2 Upon abandonment or termination of resource extraction operations, the remaining redevelopment and reclamation of the site shall begin immediately and be carried out in cooperation with the appropriate authorities. These areas shall be reclaimed to as natural a state as possible through slope grading, landscaping, and reforestation, or reclaimed to another productive state and/or use in line with the Official Community Plan. Prior to reclamation, the reclamation plan may be revisited to determine if an alternate use is feasible.
- .3 All reclamation activity must have a valid Placer Land Use Approval and Water License.
- .4 All reclamation, remediation and land development preparation activity must have a valid development permit.

Justification for permitting reclamation and remediation as a use in all zones:

- There is a desire to create mechanisms whereby sustainable development is enabled and encouraged. Fundamentally, remediation is an effort toward sustainable development – reversing the damage/negative impacts of natural resource extraction. The OCP provides support for this.

Relevant OCP clauses:

- S. 3.5 Promote Environmental Stewardship: “Protect and respect the natural environment • Support a healthy ecosystem and biodiversity • Mitigate environmental hazards” – remediation attempts to ‘undo’ negative impacts of natural resource extraction where possible, to bring the land back from its healthy state by removing contaminants, etc.
- S. 8.0 Economic Development: “• New economic sectors have an opportunity to succeed.” – setting future land use up for success so that land is not only available (or accessible) to mining operations. Rather remediation can make land available for alternative uses.
- S. 10.0 Environmental Stewardship: “Addressing local environmental impacts is essential to Dawson’s overall sustainability.” – creating mechanisms to do so aligns with the intent of the OCP.

Lodging Facility

The current definition of the term in Zoning Bylaw is as follows:

LODGING FACILITY means multiple buildings containing one or more dwelling or sleeping units, each of which has its principal access from an exterior entrance not common to the building. Lodging facilities provide commercial rental of dwelling or sleeping units primarily for overnight use, seasonal use, or for short periods of time. In addition to the sleeping or dwelling units, lodging facilities may contain accessory uses such as common eating or cooking facilities, living spaces, or recreation areas.

The administration was unable to determine the justification for mandating exterior access for every unit. This appears to be inefficient in terms of energy given the wintertime climate in Dawson City. This type of access is more pertinent to structures such as 'motel.' Furthermore, an examination of comparable provisions in the bylaws of other municipalities (including Edmonton, Banff, Kelowna, and Calgary) demonstrates that none of them make any mention of such access. Due to the aforementioned factors, it is recommended that the definition be revised to:

LODGING FACILITY means multiple buildings containing one or more dwelling or sleeping units. Lodging facilities provide commercial rental of dwelling or sleeping units primarily for overnight use, seasonal use, or for short periods of time. In addition to the sleeping or dwelling units, lodging facilities may contain accessory uses such as common eating or cooking facilities, living spaces, or recreation areas. A lodging facility does not include hotels, motels, temporary shelter services, or bed and breakfast.

Parking Spaces

The current bylaw does not indicate how the number of required parking spaces for mixed-use developments should be calculated. For example, if a building in the P2 Zone (Institutional) consists of offices, a museum, and a library, the number of required parking spaces is unclear. This Amendment will add the following to S.9.2 (Required Number of Parking and Loading Spaces):

.6 In the case of a mixed-use development, the number of off-street parking spaces required shall be the sum of the off-street parking space requirements for each use.

Alternatives Considered

- Give First Reading to Zoning Bylaw Amendment No.25 (Bylaw #2023-14) and direct administration to use option 2 for new permitted uses (reclamation as a conditional use) for Second Reading.
- Do not give First Reading to Zoning Bylaw Amendment No.25 (Bylaw #2023-14).

Next Steps

Bylaw Amendment No.27 will receive second and third readings at subsequent council meetings.

Approved by	Name	Position	Date
	David Henderson	CAO	Nov 18, 2023



THE CITY OF DAWSON

Zoning Bylaw Amendment No. 27 Bylaw

Bylaw No. 2023-17

WHEREAS section 265 of the Municipal Act, RSY 2002, c. 154, and amendments thereto, provides that a council may pass bylaws for municipal purposes; and

WHEREAS section 289 of the Municipal Act provides that a zoning bylaw may prohibit, regulate and control the use and development of land and buildings in a municipality; and

WHEREAS section 294 of the Municipal Act provides for amendment of the Zoning Bylaw;

THEREFORE, pursuant to the provisions of the Municipal Act of the Yukon, the council of the City of Dawson, in open meeting assembled, **ENACT AS FOLLOWS:**

PART I - INTERPRETATION

1.00 Short Title

This bylaw may be cited as the *Zoning Bylaw Amendment No. 27 Bylaw*

2.00 Purpose

2.01 The purpose of this bylaw is to provide for:

(a) A series of text amendments.



THE CITY OF DAWSON

Zoning Bylaw Amendment No. 27 Bylaw

Bylaw No. 2023-17

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THE CITY OF DAWSON

Zoning Bylaw Amendment No. 27 Bylaw

Bylaw No. 2023-17

3.00 Definitions

3.01 In this Bylaw:

- (a) Unless expressly provided for elsewhere within this bylaw the provisions of the *Interpretation Act*, RSY 2002, c. 125, shall apply;
- (b) “City” means the City of Dawson; and
- (c) “Council” means the Council of the City of Dawson.

PART II – APPLICATION

4.00 Amendment

- 4.01 Insert the following definition to S.2.2: “LAND DEVELOPMENT PREPARATION means activity related to the preparation of land to facilitate future development in line with the Official Community Plan, including grading, clearing and/or environmental, geotechnical, hydrological, heritage, or similar assessments and work that is conducted by a certified professional.”
- 4.02 Insert the following definition to S.2.2: “RECLAMATION means the process of reconvertng disturbed land, whether or not the disturbance of such land was done lawfully or unlawfully, to its former state or other productive state and/or use in line with the Official Community Plan.”
- 4.03 Insert the following definition to S.2.2: “REMEDIATION means the treatment of material to lower the concentration of contaminants to levels below those specified in the Yukon Environment Act and Yukon Contaminated Sites Regulations, as amended from time to time.”
- 4.04 Insert subsection 8.13 titled “Reclamation, Remediation and Land Development Preparation” as follows:



THE CITY OF DAWSON

Zoning Bylaw Amendment No. 27 Bylaw

Bylaw No. 2023-17

1. "Reclamation of former natural resource development sites, land development preparation, and remediation of land containing contaminated material is permitted in all zones.
 2. Upon abandonment or termination of resource extraction operations, the remaining redevelopment and reclamation of the site shall begin immediately and be carried out in cooperation with the appropriate authorities. These areas shall be reclaimed to as natural a state as possible through slope grading, landscaping, and reforestation, or reclaimed to another productive state and/or use in line with the Official Community Plan. Prior to reclamation, the reclamation plan may be revisited to determine if an alternate use is feasible.
 3. All reclamation activity must have a valid Placer Land Use Approval and Water License.
 4. All reclamation, remediation and land development preparation activity must have a valid development permit."
- 4.05 Repeal the LODGING FACILITY definition in S.2.2.
- 4.06 Insert the following definition to S.2.2: "LODGING FACILITY means multiple buildings containing one or more dwelling or sleeping units. Lodging facilities provide commercial rental of dwelling or sleeping units primarily for overnight use, seasonal use, or for short periods of time. In addition to the sleeping or dwelling units, lodging facilities may contain accessory uses such as common eating or cooking facilities, living spaces, or recreation areas. A lodging facility does not include hotels, motels, temporary shelter services, or bed and breakfast."
- 4.07 Insert subsection 9.2.6 as follows: "In the case of a mixed-use development, the number of off-street parking spaces required shall be the sum of the off-street parking space requirements for each use."

PART III – FORCE AND EFFECT

5.00 Severability

- 5.01 If any section, subsection, sentence, clause or phrase of this bylaw is for any reason held to be invalid by the decision of a court of competent jurisdiction, the invalid portion



THE CITY OF DAWSON

Zoning Bylaw Amendment No. 27 Bylaw

Bylaw No. 2023-17

shall be severed and the part that is invalid shall not affect the validity of the remainder unless the court makes an order to the contrary.

6.00 Enactment

6.01 This bylaw shall come into force on the day of the passing by Council of the third and final reading.

7.00 Bylaw Readings

Readings	Date of Reading
FIRST	
PUBLIC HEARING	
SECOND	
THIRD and FINAL	

William Kendrick, Mayor

Presiding Officer

David Henderson, CAO

Chief Administrative Officer

**MONTHLY
POLICING REPORT
August, 2023**

**Dawson City RCMP Detachment
“M” Division
Yukon**

The Dawson City RCMP Detachment responded to a total of 161 calls for service during the month of August, 2023.

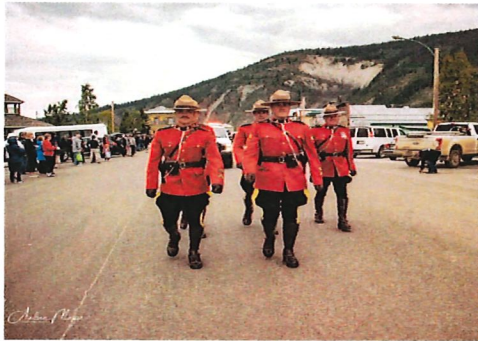
OCCURENCES	August, 2023	Year to date 2023	August 2022	Year to date 2022	Year Total 2021
Assaults (all categories)	8	29	6	57	69
Sexual Assault	3	4	2	16	18
Break and Enter	0	9		11	14
Thefts (all categories)	11	63	9	40	58
Drugs (all categories)	1	4	1	9	10
Cause a Disturbance	11	47	10	48	60
Mischief	10	85	18	101	125
Impaired Driving	1	7	2	18	20
Vehicle Collisions	10	42	5	34	49
Mental Health Act	6	36	3	57	69
Assistance to General Public	4	52	9	43	61
Search and Rescue	0	6 Land	1 Land	5 Land	7 Land
Missing Persons	2	7	1	12	17
Wellbeing Checks	10	54	10	39	60
Check Stops (represents the actual number of check stops)	1	3	0	3	7
Other Calls for Service	83	448	77	493	1000
Total Calls for Service	161	1023	172	1171	1644
Criminal Code Charges / (CDSA)	6 CC	30 Criminal Code	1 Criminal Code	44 Criminal Code	74 Criminal Code
Liquor Act/MVA/CEMA Charges/Cannabis Act (Can Act)/Campground Act (Camp. Act)	11 Motor Vehicle Act 1 Liquor Act	27 Motor Vehicle Act 1 Liquor Act	2 Motor Vehicle Act	5 Motor Vehicle Act	7 Motor Vehicle Act

PLEASE NOTE: The statistic numbers in the report may change monthly as file scoring is added, deleted or changed. This occurs as investigations develops resulting in additional charges or changing the scoring on a file. Numbers as at/corrected to 2023.08.30



	August, 2023	Year to Date 2023 Total	August, 2022	Year Total 2021
Prisoners held locally	10	40	7	57
Prisoners remanded	0	0	0	2
Totals	10	40	7	59

Justice Reports	August, 2023	Year to Date 2023	August, 2022	Year Total 2021
Victim Services Referrals Offered	9	55	6	97
Youth Diversions	0	0	0	0
Adult Diversions	0	3	0	2
Restorative Justice Total	0	3	1	2



Members marching in the Discovery Days Parade

Annual Performance Plan (A.P.P.'S) Community Priorities

Community approved priorities are:

- (1) Substance Abuse
- (2) Road Safety
- (3) Youth Initiatives
- (4) Attendance at THFN, City of Dawson and Community Events
- (5) Restorative Justice

(1) Substance Abuse

- Bar checks for alcohol and drugs will continue but there are fewer and fewer people are out and about with the end of tourist season. Citizens found in a desperate need to get home are being looked after and rides are being offered to ensure they get home safely in exigent circumstances.

(2) Road Safety

- Impaired investigations are being conducted on a regular bases and increased enforcement is predicted throughout the winter months. Speeding and distracted drivers are also a priority.
- Cst TOWER also ran the Positive Tickets Program and provided coupons to Klondike Ice Cream to the participants!

(3) Youth Initiatives

- School zone patrols are being done during the day to remind drivers to slow down and watch for kids. Several distracted drivers have been stopped from passing when the school buses are flashing their stop signs.
- Cst. TOWER lead the Enduro bike race.

(4) Attendance at THFN, City of Dawson and Community Events

- Members attend THFN and community events as they occurred. Discovery weekend was busy. Members from Whitehorse were requested to assist but shortages everywhere no extra help was available. Disco Days Parade had 7 members this year dressed in Serge. Softball tournament was a great success and everyone seemed to behave for the most part.

(5) Restorative Justice

There are were 2 restorative justice initiatives initiated but the suspect decided they would prefer to go to court.

Fun Fact:

Ever wonder why Dawson City is colder than some areas further north? Its called inversion! It occurs when cold air gets trapped in the valley and a layer of warm air seals it from above. This is also why its warmed at the top of the Dome in winter then in town some days.

Kindest regards,



Cst. Philippe PREMIERL
Dawson City RCMP

for

Sgt. David WALLACE
N. C. O. In Charge
Box 159
Dawson City, Yukon
Y0B 1G0

/am



**MONTHLY
POLICING REPORT
September, 2023**

**Dawson City RCMP Detachment
“M” Division
Yukon**

The Dawson City RCMP Detachment responded to a total of 185 calls for service during the month of September, 2023.

OCCURENCES	September, 2023	Year to date 2023	September 2022	Year to date 2022	Year Total 2021
Assaults (all categories)	8	37	5	62	69
Sexual Assault	1	5	1	17	18
Break and Enter	2	11	2	13	14
Thefts (all categories)	12	75	7	47	58
Drugs (all categories)	0	4	1	10	10
Cause a Disturbance	12	59	2	50	60
Mischief	13	98	7	108	125
Impaired Driving	4	11	1	19	20
Vehicle Collisions	7	51	6	41	49
Mental Health Act	1	39	3	61	69
Assistance to General Public	6	58	3	46	61
Search and Rescue	2 Land	7 Land 1 Marine	1 Land	6 Land	7 Land
Missing Persons	1	8	1	13	17
Wellbeing Checks	7	61	8	48	60
Check Stops (represents the actual number of check stops)	1	4	1	5	7
Other Calls for Service	108	681	61	740	1000
Total Calls for Service	185	1210	110	1285	1644
Criminal Code Charges / (CDSA)	5 Criminal Code	35 Criminal Code	12 Criminal Code	56 Criminal Code	74 Criminal Code
Liquor Act/MVA/CEMA Charges/Cannabis Act (Can Act)/Campground Act (Camp. Act)	6 Motor Vehicle Act	32 Motor Vehicle Act 1 Liquor Act	2 Motor Vehicle Act	7 Motor Vehicle Act	7 Motor Vehicle Act

PLEASE NOTE: The statistic numbers in the report may change monthly as file scoring is added, deleted or changed. This occurs as investigations develops resulting in additional charges or changing the scoring on a file. Numbers as at/corrected to 2023.09.30



	September, 2023	Year to Date 2023 Total	September, 2022	Year Total 2021
Prisoners held locally	11	51	3	57
Prisoners remanded	0	0	0	2
Totals	11	51	3	59

Justice Reports	September, 2023	Year to Date 2023	September, 2022	Year Total 2021
Victim Services Referrals Offered	9	55	8	97
Youth Diversions	0	0	0	0
Adult Diversions	0	3	0	2
Restorative Justice Total	0	3	1	2

Annual Performance Plan (A.P.P.'S) Community Priorities

Community approved priorities are:

- (1) Substance Abuse
- (2) Road Safety
- (3) Youth Initiatives
- (4) Attendance at THFN, City of Dawson and Community Events
- (5) Restorative Justice

(1) Substance Abuse

- Increase of impaired driving occurrences were noted this month, as the Dawson City members were proactively conducting traffic stops and issuing the Mandatory Alcohol Screening (MAS) demand to all users of the road. Members continue to offer their services in the event of stranded citizens in need of a ride home, even more so now that the weather conditions are transitioning from fall to winter. No occurrences involving drugs were investigated this month.

(2) Road Safety

- Dawson City were given additional resources from the RCMP academy (Depot) for the month of September and October. This led to over 50 traffic stops initiated in the last two weeks of September, which resulted in numerous warning tickets being handed out. As mentioned above, with the sudden change of road conditions, enforcement and presence on the road is expected to increase to ensure the safety of all. Finally, while doing school zone patrols, a driver was charged for failing to stop while school bus is displaying alternating flashing red lights.

(3) Youth Initiatives

- The safety of the students of RSS continue to be a priority for the Dawson City RCMP and school zone patrols are conducted at various times of the day but more specifically while school buses are loading and unloading students. Cst. TREMBLAY and Cst. LE GRESLEY are expected to coach minor hockey which begins next week.

(4) Attendance at THFN, City of Dawson and Community Events

- A/Cpl. PREMIERL attended THFN for monthly report. Most major events in Dawson City are completed and the town is slowly winding down.
- Cst. LE GRESLEY, TREMBLAY and Cpl. PENK are expected to join the Klondike Hockey League which also begins next week.

(5) Restorative Justice

There are currently three restorative justice processes under way in Dawson City.

Fun Fact:

Dawson City welcomes Cpl. Craig PENK who began duty in Dawson City on October 10th, 2023. Cpl. PENK transferred from Old Crow, Yukon. Cpl. PENK has worked a variety of small isolated communities, including a stint in Churchill, MB. Furthermore, Depot Division confirmed the arrival of a new recruit who is expected to arrive at the beginning of November.

Kindest regards,



Cst. Chris LE GRESLEY
Dawson City RCMP 08712

for

Sgt. David WALLACE
N. C. O. In Charge
Box 159
Dawson City, Yukon
Y0B 1G0

/am