

# THE CITY OF DAWSON

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## NOTICE OF SPECIAL COMMITTEE OF THE WHOLE MEETING #CW21-21

This is to inform you a special meeting of City Council will be held as follows:

DATE OF MEETING: TUESDAY, AUGUST 10, 2021  
PLACE OF MEETING: COUNCIL CHAMBERS, CITY OFFICE  
TIME OF MEETING: 7:00 PM  
PURPOSE OF MEETING:

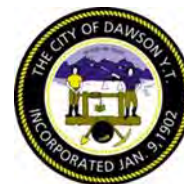
- 1) Council Remuneration Bylaw
- 2) Priorities, Projects, and Operations Update
- 3) Tr'ondëk Hwëch'in Council Request RE: Development of Men's Shelter

DATE MEETING REQUESTED: August 3, 2021  
MEETING REQUESTED BY: WAYNE POTOROKA, MAYOR

\_\_\_\_\_  
Cory Bellmore, CAO

August 4, 2021  
Date

# Report to Council



☒ For Council Decision ☐ For Council Direction ☐ For Council Information

☐ In Camera

<b>SUBJECT:</b>	<b>Council Remuneration Bylaw Review</b>	
<b>PREPARED BY:</b>	Cory Bellmore, CAO	<b>ATTACHMENTS:</b> <ul style="list-style-type: none"><li>• Council Remuneration in other communities</li><li>• Council Remuneration Bylaw #2018-10</li><li>• Travel Policy #08-01</li></ul>
<b>DATE:</b>	JULY 29, 2021	
<b>RELEVANT BYLAWS / POLICY / LEGISLATION:</b> <ul style="list-style-type: none"><li>• Council Remuneration Bylaw #2018-10</li><li>• Travel Policy #08-01</li></ul>		

## RECOMMENDATION

That committee forward Bylaw 2021-10 Council Renumeration Bylaw to Council for 3<sup>rd</sup> and Final reading as presented.

OR

That committee forward Bylaw 2021-10 Council Renumeration Bylaw to Council for 3<sup>rd</sup> and Final reading with a \_\_\_\_% increase as presented in this RFD.

## ISSUE

As per Bylaw #2018-10, during the final year of Council's term, Council shall schedule a review of the bylaw and proceed to amend it as deemed advisable at the time.

## BACKGROUND SUMMARY

The City of Dawson has a history of revising the remuneration bylaw every three years prior to a municipal election. As Council reviews the bylaw, it is reasonable for Council to consider the cost to the City, the ability to attract elected officials to run for office, and the changing taxation environment.

## ANALYSIS / DISCUSSION

For 2019 and later tax years, non-accountable allowances paid to elected officers will be included in their income. This change was stated in the 2017 federal budget, which received royal assent on June 22, 2017 (Bill C 44).

The cost to the City is an important and necessary cost of ensuring good government and perceived as good value for taxpayers' dollars. Cost of living increases are included in the current bylaw, the time commitment involved in being a Councillor has increased over time and with increased funding and regulatory changes federally, territorially, and municipally, it isn't likely that the time commitment will be reduced.

AYC collected information on current Council Remuneration amounts in other Yukon communities. See attached information for details on the different community remuneration for salary/per diems and other extras.

The City of Dawson remuneration for elected officials sits about average to the other 6 rural municipalities in the Yukon, being the 2<sup>nd</sup> highest overall.

The City of Dawson is the second largest municipality in the Yukon, Whitehorse being the largest. The City has taken on a more proactive role in managing the community than most other small rural municipalities and often has complex files not seen in other communities. For example, subdivision approval and mining in municipal boundaries are complex issues left to YG to manage in all other communities besides Whitehorse and Dawson.

In researching of the number of meetings (regular, committee & special) from 2019 – 2021(so far) in 5 rural municipalities, the City of Dawson elected officials have scheduled and special meetings approximately 20-46% more than the other communities. It is reasonable to consider an increase between 10% - 25% to compensate for these duties.

At first reading a question was asked what various percentage increases would total  
This table lists increases at a 5%.

	Current Renumeration	Renumeration for 2010-10	% increase
Mayor	15909.76	17500.74	10%
Council	10606.60	11667.26	10%
Mayor	15909.76	18296.22	15%
Council	10606.60	12197.59	15%
Mayor	15909.76	19091.71	20%
Council	10606.60	12727.92	20%
Mayor	15909.76	19887.20	25%
Council	10606.90	13258.62	25%

This increase more accurately reflects the time and commitment involved in an elected official position for the City of Dawson and is comparable to other Yukon municipalities.

APPROVAL		
<b>NAME:</b>	Cory Bellmore, CAO	<b>SIGNATURE:</b> 
<b>DATE:</b>	July 29, 2021	



# THE CITY OF DAWSON

## Council Remuneration Bylaw

Bylaw No. 2021-10

**WHEREAS** section 173 of the *Municipal Act*, RSY 2002, c. 154, and amendments thereto, provides that council may, by bylaw, establish the amount and any criteria in relation to the remuneration of a member of council (including the type of or rate or conditions for remuneration) in relation to

- (a) attendance at a council meeting or a council committee meeting;
- (b) expenses incurred in the course of attending a council meeting or a council committee meeting; or
- (c) any other expenses incurred in the course of performing any duty required to be performed by a member of council.

**THEREFORE**, pursuant to the provisions of the *Municipal Act* of the Yukon, the council of the City of Dawson, in open meeting assembled, **ENACT AS FOLLOWS:**

### PART I - INTERPRETATION

#### 1.00 Short Title

- 1.01 This bylaw may be cited as the ***Council Remuneration Bylaw***.

#### 2.00 Purpose

- 2.01 The purpose of this bylaw is to provide for remuneration to be paid to the Mayor and Councillors.

#### 3.00 Definitions

- 3.01 In this Bylaw:

- (a) Unless expressly provided for elsewhere within this bylaw the provisions of the *Interpretations Act* (RSY 2002, c. 125) shall apply;
- (b) “city” means the City of Dawson;
- (c) “council” means the council of the City of Dawson.



# THE CITY OF DAWSON

## *Council Remuneration Bylaw*

Bylaw No. 2021-10

### **PART II – APPLICATION**

#### **4.00 Annual Remuneration**

- 4.01 The base annual remuneration for the Mayor for the 2021—2024 term of office shall be \$17500.74 effective from November 1st, 2021 to October 31, 2024.
- 4.02 The base annual remuneration for each Councillor during the 2021—2024 term of office shall be \$11667.26 effective from November 1st, 2021 to October 31st, 2024.
- 4.03 (a) on an annual basis, the base annual remuneration shall be adjusted by applying a factor equal to the change in Consumer Price Index (Nov.- Nov.) calculated by Statistics Canada for Whitehorse, subject to the following:
- I. annual increase shall not exceed 2.5% in any given year; and
  - II. where the Consumer Price Index indicates a negative adjustment, no adjustment shall be applied.
- (b) the adjusted base annual remuneration shall become effective on January 1st of the following calendar year.
- 4.04 Annual remuneration shall be paid bi-weekly and, where a member of council fails for any reason to serve in the respective office for a full twelve months, the remuneration shall be prorated on a bi-weekly basis for the period served.

#### **5.00 Remuneration Review**

- 5.01 During the final year of council's term of Office, council shall schedule a review of the *Council Remuneration Bylaw* and proceed to amend it as deemed advisable at that time.

#### **6.00 Additional Payments**

- 6.01 In addition to the annual remuneration provided pursuant to this bylaw, a member of council may be paid a per diem for each day the member of council is engaged in representing the City at any training session, event or meeting where such representation has been approved in advance by council resolution. The per diem shall be prorated as follows:



# THE CITY OF DAWSON

## Council Remuneration Bylaw

Bylaw No. 2021-10

Representation	Entitlement	Amount
More than 4 hours	Full-Day	\$200.00
4 hours or less	½ Day	\$150.00

6.02 The per diem provided pursuant to this bylaw shall be paid with respect to such day or days on which a member of council:

- (a) represents the City at an approved training session, event or meeting; or
- (b) is required to be absent from the municipality for four or more hours for the purpose of travelling to and from an approved training session, event or meeting.

### 7.00 Expenses

7.01 Prior approval of council is required for funding or reimbursement of expenses incurred in conjunction with the travel of any member of council outside the City of Dawson.

7.02 Members of council shall be reimbursed for travel expenses in accordance with the *City of Dawson Travel Policy*.

## PART III – FORCE AND EFFECT

### 8.00 Severability

8.01 If any section, subsection, sentence, clause or phrase of this bylaw is for any reason held to be invalid by the decision of a court of competent jurisdiction, the invalid portion shall be severed and the part that is invalid shall not affect the validity of the remainder unless the court makes an order to the contrary.

### 9.00 Bylaw Repealed

9.01 Bylaw 2018-10, and amendments thereto, are hereby repealed.

### 10.00 Enactment

10.01 This bylaw shall come into force on the day of the passing by council of the third and final reading.



# THE CITY OF DAWSON

## Council Remuneration Bylaw

Bylaw No. 2021-10

### 11.00 Bylaw Readings

Readings	Date of Reading
FIRST	July 13, 2021
SECOND	
THIRD and FINAL	

\_\_\_\_\_  
Wayne Potoroka, Mayor

**Presiding Officer**

\_\_\_\_\_  
Cory Bellmore, CAO

**Chief Administrative Officer**

## Mayor and Councillor Renumeration 2021 Review

Village of Carmacks	<p>\$12,600.00 Mayor - annually</p> <p>\$6,600.00 Deputy Mayor - annually</p> <p>\$6,600.00 Councillors - annually</p> <p>By resolution may approve payment of travel, meals, accommodation &amp; per diem (at YG rates)</p> <p>\$100.00 Mayor - per diem, meetings 3 hours or less</p> <p>\$75.00 Councillors - per diem, meetings 3 hours or less</p> <p>\$200.00 Mayor - per diem, meetings 3+ hours</p> <p>\$150.00 Councillors - per diem, meetings 3+ hours</p> <p>\$200.00 Mayor &amp; Councillors - per diem, meetings in other communities</p> <p>\$100.00 Mayor &amp; Councillors, per travel day separate from meeting days, 250km or less, within Yukon</p> <p>\$200.00 Mayor &amp; Councillors, per travel day separate from meeting days, 250km or greater, within Yukon</p> <p>\$200.00 Mayor &amp; Councillors, per travel day separate from meeting days, outside Yukon</p> <p>\$600.00 Mayor - annually, meetings with visitors to the community, to be reimbursed upon presentation of receipts</p> <p>\$25.00 Deputy Mayor - per diem if the mayor is absent and the DM is required to perform Mayor duties</p> <p>\$50.00 Deputy Mayor - per diem to chair a regular or special meeting of council if the Mayor is absent from the meeting</p>
City of Dawson	<p>\$15,215.66 Mayor - annually</p> <p>\$10,143.97 Councillors - annually</p> <p>Adjusted annually from CPI, not to exceed 2.5% in any given year and no adjustment if the CPI is negative</p> <p>\$150.00 Councillors - per diem, 4 hrs or less when at any training session, event or meeting that has been approved by council</p> <p>\$200.00 Councillors - per diem, more than 4 hours</p> <p>Travel expenses reimbursed in accordance with the City of Dawson Travel Policy</p>
Town of Faro	<p>\$1,490.00 Mayor - monthly (\$17,880 annually)</p> <p>\$886.00 Councillors - monthly (\$10,632 annually)</p> <p>Adjusted annually based on the CPI</p>
Village of Haines Junction	<p>\$14,666.00 Mayor - annually</p> <p>\$11,733.00 Councillors - annually</p> <p>Adjusted annually based on CPI</p> <p>Travel reimbursed on the same basis as YG employees on travel status</p>
Village of Mayo	<p>\$200.00 Mayor - attendance at regular and joint council meetings</p> <p>\$150.00 Councillors - attendance at regular and joint council meetings</p> <p>\$150.00 Mayor - attendance at non-council meetings inside community less than 2 hours</p> <p>\$100.00 Councillors - attendance at non-council meetings inside the community less than 2 hours</p> <p>\$200.00 Mayor - attendance at non-council meetings inside community more than 2 hours</p> <p>\$150.00 Councillors - attendance at non-council meetings inside community more than 2 hours</p> <p>\$250.00 Mayor - full day meeting</p> <p>\$200.00 Councillors - full day meeting</p> <p>\$250.00 Mayor - attendance at meeting outside community, per day</p> <p>\$200.00 Councillors - attendance at meeting outside community, per day</p> <p>\$40.00 Mayor and Councillors - hourly rate for hours spent travelling to and from meetings outside the community within Yukon</p> <p>For travel to meetings outside Yukon the daily rate will apply (Mayor and Councillors)</p> <p>Travel expenses paid out per Village of Mayo travel expense policy</p>
Village of Teslin	<p>\$8,000.00 Mayor - annually. \$3,750 base and additional \$125 per regular or special meeting of Council attended</p> <p>\$7,300.00 Councillors - annually. \$3,000 base and additional \$125 per regular or special meeting of Council attended</p> <p>\$200.00 per day to attend meetings or performing duties in capacity of M&amp;C outside of regular or special meetings of council</p> <p>\$150.00 half day, as immediately above</p> <p>M&amp;C shall receive an honourarium when appointed as members of committees over and above their council indemnity (amount not specified)</p>
Town of Watson Lake	<p>\$10,000.00 Mayor - annually</p> <p>\$7,500.00 Councillors - annually</p> <p>\$125.00 M&amp;C - per diem - out of town meetings, courses and conventions as required in the discharge of the duties of their office</p> <p>Travel expenses reimbursed as set out in the travel expense policy</p>
City of Whitehorse	<p>\$104,552.00 Mayor - annually</p> <p>\$37,639.02 Councillors - annually</p> <p>Adjusted annually based on CPI</p> <p>Mayor - benefit plan including health, dental, life insurance, AD&amp;D, WI/LTD, time off with pay, EAP</p> <p>Councillors - benefit plan, same as Mayor, except for time off with pay, and additional child care allowance (for care during meetings)</p> <p>\$10,500.00 Mayor - annual, to reimburse for expenses incurred while performing duties</p> <p>\$3,750.00 Councillors - annual, to reimburse for expenses incurred while performing duties</p> <p>\$6,000.00 Councillors - for expenses incurred when an invitation or obligation of the entire council is delegated to one or more</p> <p>This \$6,000 is collective, not \$6,000 for each councillor.</p> <p>Travel expenses in accordance with the Travel Expense Administrative Directive.</p> <p>\$100.00 Councillors - daily, when representing City at a function or event, attending non-regular meetings, or participating in training related to City business, 1-4 hours</p> <p>\$150.00 Councillors, as above, 4 hours or more</p> <p>Reimbursement for travel/meeting a representative on the AYC board</p>

Please note: this is for the 2021-2024 term

# City of Dawson

## Priorities and Department Operations and Projects Update

This list is a compilation of past and previous unfinished Council priorities as well as ongoing operational projects over time and current projects by budget allocation. This is a snapshot update and not an exhaustive list of operations/projects.

Priority	Priority/Project	Status	Next Steps/ Further Information
2019	Dome Road Master Plan	Master Plan currently underway. Public Engagement round two is scheduled for August 2021 Council received a project update and briefing on July 15, 2021	Dome Road Master Planning area includes both the West and East Bench areas that were deemed developable as well as the lower Klondike Bench area.  Next round of community engagement on the concept options is anticipated September 2021.
2019	Infill 1 & 2	Preliminary Environmental and Heritage assessment completed.  Project Scope changed from C2 to a mix of residential and C2 in June 2021	OCP and ZBL amendment application to be submitted to CoD.
2018	Develop, Service and release lots in the North End Development area	North End development ongoing – currently awaiting tender release (2 tenders) from YG	CoD Subdivision Approval for final lot layout Land Sale Bylaw Road Closure Bylaw Local Improvement Charges (connection) bylaw Encroachment resolutions and LOO where unavailable Risk Analysis determination assuming positive steps from YG  YG Moosehide Slide – Risk Analysis Tender release for Civil works Tender release for clearing and leveling of new lots 1-7 Survey contract YEC Contract  Joint YG & CoD Resident communications
2019	Identify areas suitable for industrial lots and prioritize this with Yukon	Continued work on Infill 3 as potential future industrial area.	This work is still underway with Land Planning – no current updates

Priority	Priority/Project	Status	Next Steps/ Further Information
	Government as required lot development	Geotechnical and Environmental work currently underway. It is expected that this parcel may be released as a block publicly for private development of the lots.	Administration will contract with KDO for a needs/demand assessment for both C2 and Industrial lots upon approval from council
	Dredge Pond II	YG currently undertaking feasibility work and developing master planning contract for Fall 2021.	YG considering phased development for Dredge Pond Phase II which may include a parcel released to tender for a developer This project is being managed by YG Rural Land Planning
2020	Lots 1-20 Block Q	RFQ on suitable uses completed and provided to council for information. Council resolution to continue to work on future lease options.	Lease options being prepared and presented to council for consideration.  Further tourist survey and engagement work once determination of what information is required and for what decision.
	YG 2021 4 lot lottery	These are delayed.	Expect lottery in 2022, combined with other YG lotteries in the territory
	Inventory of vacant YG lots in town	Vacant lot inventory provided to council in July 2021.	Decision on lots chosen to pursue studies for potential development/release pending further information.
	Development Permits issued 2020 - 2021	132 development permit applications were processed in 2020, and 84 development permit applications have been, or are currently being processed for 2021.	
2017 - Ongoing	Downtown Revitalization	Working with KDO Signs/Accessibility/public use of undeveloped areas	Wayfinding signs design 2021 and installation in 2022
	Mining in Municipal Boundaries	Ongoing processing of development permit applications and rezoning applications.	Each application pertaining to mineral claims in the municipal boundary has its own set of different obstacles. This activity does not fit in the zoning bylaw as written Administration has been considering potential amendments to the zoning bylaw for this activity, either in pertinent sections such as time line for development permits or perhaps a section in the bylaw specific to resource extraction.
2018 - Ongoing	Recreation Centre Feasibility Study completed in early 2021  Rec Centre Location	Republic Architecture was awarded contract. Worked on project throughout late 2020 and early 2021  Council resolution passed to confirm the future site to be the Dome Road location.	Council to determine the amenities that will be included and how this project will move forward.  Finalize reserve funds available for this project for internal contribution.  Set a meeting between City of Dawson and YG Minister of Community Services to discuss steps forward on project.
2017	AMFRC	Ongoing stabilization monitoring with geodetic and datum surveys	Continue to monitor movement of the vertical piles

Priority	Priority/Project	Status	Next Steps/ Further Information
	License of Occupation Cross Country Ski Trails	Parks and Recreation, CAO and CDO working with KATTS and Yukon Government to create License of Occupation between YG and KATTS. City assisting with administration based on expertise in land matters.	Meet with KATTS to discuss next steps
	Pump Track	KATTS successful in securing funding from Lotteries Yukon to build a pilot project pump track between Gaw Field and Crocus Bluff	Construction expected to start in August 2021 and take 3 weeks.  Staff to monitor usage and maintenance of space throughout 2021 and 2022.
2018	Parks and Recreation Master Plan		Complete
2018	Swimming Pool	2021 upgrades included installation of main drain covers, flow meters & anti-slip mats	Continue to monitor extend further anti slip flooring
	Fitness Centre	Attendants removed in March 2021 with return to FOB system at that time. Currently 122 monthly members have active fitness centre memberships. New Treadmill purchased and installed in June 2021. Small closet converted to large closet in May 2021.	Research ability to sell memberships online.  Continue to assess success of space and possible upgrades to improve facility.
	Skate/Tennis Court Upgrades	Initial research in progress to create an RFP to assist in creating design plan to add lines and features to space to diversify uses.	Develop RFP and provide scope to council
	Disc Golf	Temporary installation in the Crocus Bluff area in spring 2021. Project has proven successful. Moving to permanent installation in 2022	Procurement of permanent equipment for installation underway
	Regular Programming	17 in-house youth programs for spring/summer saw registration of 113 out of 182 spots. 13 instructor led youth programs for spring/summer saw registration for 124 out of 228 spots. 10 instructor led adult programs for spring/summer saw registration for 65 out of 100 spots.	Plan for fall programming session Create invitation to public for instructor led programs for fall session

Priority	Priority/Project	Status	Next Steps/ Further Information
	Community Garden	New coordinator hired in May 2021. New compost bins built in July 2021 Plots sold out for 2021 Coordinator assessing workload and devising work plan for tasks to complete in 2021 and future years.	Install new signage throughout space (with TH involvement) Replace rotting areas in retaining wall and benches Research solar capabilities to create workspace for coordinator and add modest electricity to public buildings on site.
2017	Trail Master Plan	Maintenance, Signage & Mapping of trails in 2021	Install initial signage in August 2021. Build and install additional map kiosks in 2022. Release RFP for completion of Hamarstrand Trail in fall/winter 2022. Develop trail plan for Acklen Ditch to Top of Dome uptrack-only trail. Create plans to improve access between Crocus Ball Fields and South-End of Dawson City with YG.
	Electronic Ice Re-Surfacer	RFQ issued in June 2021. Bids were received and reviewed in July 2021.	Forwarded to council for contract award August 2021
2020	Minto Park playground re-surfacing	Rubber Mulch deemed dangerous in 2020. Staff worked with contractors to replace surfacing material with Engineered Wood Chips in June 2021	Re-surfacing complete. Monitoring and maintenance of material required.
2017	Minto Park Concession	Staff working with Building Maintenance to improve heating of space, sound quality and improve kitchen capabilities for event usage.	Source materials for installation. Investigate capabilities of building for in-floor heating.
	Woolly Mammoth	Installation of gifted Mammoth complete in Fall of 2020 Signage created in-house with assistance from Tr'ondëk Hwëch'in, KPMA, Artist & Yukon Government	Sign installation expected August 2021.
	Ninth Avenue Trail Trans Canada Trail Designation	TCT reached out to staff in 2021 to discuss potential for extension of trail from Millennium Trail (aka Dyke) to include Ninth Avenue Trail. Staff applied to designation in April 2021 and received confirmation same month. Designation will open doors to funding opportunities, including Southern Access trails near Crocus Ballfields.	Announce designation. Install signage. Apply for new funding opportunities to improve trail usability and accessibility in future years.
	AMFRC Concession Contract	Contractor has prematurely ended contract with City of Dawson.	Develop RFP and provide scope to Council

Priority	Priority/Project	Status	Next Steps/ Further Information
	Banner Poles / Safety Netting Install	Staff working with Yukon Energy on two installation projects. 1. Banner poles on Front St to hang hand painted banners for events. 2. Poles along third-base line at Minto Park to hang safety netting between ball field and playground.  Development permit applications in process. Installation due in August or September 2021.	Invite local event organizers to utilize banner poles.  Source and order safety netting in winter 2021-22 and install in spring 2022.
2019	Re-design current operations and the solid waste facility	Current cells of divertible waste (metals) are filling quickly and discussion of removal are ongoing with YG regarding a contractor to remove this waste from the facility.	Continued operational efficiencies Addition of staff member to assist with the Free Store Need budget considerations for removal of non-landfill waste (metals)
2018	Solid Waste Collection Review - Solid Waste Truck purchase	RFP released in June 2021	Contract Signed July 2021 with Northern Environmental Management Systems Truck is currently under construction
	Continue discussions with YG on Regional agreements	Ongoing discussions with YG. Determined that tenure along with liability share is the next logical step in agreements.  CAO's working with contractor (Dennis Shewfelt) and Legal to determine appropriate steps for territory wide implementation.	Briefing provided to Committee of the Whole July 27, 2021.
2018	Planning and design of a new diversion centre and diversion programs	Change in original scope required to outsource project management for the Diversion Centre	At the CAO's desk to complete the scope presented to council and prepare to release as an RFP
2018	Hazardous Waste collection, including oil containers	Currently the City of Dawson does not accept Hazardous Waste at Quigley. Yukon Government did make an announcement that oil containers would be in the next DMR update	Need update from YG on new DMR Regs. Research the requirements and cost associated with collection of household hazardous waste.
2017	Build the bleeder education program into the regular operations of ensuring a sustainable and efficient water system	This program has been incorporated into regular operation	Program continues to be incorporated into regular operations and completed 5% 2019, 10% 2020 Requested from the contractor for the Water Metering Program to provide information on the ability to include the remainder of the residents as well as an education program in the Water Metering project.

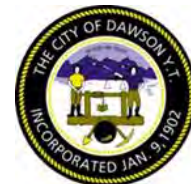
Priority	Priority/Project	Status	Next Steps/ Further Information
2018	Design and implement Water Metering Program	Design and RFP preparation currently under contract with Greenwood Engineering.	Present Scope of work to Council for approval for purchase and installation program for the water metering program. 1 year trial run period once installation complete to determine the appropriate fee structure. Incorporate Bleeder reduction and Education into a parallel timeframe for efficiency.
	Water Treatment Plant		Build complete and operational. Continue to work on deficiencies related to the boiler and heating systems.
	In-ground Infrastructure upgrade		Projects continuing in 2021
	Storm Water outfall	Climate Change funding approved to install valves in the outfall to prevent backflow	Prepare procurement options for the purchase of the back flow valves installation for completion of this project
	Old Pump house Demolition		Need update from YG
	New Reservoir Project		Need updated from YG Links with potential Dome Road Development
	Lagoon Update		Need update from YG
2017	Climate Change Adaptation Energy Retrofit for Public Works Shop and Administration Building	Contracted Future Proof My Building to complete assessment Recommendations forwarded to council and approved in July 2021	Continue to work on RFP's as presented and passed by council for various projects to increase energy efficiency of these buildings
2017	CBC Restoration	Contracted N.A. Jacobsen-Civil Engineering Consultant and RDH Building Science Inc. to review plans for cladding and drainage work required Contracted KDO to assist with potential building occupation and outreach to various organizations as per council direction for year round occupancy available to the public Finials and Corbels are being manufactured by W.F. Norman Corporation	Prepare tender documents for wall cladding and drainage work Continue to prepare recommendations to council on potential tenants or occupancy of the building Prepare tender documents for restoration of windows and doors
2020	Covid Rebate		All applications completed and either applied against account or issuing refunds in Aug

Priority	Priority/Project	Status	Next Steps/ Further Information
2018	IT Service and Hardware	Full server and service change over as well as upgrades to hardware that was at end of life	Procurement of hardware complete for 2021, installation when the products are received. Continue monitoring and operational efficiency upgrades when required for staff
	Reserves Bylaw		Projected for fall 2021
2018	Water Delivery – Ensure all City of Dawson not on the piped system have a fair and equal access to water delivery	Preliminary options presented to for consideration in June 2021  Contract extended with current contract/user as options are refined	Update the water delivery bylaw to reflect the option chosen by council to move forward.  Bring forward refined options to council for user/customer options
	Fire Department Training	Basic and Advanced Training has been ongoing during regular and special practice evenings  Current Status: 13 basic written/7practical (6 missing 1 blk) 10 advanced written/working on practical  Total Volunteers: 24 + 1 student	Ongoing training and recruitment
	Facility Space Needs Assessment	PS and PW working jointly. Will need to determine scope	The estimated value of a consultant will determine procurement process
2018	External Generator Install	Requested Quotes from Local Contractors	Proceed with Procurement process upon receiving of the quotes.
2018	Conversion of Fire Training Centre to propane	On hold. Callison yard currently being clean-ed up and re-organized to prepare for a Fire Department Training Centre and City storage. Need for conversion of the burn building will be re-evaluated when complete.	
2017	Traffic Bylaw Review	Initial review completed by Protective Services	Expand Review to include other departments for input
2018	Parking Bylaw	Initial Draft completed	Review and Update and schedule for COW

Priority	Priority/Project	Status	Next Steps/ Further Information
	Association of Yukon Fire Chiefs Annual Conference		Scheduled for Aug 2021 in Dawson City
	KVA Lease Arctic Brotherhood Hall	Draft of long-term lease reviewed by both KVA and City of Dawson.	
2017	KDO Lease – Solar Array	KDO gave notice of approved funding. Council approved the negotiation of a lease for the KDO solar array at lot 1080 on the Dome Road	Lease Drafted, needs final internal review prior to submitting to KDO for consideration
	TH Municipal Services Agreement	MSA reviewed and re-drafted to reflect the completion of installations of main line construction at the Trondek Subdivision and request for change in operational functions of the agreement from TH	In final internal review at administration and will be submitted to TH for review
	Collective Agreement Negotiations	Started and stalled in round 2 because of COVID	Expect to start again in Fall of 2021 for a multi-year agreement
	Council AV	Project Started	To continue to work with P. Menzies/B. Rutis on community delivery and what is required.
2018	Asset Management Policy	Completed and passed by council	Administration considering various Asset Management Plans for potential adoption and implementation to complement our online Asset Management System
2018	Procurement policy	Draft completed	Draft to council for consideration Aug 2021
2017	Records Management Policy	Contract signed with FY Information Management Consulting & Stuart Rennie to review past and current work on archives and plan to implement records management	<ol style="list-style-type: none"> <li>1. Current situation report with high-level recommendations– September 2021.</li> <li>2. Legal compliance review of the City’s existing records retention schedules with recommendations– October 2021.</li> <li>3. Review list of records slated for destruction and the Archive Inventory List from 2015 to current and provide detailed recommendations for retention and final disposition– October 2021.</li> <li>4. Prepare documented procedures and supporting information for the City’s authorized records destruction process and transferring records to the Yukon Archives– October to November 2021.</li> <li>5. Develop basic Records Management training materials for City staff and provide online training– November to December 2021.</li> </ol>
2017	Management Bylaw	Requires revision. Last updated in 2014	Review will re-start with full change over in Management Position since review started

Priority	Priority/Project	Status	Next Steps/ Further Information
2018	Arts Policy	Support of Arts and Events	Art Procurement policy drafted and at COW in 2020, needs finalization Events Policy – to be drafted
2018	Business License Bylaw	Updated for template, Requires content review	
	Rec Board/Community Grants/Facility rental/Temp-road closure	This was meant to deal with multiple policies that interact.	Consideration of combining these policies has been withdrawn as combining confused the policy purpose. Policies to be reviewed independently
	Flag Protocol		Final draft with changes to council in August 2021
	Accommodation Levy	Bylaw Drafted in early 2020	Stalled due to COVID. Will not bring forward until the community has returned to normal operations.
2020	Vacant Land Tax	Consideration of how to both incentivize development, or disincentivise holding vacant lots.	Upon review of the assessment roll which shows approximately 180 entries on the roll which have multiple lots, administration is considering a review of these roll numbers that contain more than one lot to understand if they require consolidation or separation on the assessment roll.

# Report to Council



☐ For Council Decision ☒ For Council Direction ☐ For Council Information

☐ In Camera

<b>AGENDA ITEM:</b>	Tr'ondëk Hwëch'in Council Requests Re. Development of Men's Shelter	
<b>PREPARED BY:</b>	Stephanie Pawluk, CDO	<b>ATTACHMENTS:</b> <ul style="list-style-type: none"><li>• January 27<sup>th</sup>, 2021 Joint Council Meeting Briefing Note</li><li>• July 9<sup>th</sup> Letter RE: City of Dawson support for Tr'ondek Hwech'in Jeze Zho Men's Shelter</li><li>• July 9<sup>th</sup> Letter RE: Exemption of Tr'ondek Hwech'in Jeze Zho Men's Shelter from the Gold Rush Era Heritage Guidelines.</li><li>• Cladding design options</li><li>• Architectural renderings and updated site plan</li><li>• July 29<sup>th</sup>, 2021 HAC Meeting Minutes 21-13</li></ul>
<b>DATE:</b>	August 4, 2021	
<b>RELEVANT BYLAWS / POLICY / LEGISLATION:</b> Development Incentives Policy #2019-02 Zoning Bylaw #2019-18 Heritage Bylaw #2019-04 Heritage Management Plan Design Guidelines for Historic Dawson		

## RECOMMENDATION

That Committee forward to council the following recommendations:

1. Waive the proponent being a government for this development given the status of supportive housing and approve the Jeze Zho Men's Shelter to receive the following supports as requested from the Development Incentive Policy 2019-02
  - Approve a 10 year Standard Tax Grant
  - Waiver of Load Capacity Charge
  - Waiver of Development Fees
2. Approve or Not approve waiving of Water and Sewer connection charges as in kind contribution contributions for construction
3. Approve or Not approve waiving of parking stall requirements as in kind contributions for construction.
4. Council consider the Minutes from the HAC meeting and
  - a. Require the proponent to comply with the HAC recommendations to conform to the current guidelines used to assess new infill construction in the historic Townsite

OR

- b. To consider the elements of the design flagged by the HAC that do not meet the Guidelines for infill: The Dawson Style but instead are a reflection of TH Built Heritage and are a culturally relevant expression as expressed in the 'story' depicted in the Cladding Design options.

## ISSUE / PURPOSE

Administration has received two requests from Tr'ondëk Hwëch'in regarding exemption from heritage guidelines and City support of the development of a new Men's Shelter (the Jeze Zho Men's Shelter) to be constructed at 1217 2nd Avenue (DP #21-068).

## BACKGROUND SUMMARY

A discussion regarding the City's Gold Rush heritage design guidelines and associated evaluation process, the Heritage Advisory Committee (HAC), and the request for a Tr'ondëk Hwëch'in voting committee member on the HAC was had at a joint Council meeting on January 27<sup>th</sup>, 2021.

Claudia Heath of Aremis Consulting, who is working on the Men's Shelter project, presented at Heritage Advisory Committee meeting #21-06 on March 18<sup>th</sup>, 2021 on Indigenous Design Guidelines. The following is an excerpt from the minutes of this meeting:

- "Claudia is the project manager for several TH projects including a new men's shelter, elders complex and future heritage complex on 2nd avenue. Wants this to be an informal discussion but in the near future, TH and its citizens wish to be able to see cultural expressions in the facades and buildings that are First Nation Culture.
- It's been made clear in the discussions at different levels with Chief and Council, with heritage department, with elders council and citizens. Nobody wants to question setbacks or things that pertain to housing safety, or building inspection items. Instead, the main question is how can TH express the cultural heritage in the TH buildings? Something that currently is impossible unless it is granted by exception, but it is felt that it shouldn't really be an exception.
- For example, the new men's shelter. This is going to be a 10 unit men's shelter that is open to all citizens of the Yukon, not just to Dawson residents. Initial concept designs showing how it would look as per the guidelines were shown to chief and council. Immediately, the Chief said 'that is not our building', it doesn't reflect TH culture or the healing that takes place in the building. At that point, from now on, the infrastructure they build, should reflect the culture and heritage of TH which is WELL before the Goldrush era.
- These discussions will be held with Mayor and Council. Claudia believes that having two sets of expressions would not be at war with each other and instead would be complementary to each other. This would therefore ENHANCE the cultural landscape of Dawson City.
- HAC asked if TH were hoping to develop guidelines for their buildings or ad hoc based on each project? Claudia advised that they are currently gathering feedback as to what does TH cultural expression mean. Will be different from dimensions, might be something speaking to materials but more philosophical, it has to interact with environment a certain way. They are looking at how to quantify but it is difficult.
- Claudia also advised they are looking at the option of TH having an equivalent committee who were able to communicate to HAC and qualifies as per TH heritage and culture. Acknowledged that any TH citizen can sit on the committee, but right now but there's no real use because they still have to go by the guidelines and there's no freedom for TH expression.
- Claudia indicated that these guidelines could eventually be used for other buildings such as businesses or YG buildings. If organisations wish to honour indigenous principles and culture of TH, they should be able to say 'we like to design as per this'. This is not something TH are pursuing right now but eventually it could be done. Presently, it's just TH, the men's shelter and in future the heritage complex on Front Street and Second Street Elders complex."

## Requests

A development permit for the Men's Shelter was received mid June 2021. Following Administrative discussions, the two attached letters were received on July 9<sup>th</sup>. One letter outlines the request for City support of the Men's Shelter in the following ways:

1. Waiving of Load Capacity Charges as in kind contributions for construction.
2. Waiving of Water and Sewer connection charges as in kind contribution contributions for construction.
3. Waiving of Planning and development application fees as in kind contributions for construction.
4. Waiving of parking stall requirements as in kind contributions for construction.
5. Making a one time cash contribution to the construction.
6. Making the equivalent of the Development Incentive Program regarding tax relief for 7 or more years available to Tr'ondek Hwech'in, as the building meets the criteria.

The other letter requests the exemption of the Men's Shelter building from the City's design guidelines. It is understood that this includes exemption from Heritage Advisory Committee review of the plans.

## Committee of the Whole meeting CW21-18

Staff members of Tr'ondëk Hwëch'in attended Committee of the Whole meeting CW21-18 on July 20, 2021 to discuss the requests. The following is an excerpt from these minutes:

"Claudia Heath gave a summary of the project:

- Shelter offers 10 units *[Admin: 8 are outlined in the tender drawings]*
- Open to everyone in the Yukon that identifies as male
- Total cost of project will be approximately \$5.3 million dollars
- CMHC, Yukon Government and Yukon Housing Corporation are assisting in funding the project"

The outcome of the meeting included Administrative direction to proceed with the processing of the development permit application, including invoicing the permit application fees and forwarding the plans to the Heritage Advisory Committee for review while pulling requested information together for presentation to Council.

## HAC

As per July 20th Committee of the Whole direction, the application, including the tendered architectural renderings and cladding design options were presented at the July 29th, 2021 HAC Meeting #21-13. The meeting minutes for #21-13 have not been adopted at the time of the writing of this report; however, the draft minutes have been included. The following is an excerpt from the minutes showing HAC's conclusion on their review of the application:

- "HAC concluded the design analysis with the following statement: If the windows on the street were symmetrical, if the front entrance were more pronounced, if window trim was added, if a roof overhang was added, and if the fence was vertical, the design could be considered to conform to the guidelines.

- HAC feels that their role is to provide analysis of the proposed designs against the guidelines and provide suggestions about how to make it comply with existing guidelines. The nature of the proposal leads HAC to forward the application to Council.”

## ANALYSIS / DISCUSSION

### *Development Incentive Grant:*

S. 3.1.g. states: “Government agencies, at all levels of government, will not be eligible for the Development Incentives under this policy. First Nation development corporations are eligible.” Given that the applicant is a government, the applicant is ineligible for the supportive housing incentives, as per the Policy. As such, a development incentives application has not been applied for.

Administration believes that this development meets the intent of the policy, just not the proponent. It was not anticipated when the policy was created that a government entity would carry out this type of development. Administration recommends allowing Tr’ondëk Hwëch’in to be an eligible applicant for this particular development.

All of these requests require Council decision, as Administration does not have the authority to make these decisions given the requirements set out in the applicable Policies and Bylaws.

Three of the City support requests arise from the incentives available for supportive housing development in the Development Incentives Policy #2019-02 (DIP). S. 4.1 of the Policy outlines the incentives available for supportive housing, which includes:

10 years Standard Tax Grant : estimated value (based on current value of incentive grants for KDO#2 - \$9613 and the Eliza Building - \$20671)	<b>\$18,000 annually</b>
Waiver of Load Capacity Charge: estimated value	<b>\$7885</b>
Waiver of Development Charge: value	<b>\$1021</b>
<b>Total life cycle requested support from the Development Incentive Grant – Estimate</b>	<b>\$188,9036</b>

The DIP has a maximum annual Incentives totalling \$100,000. The current total incentives approved and available this year to other applications totals approximately : \$52,000

• Tax incentive grants: \$	\$42,000
• Value of other incentive grants: \$ approx.	\$10,000
• Total approved incentives:	\$52,000

A Standard tax grant for the Jeze Zho Men’s Shelter would not exceed the current capacity of the DIP.

It may be useful during the next policy review to see if this value is meeting the applications to the policy and if the separate development types should have an Incentive totals so that all areas of development are available to receive support.

Request	Administrative Comments
<p>1. Waiving of Load Capacity Charges as in kind contributions for construction.</p>	<p>This arises from the DIP for supportive housing. The issue is that the applicant is a government, which the Policy explicitly does not allow for. Given that this request does not fall within the policy, it is a Council decision on waiving this requirement.</p> <p>This request would require a waiver of the Fees and Charges Bylaw #2021-03. The fee outlined in the bylaw is \$415 per water outlet.</p> <p>Estimate= <b>\$7885</b> (initial estimate of ~19 water outlets)</p>
<p>2. Waiving of Planning and development application fees as in kind contributions for construction.</p>	<p>This arises from the DIP for supportive housing. The issue is that the applicant is a government, which the Policy explicitly does not allow for. Given that this request does not fall within the policy, it is a Council decision on waiving this requirement.</p> <p>The development application fee, which has been paid,= <b>\$1021</b></p>
<p>3. Making the equivalent of the Development Incentive Program regrading tax relief for 7 or more years available to Tr'ondek Hwech'in, as the building meets the criteria.</p>	<p>This arises from the DIP for supportive housing. The issue is that the applicant is a government, which the Policy explicitly does not allow for. Given that this request does not fall within the policy, it is a Council decision on waiving this requirement.</p> <p>Estimated value \$18,000/year X 10 years - <b>\$180,000</b></p>
<p>4. Waiving of Water and Sewer connection charges as in kind contribution contributions for construction.</p>	<p>This request would require a waiver of the Fees and Charges Bylaw #2021-03. The fee outlined in the bylaw for disconnection or reconnection of private water service= 1 hr labour + 1 hrs equip. rental including operator + materials OR actual costs, whichever is greater.</p> <p>Disconnection or reconnection of private sewer service= 2 hrs labour+2 hrs equip. rental including operator + material costs OR actual costs, whichever is greater.</p> <p>PW estimate= <b>\$16,129</b></p>
<p>5. Waiving of parking stall requirements as in kind contributions for construction.</p>	<p>This request would require a waiver of the parking requirements in the Zoning Bylaw, as identified in section 9.</p> <p>The most up to date site plan currently shows no onsite parking, but Administration has requested that the loading zone be changed to parking (there is no loading requirement for this building). It is anticipated that this could accommodate 2 onsite parking spaces. It is assessed that the ZBL would require <b>5 onsite parking stalls</b> (4 allocated to the units and 1 allocated to office space).</p> <p>The Taylor Architecture Group pointed out in a report that "Because of the demographic using the facility, the majority of the users will not have vehicles and will not require parking."</p> <p>The fee outlined in the bylaw is \$3100 cash in-lieu of on sight parking, Total cost of waiving 3 stalls is <b>\$9,300</b></p>
<p>6. Making a one time cash contribution to the construction.</p>	<p>There is no specific value in this request and no budget line for this type of request.</p>

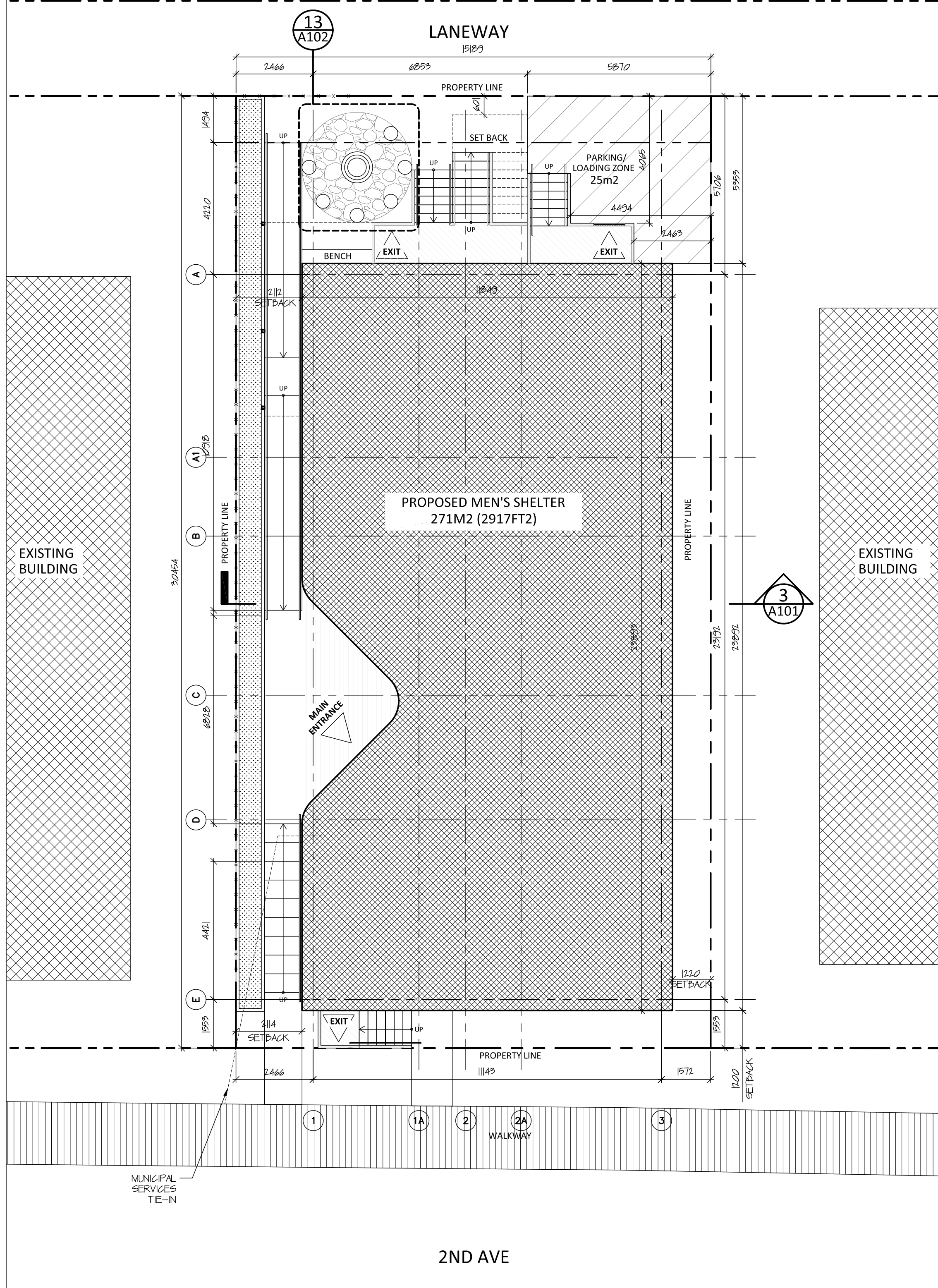
<b>OPTIONS</b>
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1. Committee of the Whole makes a decision for each request and forwards it to Council

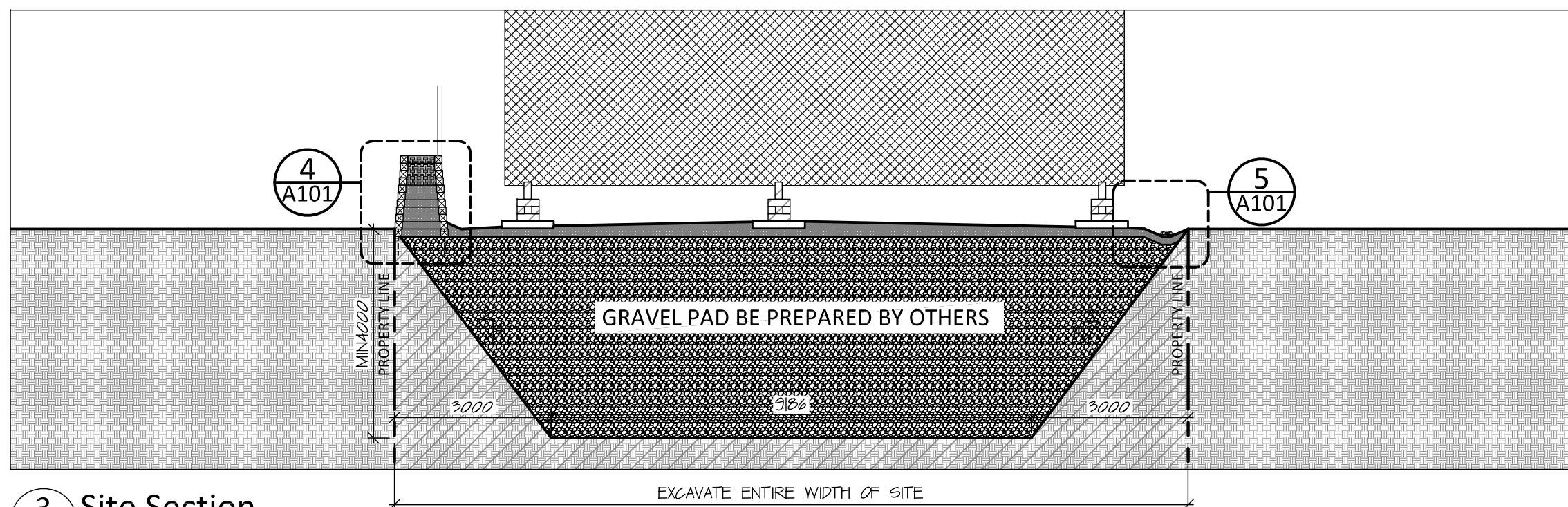
<b>APPROVAL</b>		
<b>NAME:</b>	Cory Bellmore, CAO	<b>SIGNATURE:</b> 
<b>DATE:</b>	Aug 7, 2021	

LOCATION: BLOCK D, LOT 19  
DAWSON CITY, YT  
LOT AREA: 462.4M2  
ZONING: CORE COMMERCIAL  
MIN. SETBACKS: 0M (FRONT, SIDES) AND 1.52M (REAR)  
BUILDING HEIGHT: 13.72M MIN.

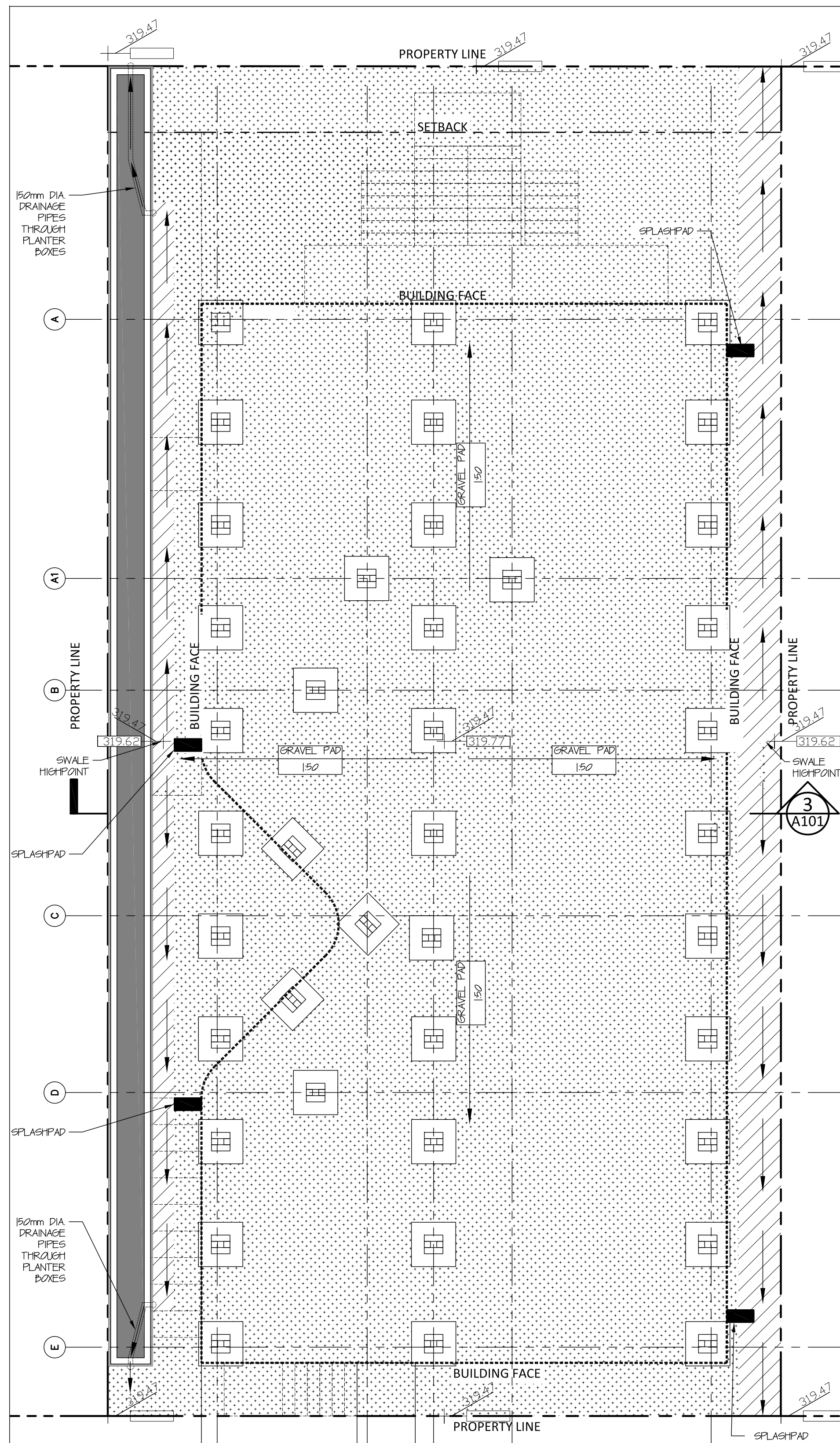
EXISTING BUILDING



1 Site Plan  
A101 scale 1:75



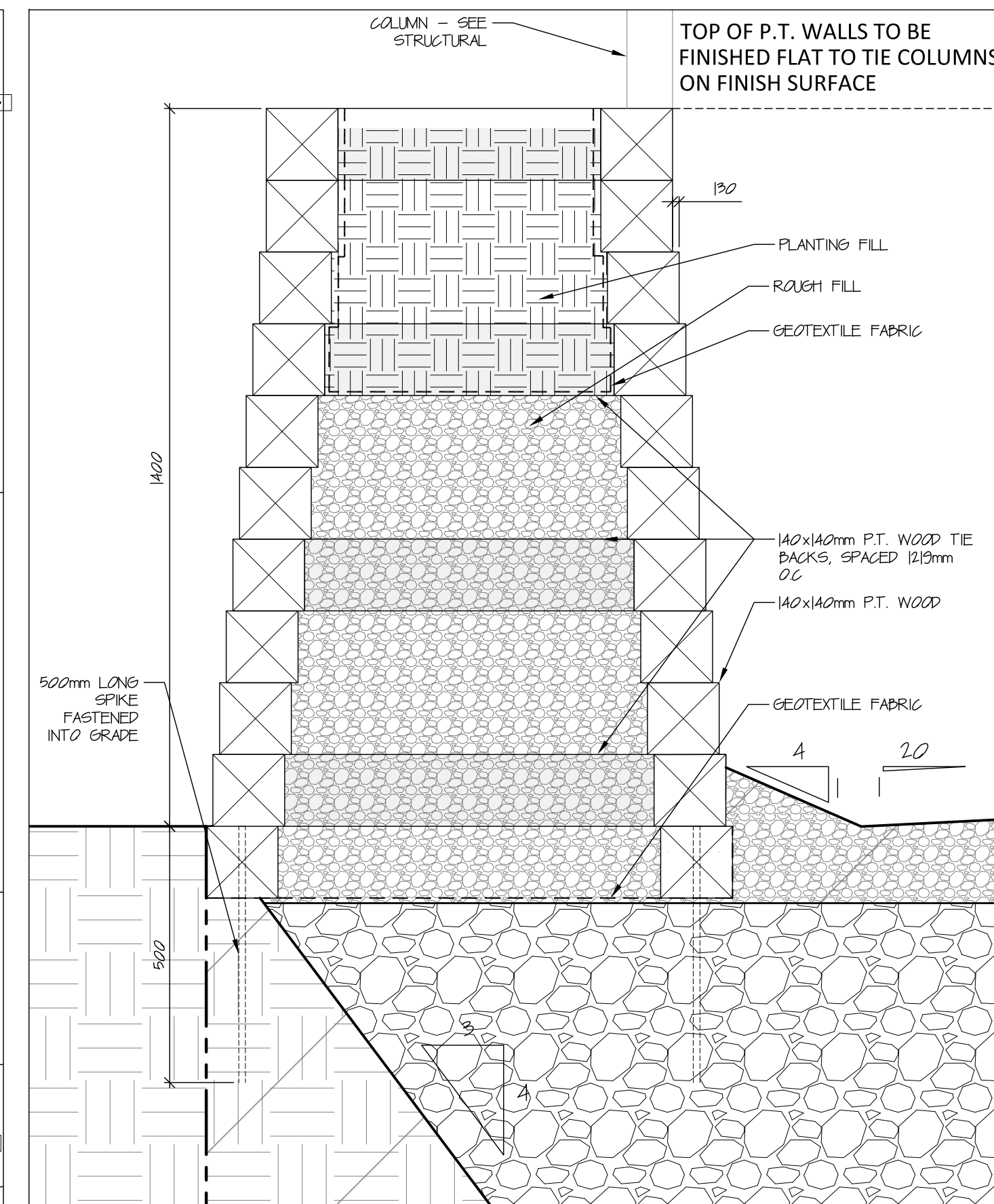
3 Site Section  
A101 scale 1:75



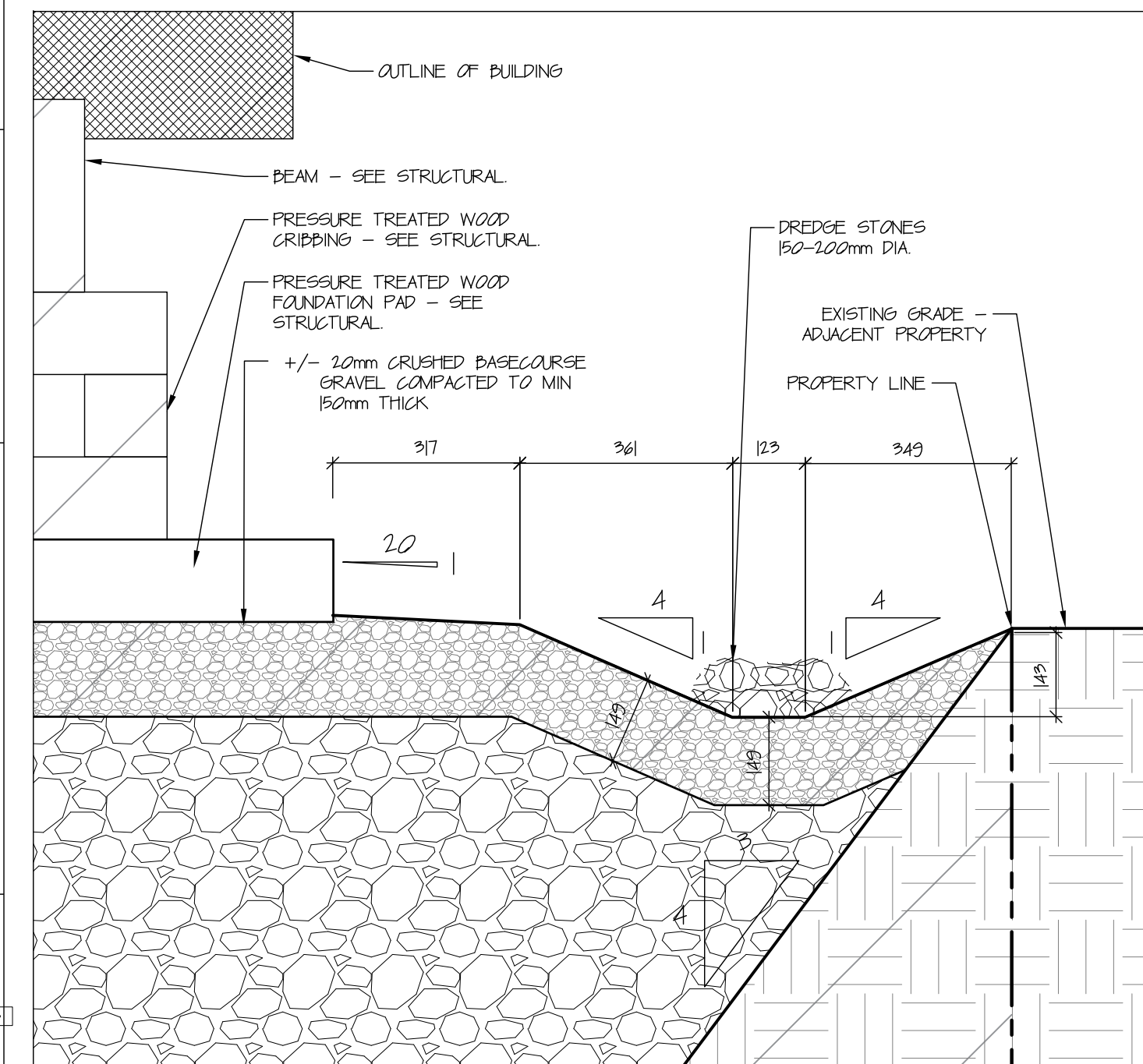
2 Grading Plan  
A101 scale 1:75

NOTE:  
PAD LOCATIONS AND QUANTITIES AS PER  
STRUCTURAL

NOTE:  
OWNER HAS PREPARED GRAVEL PAD WITH A SEPARATE  
CONTRACT. CONTRACTOR TO INSPECT GRAVEL PAD  
AND ACCEPT PAD PRIOR TO STARTING WORK. ANY  
DEFICIENCIES ARE TO BE BROUGHT TO THE ATTENTION  
OF TAG ARCHITECT AND PROJECT MANGER PRIOR TO  
CONTRACTOR WORK STARTING

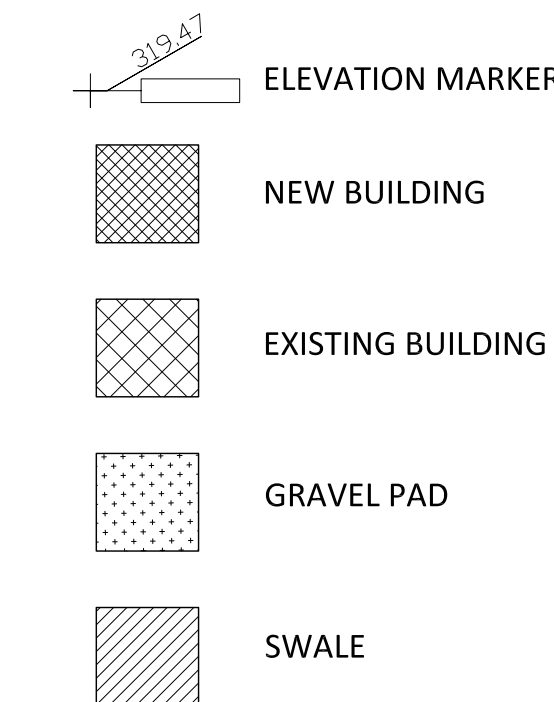


4 Planter Box Section  
A101 scale 1:10



5 Swale Section  
A101 scale 1:10

Room #	Room Name	Area	Room #	Room Name	Area
101	Entry Vestibule	8.7m2 (94ft2)	201	Stairs	11m2 (118ft2)
102	Warm Up/Dry Rm	10.7m2 (115ft2)	202	Landing (Corridor)	3.7m2 (40ft2)
103	Barrier Free WR	7.5m2 (81ft2)	203	North Corridor	9.7m2 (104ft2)
104	South Corridor	7m2 (75ft2)	204	Coordinator Office	13m2 (140ft2)
105	Intake Waiting	10.5m2 (113ft2)	205	Outreach Office	12.6m2 (136ft2)
106	Intake	9.3m2 (100ft2)	206	Supported Living	14.6m2 (157ft2)
107	Intake	8.7m2 (94ft2)	207	Shared WR	3.3m2 (36ft2)
108	Storage	3.8m2 (41ft2)	208	Supported Living	12.3m2 (132ft2)
109	Front Desk	16.3m2 (175ft2)	209	Central Corridor	14m2 (151ft2)
110	Staff WR	3.5m2 (145ft2)	210	Barrier Free Unit	15.6m2 (168ft2)*
111	North Corridor	16.6m2 (179ft2)	211	Barrier Free WR	6.4m2 (69ft2)
112	Barrier Free WR	5.8m2 (62ft2)	212	Residential Unit	16.4m2 (177ft2)*
113	Laundry	6.3m2 (68ft2)	213	Res. Unit WR	3.7m2 (40ft2)
114	Wellness Room	12m2 (129ft2)	214	South Corridor	4.5m2 (48ft2)
115	Janitor	3.4m2 (37ft2)	215	Residential Unit	13.3m2 (143ft2)*
116	Mech Room	10m2 (108ft2)	216	Res. Unit WR	3.7m2 (40ft2)
117/118	Dining & Kitchen	64m2 (689ft2)	217	Residential Unit	16m2 (172ft2)*
119	Storage	6.4m2 (69ft2)	218	Res. Unit WR	3.7m2 (40ft2)
120	Utility Closet	2.6m2 (28ft2)	219	Residential Unit	15.7m2 (169ft2)*
			220	Res. Unit WR	3.8m2 (41ft2)
			221	Residential Unit	15.7m2 (169ft2)*
			222	Res. Unit WR	3.8m2 (41ft2)
			223	Exit Stair	9.6m2 (103ft2)



NOTE:  
SEE STRUCTURAL FOR FOUNDATION  
CRIBBING INFORMATION.

CITY OF DAWSON BYLAW SETBACKS:  
- FRONT = 0m  
- SIDES = 0m  
- BACK = 1.5m

PAD PREPARATION:  
REFER TO DESKTOP GEOTECHNICAL  
REPORT ISSUED BY TETRA TECH ON APRIL  
9, 2021.

APPROXIMATELY 1850 cu m FILL  
- 13 LIFTS OF PIT RUN +/- 80mm  
(300mm LIFTS MAX)  
- 2 LIFTS OF CRUSHED BASECOURSE  
GRAVEL +/- 20mm (COMPACTED  
THICKNESS 150mm)

NOT FOR CONSTRUCTION  
ALL DIMENSIONS TO BE SITE VERIFIED BY CONTRACTOR

#	Date	Description
6	04-Aug-20	Issued for Development PermitR1
5	21-July-20	Issued for Development Permit
4	21-July-12	Issued for Tender
3	21-Jun-16	Issued for 100% Construction Documents
2	21-May-06	Issued for 50% Construction Documents
1	21-Mar-30	Issue for Design Development

Revisions  
# Date Description  
March 1, 2021

Project:  
**JEJE ZHO TH MEN'S  
SHELTER**

Dawson City, YT

project north  
true north  
Drawing by: T.F.  
Checked by: S.T.  
Scale: As Noted

Sheet name:  
**Site Plan**

Project #

20-040

Drawing #

**A101**

# TH Men's Shelter – CLADDING DESIGN

## JULY 2021



# T'ondëk Hwëch'in

*Tr'o* = Hammer rock

*Ndëk* = River

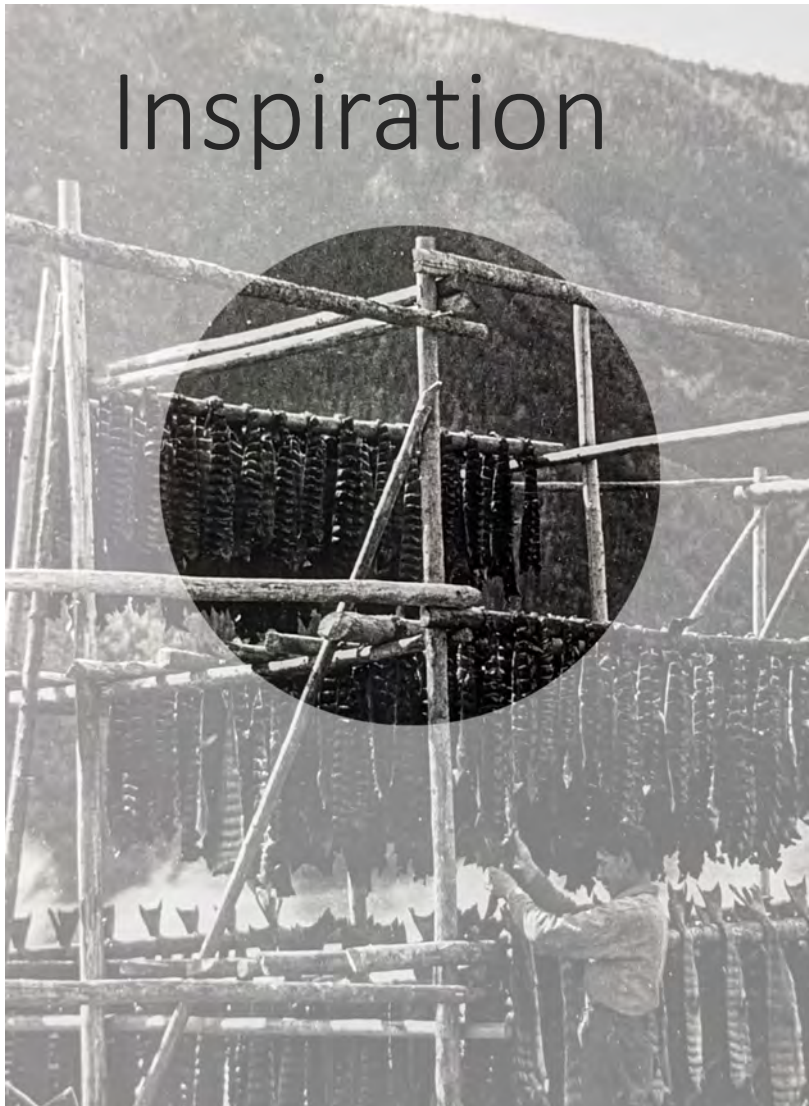
*Hwëch'in* = People





# Inspiration

1. *Fishing/River*
2. *Use of birch/bark*
3. *Landscape, trees & forest*



# Option 1 – Concept: Fishing

- *Patterning of Fish Scales*



# Option 1

*Story/Concept: Patterning of Fish Scales*

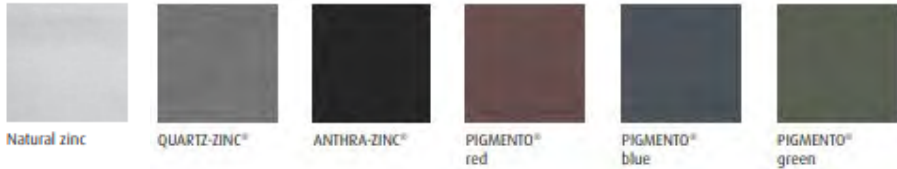


- Cladding:** Zinc Panels (reminiscent of fish scales)  
**VMZ Shingles** (alternative to Diamond Steel Roofing from Ontario)
- Manufactured in BC
  - Custom colours would be expensive (not feasible at this scale)



# Option 1 - Updated

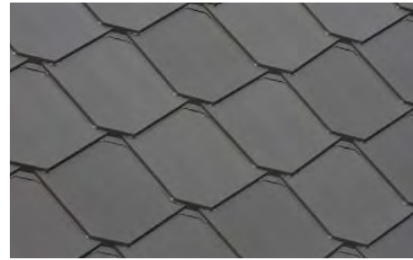
*Story/Concept: Patterning of Fish Scales*



**Cladding:** Zinc Panels (reminiscent of fish scales)

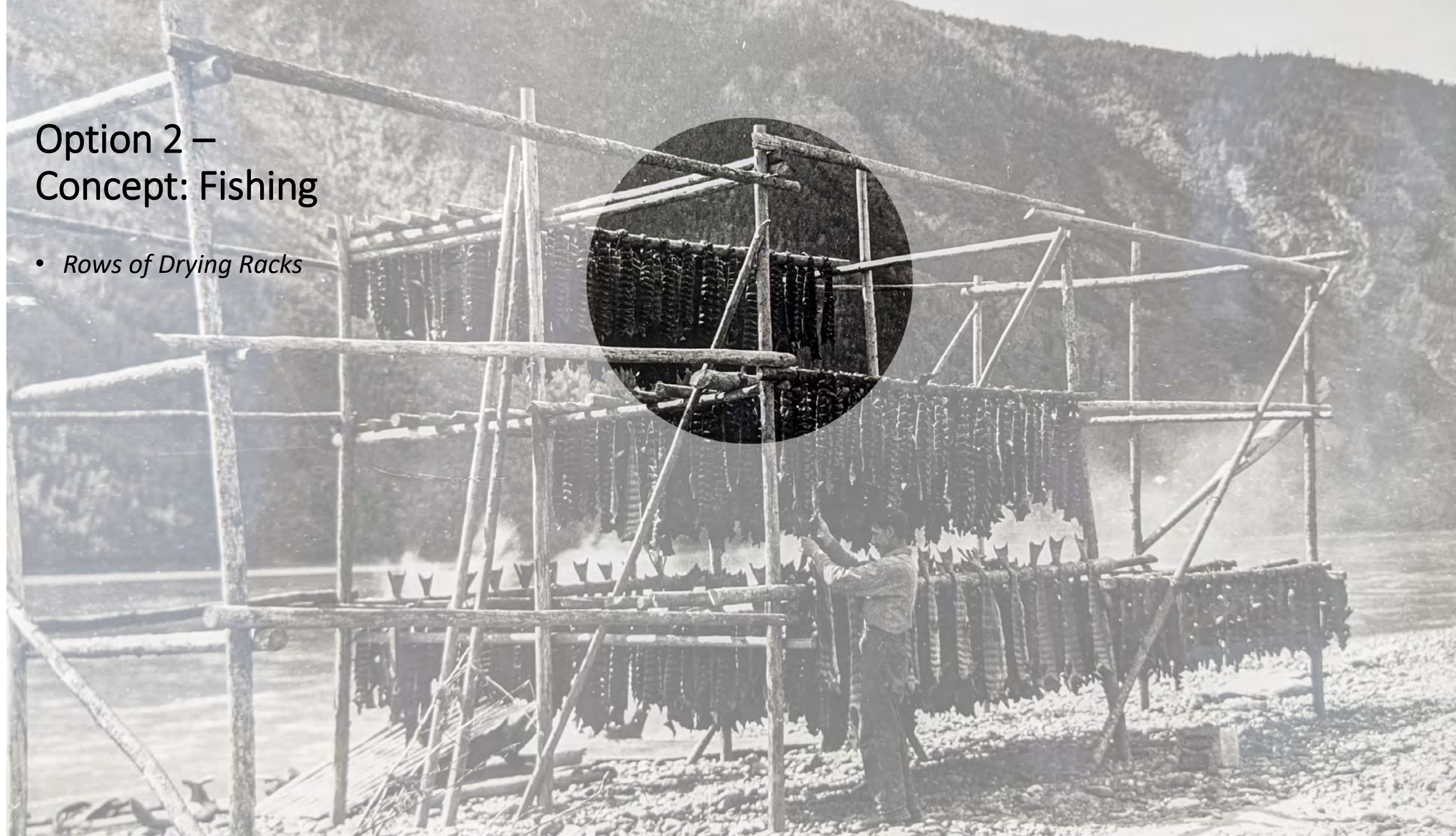
**VMZinc – Adeka / Custom**

- Can custom fabricate in BC (can even adjust profile to be more curved, etc.)
- Colours: Natural Zinc (silver) and Quartz-Zinc (dark grey). Green, blue and red are available but they will fade over time back to dark grey
- Warranty: 10 years



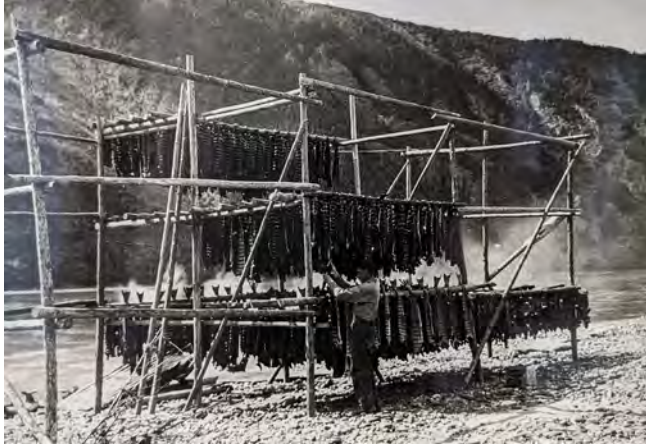
## Option 2 – Concept: Fishing

- *Rows of Drying Racks*



# Option 2

*Story/Concept: Hanging Fish  
(drying racks)*



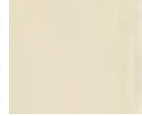
Coral 7032



Coral 7031



Crystal 7010



Amber 7082



## **Cladding: Fibre Cement Boards Swiss Pearl**

- Sourced from Vancouver, BC (~\$16-20/ft<sup>2</sup>)
- Come in large sheet sizes (4x10ft) so patterning and sizes can be adjusted
- Through-colour (even if gets scratched will see the same colour)



## Option 3 – Concept: Use of Birch Bark

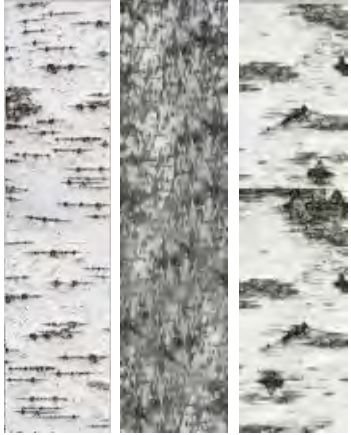
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- *Canoe Construction*



# Option 3

*Story/Concept: Birch Bark*



**Cladding:** Aluminum with printed image

**Dizal**

- Manufactured in Quebec (~\$15/ft<sup>2</sup>)
  - All manufactured in-house and take care of/coordinate shipping from the factory to site themselves. Indicated they have no issues with materials or lead time currently – could produce in September)
- Warranty: 25yrs (including finish, colour and top coat)



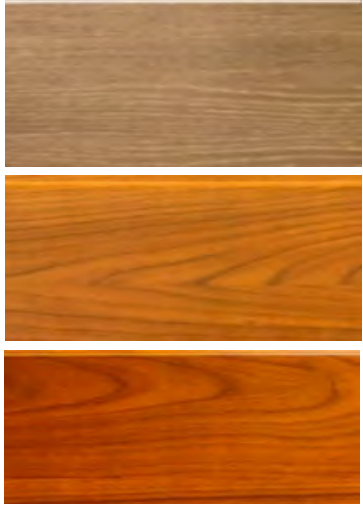
## Option 4 – Concept: Layering & Furs

- *Shelter with fur pelts*



# Option 4

*Story/Concept: Layering*



## **Cladding: Wood-Look Metal Longboard**

- Manufactured in BC (~\$14/ft<sup>2</sup>)
- Colours/Finishes: have variety of wood-look metal finishes. Personally I have found these to be some of the better looking wood-look metal panels
- Warranty: 15yrs (can do 20yrs as well)



Option 5

Concept: Forest and Nature

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# Option 5

*Story/Concept: Forest*



**Cladding:** Metal Panels

**Vicwest – AD Series**

- Supplied nationally (BC, Ontario, QC, etc.)
- Colours/Finishes: Can use a couple of different profiles and 4 colours to give the impression of a forest
- Warranty: 40 year limited coating
- (could also do this approach in cement board)





Note to bidders: addendum will be issued shortly after tender to revise cladding material, patterning and steel stairs & ramp structure (A300s, A600s and S4.0 will be updated)

# JEJE ZHO TH MEN'S SHELTER

# Dawson City, YT

PROJECT NO. 20-040

Issued For Tender - July 2021

## Sheet List:

## Architectural

- A001 - Building Assemblies
- A101 - Site Plan & Drainage Plan
- A102 - Site Details
- A103 - Fence Details
- A201 - Main Floor Plan & Second Floor Plan
- A210 - Reflected Ceiling Plan
- A220 - Furniture Plan
- A301 - Building Elevations
- A302 - Deck Elevations
- A401 - Building Sections
- A501 - Interior Details
- A601 - Envelope Details
- A602 - Envelope Details
- A603 - Envelope Details
- A720 - Interior Stair Details
- A801 - Interior Elevations
- A802 - Interior Elevations
- A803 - Interior Elevations
- A820 - Washroom Details
- A851 - Millwork Details
- A852 - Millwork Details
- A853 - Millwork Details
- A854 - Millwork Details
- A855 - Millwork Details
- A856 - Millwork Details
- A901 - Room Finish Schedule & Window Schedule
- A902 - Hardware Schedule & Door Schedule

## Structural

- S1.0 - Foundation Plan
- S1.1 - Main Floor Framing Plan
- S1.2 - Second Floor Framing Plan
- S1.3 - Roof Framing Plan
- S2.0 - Foundation and Main Floor Framing Sections
- S2.1 - Foundation and Main Floor Framing Sections
- S3.0 - Framing Sections 2nd Floor
- S3.1 - Framing Section - Roof, Roof Truss Loading Diagram, Notes
- S4.0 - Exterior Ramp, Stairs, Details
- S4.1 - Exterior Deck Plans, Sections, Details
- S4.2 - Exterior Deck Steel Framing Elevations
- S4.3 - Wood Panel Shear Walls and Diaphragms
- S5.0 - Structural Notes and Specifications

## Mechanical

- M100 - Mechanical Site Plan and Symbol Legend
- M200 - Mechanical Plumbing Main Floor
- M201 - Mechanical Plumbing 2nd Floor
- M300 - Mechanical Heating Plans
- M400 - Mechanical Ventilation Plans
- M500 - Mechanical Fire Protection Plans
- M600 - Mechanical Schematics and Details 1
- M601 - Mechanical Schematics and Details 2
- M602 - Mechanical Room Layouts
- M700 - Mechanical Equipment Schedule 1
- M701 - Mechanical Equipment Schedule 2

## Electrical

- E100 - Electrical Site Layout & Symbol Legend
- E101 - Lighting Layout & Luminaire Schedule
- E102 - Power & Telecommunications Layout
- E103 - Emergency Lighting & Fire Alarm System Layout
- E600 - Single Line Diagram & Power Demand Calculations
- E601 - Fire Alarm Riser Diagram & Zone Schedule
- E602 - TV Distribution System Layout

## Code Analysis:

Project Phase	Date Updated March 24, 2021									
Line No.	National Building Code of Canada 2015 Assessment							NBC 2015 Reference		
1	Summary									
2	Project Type:		New Construction							
3	Primary Occupancy Classification:		Group B3 Care							3.1.2.1
4	Primary Occupancy:		Assisted/Supportive Living Facilities							
5	Other Major Occupancy Classification:									
6	Other Major Occupancy:									
7	Number of Storeys:		2 Above Grade						Below Grade	3.2.1.1
8	Building Height (m):		8.4							3.2.1.1
9	High Building:		No							3.2.6.1
10	Building Area (m2):		282.9							1.4.1.2
11	Gross Area (m2):		542.9							
12	Number of Streets Facing:		1							3.2.2.10, 3.2.5.4.6
13	Construction Type Proposed:		Combustible							
14	Sprinkler System Proposed:		Entire Building							
15	Occupant Load:		34							
16	Building Classification									
17	Building Classification:		Group B, Division 3, up to 2 Storeys, Sprinklered							3.2.2.4.5
18	Permitted Construction:		Combustible or Non-Combustible Construction (Singly or Combination)							
19	Maximum Area (m2):		1600							
20	Sprinklers:		Required							3.2.1.5, 3.2.2.15, 3.2.2.16
21	Fire Resistance Ratings									
22	Floors:		45							
23	Loadbearing Walls/Columns:		45							
24	Mezzanines:		45							
25	Roof:									
26	Mezzanines									
27	Area (m2)		NA							3.2.8
28	Spatial Separation									
29	Wall	Max. Area of EBF (m2)	Limiting Distance (m)	L/H or H/L	Permitted Max. % of Openings	FRR Ext. Wall	Type of Construction Required	Type of Cladding Required	Listed Design or Description	
30	North	150	1.2	Less than 3:1	14% 1 hr	Comb. or Non-Comb.	Non-Comb.		3.2.3	
31	South	150	2	Less than 3:1	16% 1 hr	Comb. or Non-Comb.	Non-Comb.			
32	East	100	7	Less than 3:1	88% 45 min	Comb. or Non-Comb.	Comb. or Non-Comb.			
33	West	100	8.5	Less than 3:1	100% 45 min	Comb. or Non-Comb.	Comb. or Non-Comb.			
34	Component Fire Separations									
35	Exits:		45 minutes		Closures:		45 minutes		3.4.4.1, 3.1.8.4, 3.1.8.12	
36	Service Rooms (fuel fired):		1h		Closures:		45 minutes		3.6.2.1, 3.1.8.4, 3.1.8.12	
37	Service Rooms (non-fuel fired):		NA		Closures:		NA		3.6.2.1, 3.1.8.4, 3.1.8.12	
38	Electrical Rooms:		1h		Closures:		45 minutes		3.6.2.1, 3.1.8.4, 3.1.8.12	
39	Janitor Rooms:		NA		Closures:		NA		3.3.1.2.1, 3.1.8.4, 3.1.8.12	
40	Common Laundry Rooms:		NA		Closures:		NA		3.3.1.2.2, 3.1.8.4, 3.1.8.12	
41	Combustible Refuse Storage:		NA		Closures:		NA		3.6.2.5, 3.1.8.4, 3.1.8.12	
42	Generator Rooms:		NA		Closures:		NA		3.6.2.8, 3.1.8.4, 3.1.8.12	
43	Protection Zones for Disabled Persons:		NA		Closures:		NA		3.3.1.7, 3.1.8.4, 3.1.8.12	
44	Vertical Service Spaces:		NA							3.6.3
45	Horizontal Service Spaces:		NA							3.6.4
46	Firefighting									
47	Fire Alarm:		Required							3.2.4.1
48	Standpipe:		Not Required							3.2.5.8-11
49	Fire Department Connections:		max 45m from an automatic sprinkler system to a hydrant							3.2.5.15
50	Extinguishers:		Required							3.2.5.16
51	Access to Above-Grade Storeys:		Not Required							3.2.5.1
52	Access to Basements:		NA							3.2.5.2
53	Roof Access:		Not Required							3.2.5.3
54	Access Routes:		Not Required							3.2.5.4.6
55	Occupant Load									
56	Based On:		Area Per Person							3.1.17
57	Basement:									
58	1st Floor:		18		176.7		10			
59	2nd Floor:		17		167.8		10			
60	3rd Floor:									
61	Total Occupant Load:		34							
62	Exit Requirements									
63	Number of Required Exits:		Min. 2							3.4.2.1
64	Distance Between Exits:									3.4.2.3
65	Travel Distance:		45m							3.4.2.4.5
66	Minimum Exit Width (mm):									3.4.3.2-1.8
67	Exit Corridors and Passageways:		625.6		Aggregate		1100 Individual			
68	Ramps:				Aggregate		1100 Individual			
69	Stairs:				Aggregate		900 Individual			
70	Downways:				Aggregate		850 Individual			
71	Plumbing Facilities									
72	Water Closets:		Female		2 Male		2		3.7.2.2	
73	Urinals:		Female		n/a		Male		3.7.2.2.5	
74	Lavatories:		Female		1 Male		1		3.7.2.3	
75	Barrier-Free Access									
76	Required? If no, provide explanation:		Required							3.8.2.1
77	Entrances:		1							3.8.2.2
78	Floor Areas with BF Path of Travel:		Main floor except service room, upper floor							3.8.2.3.4
79	BF Access from Exterior:		Required							3.8.2.5
80	Power Door Operator:		Not Required							3.8.2.7
81	Signage:		Required							3.8.2.10
82	Interior Finishes									
83	Flame Spread Rating									3.1.13.2, 3.1.13.6
84	Walls and Ceilings:		150							
85	Exits:		25							
86	Lobbies:		25							
87	Corridors:		150							
88	Non-Combustible Construction									
89	Combustible Flooring Elements:		Allowed							3.1.5.10
90	Combustible Interior Finishes:		yes if less than 25mm thick							3.1.5.12
91	Combustible Construction									
92	Insulation:		max. 500 flame spread							3.1.4.1-2, 3.1.5.14-15
93	Heavy Timber Construction:		NA							3.1.4.6-7

## ARCHITECT

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# ELECTRICAL ENGINEER

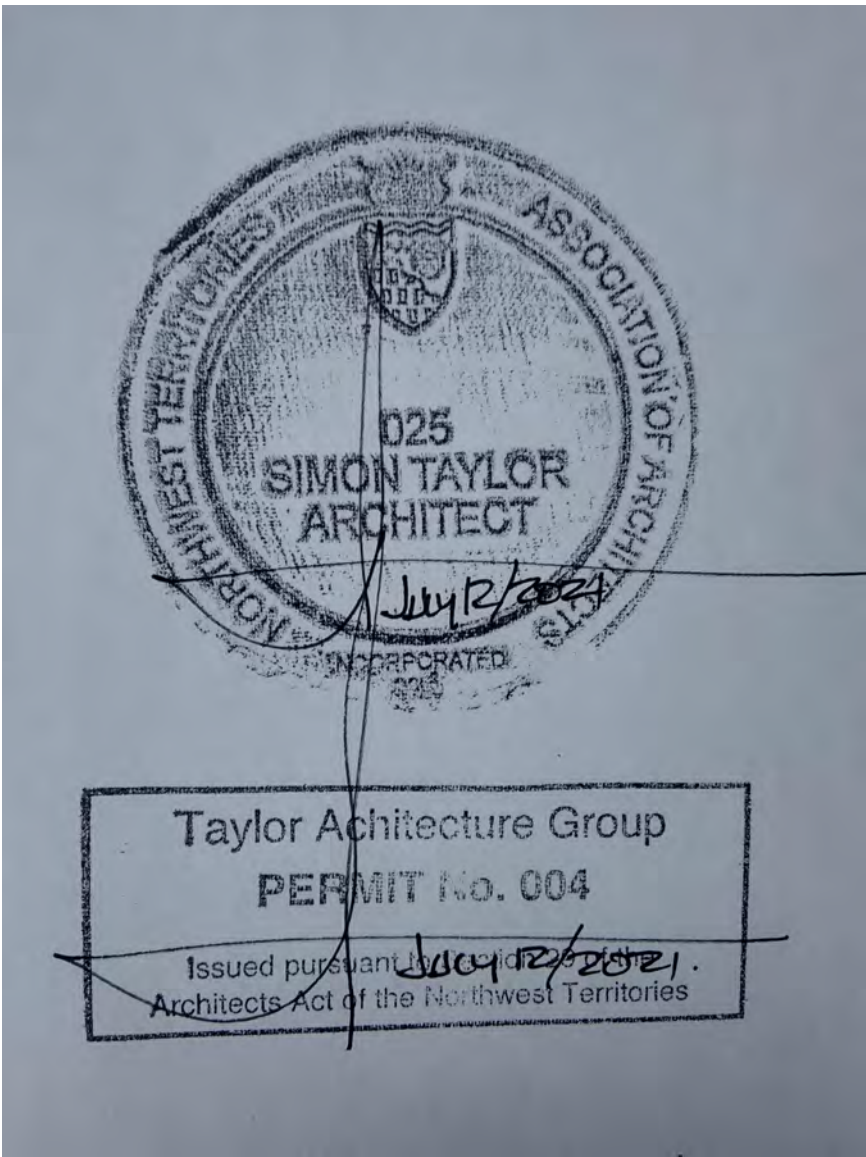
TAG Engineering  
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## List of Abbreviations

#	NUMBER
&	AND
@	AT
AFF	ABOVE FINISH FLOOR
AHJ	AUTHORITIES HAVING JURISDICTION
ANOZ	ANNODIZED
AUM	ALUMINUM
AVB	AIR VAPOUR BARRIER
BF	BARRIER FREE
B.O.	BOTTOM OF
C.L.	CENTRE LINE
CLG	CEILING
CONC	CONCRETE
DIM	DIMENSION
DR	DOOR
DV	DISPLACEMENT VENT
DWG	DRAWING
EA	EACH
ELEC	ELECTRICAL
ELEV	ELEVATION
EQ	EQUAL
EXIST	EXISTING
EXT	EXTERIOR
FE	FIRE EXTINGUISHER
F.O.	FACE OF
FLR	FLOOR
GA	GAUGE
GALV	GALVANIZED
GWB	GYPSUM WALL BOARD
HC	HOLLOW CORE
HM	HOLLOW METAL
HPDL	HIGH PRESSURE DECORATIVE LAMINATE
HR	HOURL
INSUL	INSULATION OR INSULATED
INT	INTERIOR
MAX	MAXIMUM
MECH	MECHANICAL
MIN	MINIMUM
MTL	METAL
NIC	NOT IN CONTRACT
NO	NUMBER
NRC	NOISE REDUCTION COEFFICIENT
O.C.	ON CENTRE
OFM	OFFICE OF THE FIRE MARSHAL
PLY	PLYWOOD
PT	PRESSURE TREATED
PTD	PAINTED
QTY	QUANTITY
RCP	REFLECTED CEILING PLAN
REQD	REQUIRED
SC	SOLID CORE
SIM	SIMILAR
SPEC	SPECIFICATION
SPF	SPRUCE-PINE-FIR WOOD
SS	STAINLESS STEEL
STC	SOUND TRANSMISSION COEFFICIENT
STL	STEEL
STRUCT	STRUCTURAL
T&G	TONGUE AND GROOVE
T.O.	TOP OF
TOC	TOP OF CONCRETE
TOS	TOP OF STEEL
TYP	TYPICAL
U/S	UNDERSIDE
UNO	UNLESS NOTED OTHERWISE
W/	WITH



### COMMUNITY PLAN & PARCEL INFORMATION

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LOT: 19  
BLOCK: D, Ladue  
ZONING: Core Commercial

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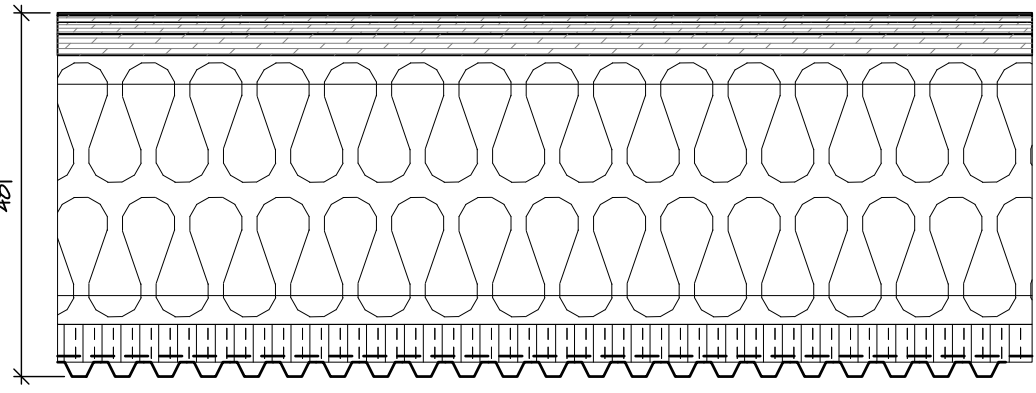
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FLOOR ASSEMBLIES

F1

SOFFIT FLOOR ASSEMBLY  
INSULATION VALUE: R-68 NOMINAL, R-61 EFFECTIVE

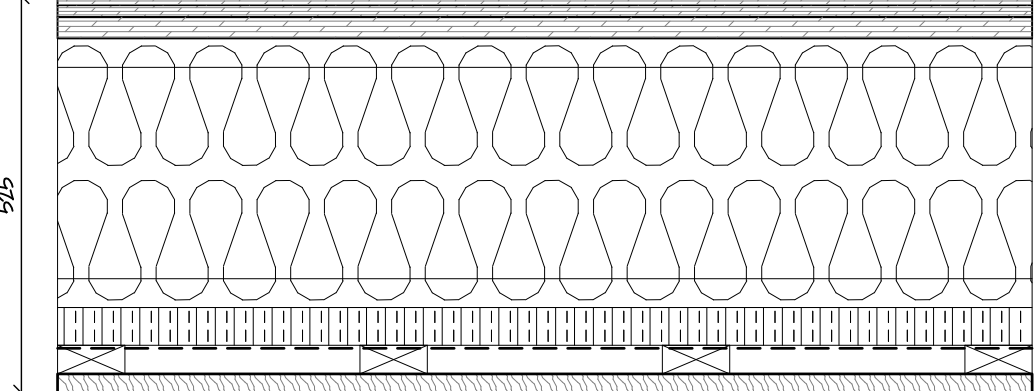
FLOOR FINISH (SEE INTERIOR FINISH SCHEDULE)  
16 mm TONGUE & GROOVE PLYWOOD GOOD-1-SIDE FLOOR UNDERLAY  
28 mm WARMBOARD OR ALTERNATE (IN-FLOOR HEATING CAVITY) ALL SEAMS TAPED WITH SELF ADHERED MEMBRANE AND GLUED AND SCREW TO JOISTS BELOW  
356 mm TJI FLOOR JOISTS (SEE STRUCT.)  
178 mm MINERAL WOOL BATT INSULATION (R-30 NOMINAL)  
178 mm MINERAL WOOL BATT INSULATION (R-30 NOMINAL)  
51 mm RIGID MINERAL WOOL INSULATION (R-8 NOMINAL)  
WEATHER BARRIER MEMBRANE  
19 mm GALVALUME METAL SOFFIT PANEL



F2

SECOND FLOOR OVERHANG FLOOR ASSEMBLY  
INSULATION VALUE: R-68 NOMINAL, R-61 EFFECTIVE

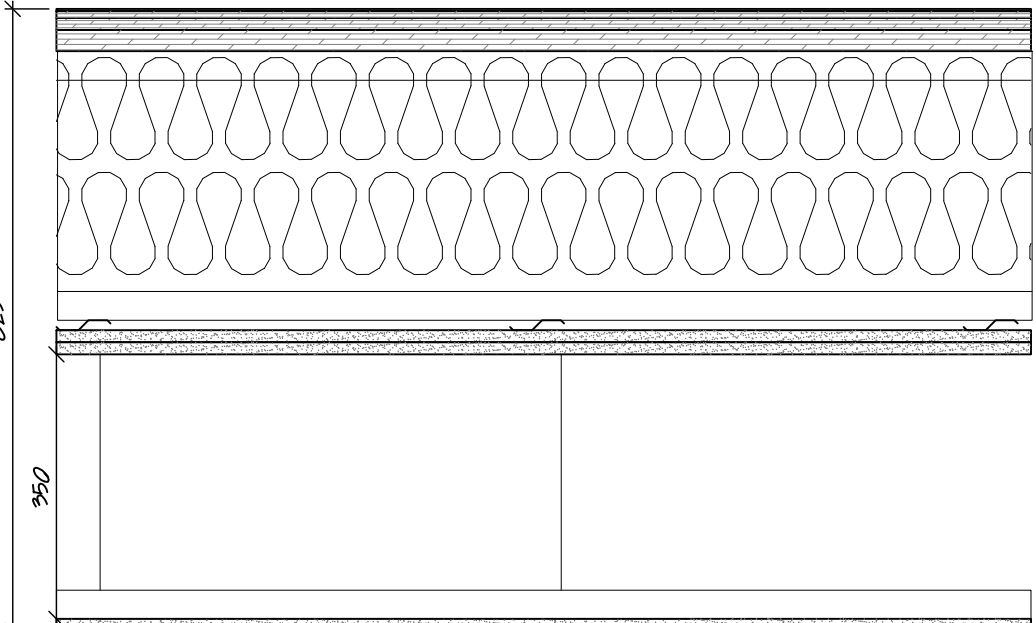
FLOOR FINISH (SEE INTERIOR FINISH SCHEDULE)  
16 mm TONGUE & GROOVE PLYWOOD GOOD-1-SIDE FLOOR UNDERLAY  
28 mm WARMBOARD OR ALTERNATE (IN-FLOOR HEATING CAVITY) ALL SEAMS TAPED WITH SELF ADHERED MEMBRANE AND GLUED AND SCREW TO JOISTS BELOW  
356 mm TJI FLOOR JOISTS (SEE STRUCT.)  
178 mm MINERAL WOOL BATT INSULATION (R-30 NOMINAL)  
178 mm MINERAL WOOL BATT INSULATION (R-30 NOMINAL)  
51 mm RIGID MINERAL WOOL INSULATION (R-8 NOMINAL)  
WEATHER BARRIER MEMBRANE  
38x89 mm WOOD STRAPPING @ 400 mm O.C.  
25 mm TREATED WOOD SIDING (SOFFIT)



F3

FIRE-RATED INTERIOR FLOOR ASSEMBLY  
STC VALUE: 54  
FIRE-RESISTANCE RATING: 1 HOUR

FLOOR FINISH (SEE INTERIOR FINISH SCHEDULE)  
16 mm TONGUE & GROOVE PLYWOOD GOOD-1-SIDE FLOOR UNDERLAY  
28 mm WARMBOARD OR ALTERNATE (IN-FLOOR HEATING CAVITY) ALL SEAMS TAPED WITH SELF ADHERED MEMBRANE AND GLUED AND SCREW TO JOISTS BELOW  
356 mm TJI FLOOR JOISTS (SEE STRUCT.)  
ACOUSTIC BATT INSULATION IN JOIST CAVITIES  
13 mm RESILIENT CHANNELS, 600 mm O.C.  
16 mm TYPE-X GWB  
16 mm TYPE-X GWB  
SUSPENDED 38x64 WOOD STRAPPING AT 600mm O.C.  
16 mm TYPE-X GWB  
CEILING FINISH (SEE REFLECTED CEILING PLAN A210 AND INTERIOR FINISH SCHEDULE A901)

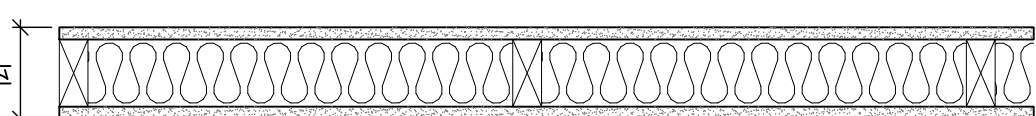


NON-RATED PARTITION ASSEMBLIES

P1

38x89 mm WOOD STUD PARTITION - INSULATED  
STC RATING: 36

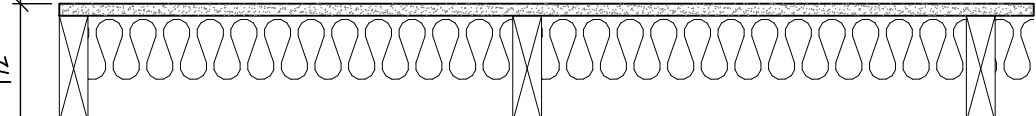
16 mm TYPE-X GYPSUM BOARD  
38x89 mm WOOD STUDS @ 600 O.C.  
89 mm ACOUSTIC BATT INSULATION  
16 mm TYPE-X GYPSUM BOARD



P2

38x140 mm WOOD STUD PARTITION - INSULATED  
STC RATING: 36

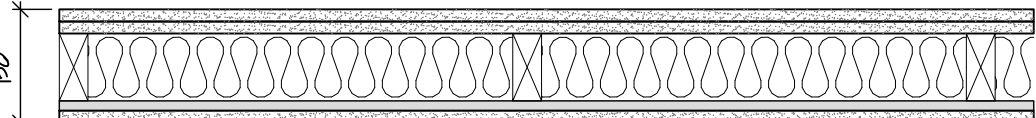
16 mm TYPE-X GYPSUM BOARD  
38x140 mm WOOD STUDS @ 600 O.C.  
89 mm ACOUSTIC BATT INSULATION  
16 mm TYPE-X GYPSUM BOARD



P3

38x89 mm ACOUSTIC PARTITION  
STC RATING: 54

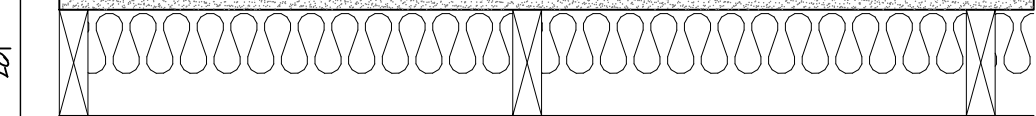
16 mm TYPE-X GYPSUM BOARD  
16 mm TYPE-X GYPSUM BOARD  
38x89 mm WOOD STUDS @ 600 O.C.  
89 mm ACOUSTIC BATT INSULATION  
13 mm RESILIENT METAL CHANNELS, 600 mm O.C.  
16 mm TYPE-X GYPSUM BOARD



P4

38x140 mm ACOUSTIC PARTITION  
STC RATING: 54

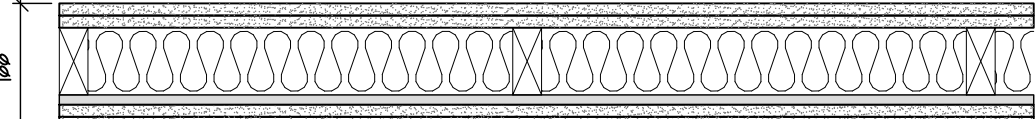
16 mm TYPE-X GYPSUM BOARD  
16 mm TYPE-X GYPSUM BOARD  
38x89 mm WOOD STUDS @ 600 O.C.  
89 mm ACOUSTIC BATT INSULATION  
13 mm RESILIENT METAL CHANNELS, 600 mm O.C.  
16 mm TYPE-X GYPSUM BOARD



P5

38x89 mm LIFT PARTITION  
STC RATING: 58

16 mm TYPE-X GYPSUM BOARD  
16 mm TYPE-X GYPSUM BOARD  
38x89 mm WOOD STUDS @ 600 O.C.  
89 mm ACOUSTIC BATT INSULATION  
13 mm RESILIENT METAL CHANNELS, 600 mm O.C.  
16 mm TYPE-X GYPSUM BOARD  
16 mm TYPE-X GYPSUM BOARD

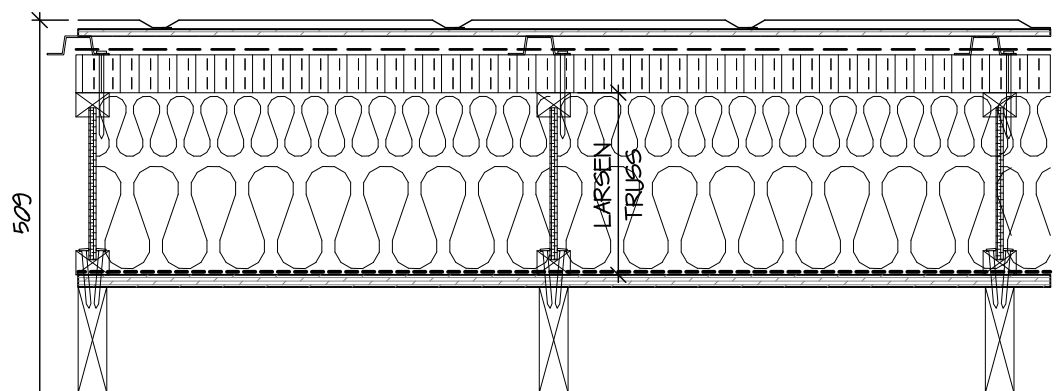


EXTERIOR WALL ASSEMBLIES

W1

METAL SHINGLE CLADDING WALL ASSEMBLY  
INSULATION VALUE: R-51 NOMINAL, R-46 EFFECTIVE

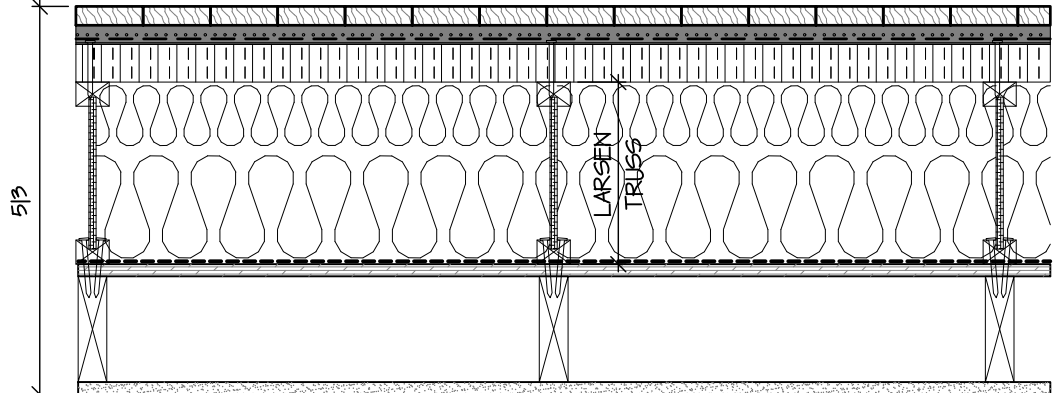
DIAMOND STEEL SHINGLE SIDING, FASTENED TO PLYWOOD  
9mm P.T. PLYWOOD SHEATHING  
25 mm GALV. STEEL HAT CHANNELS, 18 GA, INSTALLED VERTICALLY, FASTENED TO LARSEN TRUSS THROUGH WEATHER BARRIER MEMBRANE AND RIGID INSULATION  
WEATHER BARRIER MEMBRANE  
51 mm RIGID MINERAL WOOL INSULATION (R-8) NOMINAL  
241 mm WOOD I-JOISTS INSTALLED AS LARSEN TRUSSES, 400 mm O.C. (SEE NOTE 1)  
89 x 616 mm SEMI-RIGID MINERAL WOOL INSULATION (R-14) NOMINAL, BETWEEN LARSEN TRUSSES  
152 x 616 mm SEMI-RIGID MINERAL WOOL INSULATION (R-24) NOMINAL, BETWEEN LARSEN TRUSSES  
SELF-ADHESIVE AIR AND VAPOUR BARRIER MEMBRANE  
16 mm PLYWOOD (SEE STRUCT.)  
38x140 mm WOOD STUDS, 400 mm O.C. (SEE STRUCT.)  
16 mm TYPE-X GYPSUM BOARD



W2

VERTICAL WOOD CLADDING WALL ASSEMBLY  
INSULATION VALUE: R-51 NOMINAL, R-46 EFFECTIVE

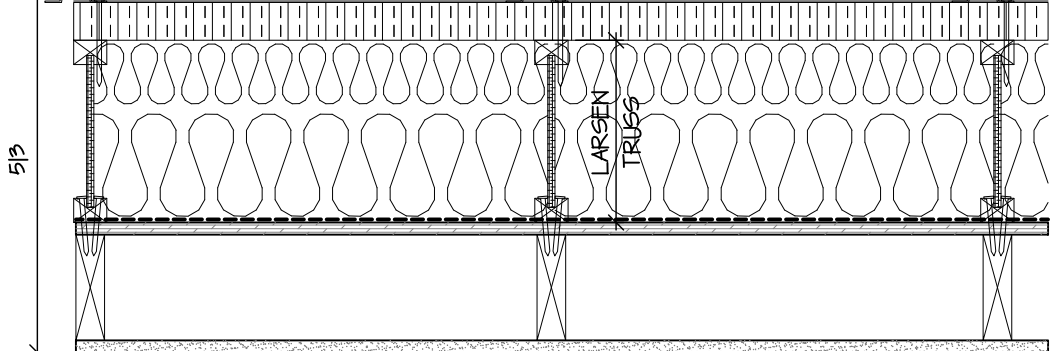
25 mm TREATED WOOD SIDING, INSTALLED VERTICALLY, FASTENED TO STRAPPING BENEATH  
25 mm VENTED STEEL HAT CHANNELS, GALVANIZED, FASTENED TO LARSEN TRUSS THROUGH WEATHER BARRIER MEMBRANE AND RIGID INSULATION, 400 mm O.C.  
WEATHER BARRIER MEMBRANE  
51 mm RIGID MINERAL WOOL INSULATION (R-8) NOMINAL  
241 mm WOOD I-JOISTS INSTALLED AS LARSEN TRUSSES, 400 mm O.C. (SEE NOTE 1)  
89 x 616 mm SEMI-RIGID MINERAL WOOL INSULATION (R-14) NOMINAL, BETWEEN LARSEN TRUSSES  
152 x 616 mm SEMI-RIGID MINERAL WOOL INSULATION (R-24) NOMINAL, BETWEEN LARSEN TRUSSES  
SELF-ADHESIVE AIR AND VAPOUR BARRIER MEMBRANE  
16 mm PLYWOOD (SEE STRUCT.)  
38x140 mm WOOD STUDS, 400 mm O.C. (SEE STRUCT.)  
16 mm TYPE-X GYPSUM BOARD



W3

HORIZONTAL WOOD CLADDING WALL ASSEMBLY  
INSULATION VALUE: R-51 NOMINAL, R-46 EFFECTIVE

25 mm TREATED WOOD SIDING, INSTALLED HORIZONTALLY, FASTENED TO STRAPPING BENEATH  
25 mm STEEL HAT CHANNELS, GALVANIZED, INSTALLED VERTICALLY, FASTENED TO LARSEN TRUSS THROUGH WEATHER BARRIER MEMBRANE AND RIGID INSULATION, 400 mm O.C.  
WEATHER BARRIER MEMBRANE  
51 mm RIGID MINERAL WOOL INSULATION (R-8) NOMINAL  
241 mm WOOD I-JOISTS INSTALLED AS LARSEN TRUSSES, 400 mm O.C. (SEE NOTE 1)  
89 x 616 mm SEMI-RIGID MINERAL WOOL INSULATION (R-14) NOMINAL, BETWEEN LARSEN TRUSSES  
152 x 616 mm SEMI-RIGID MINERAL WOOL INSULATION (R-24) NOMINAL, BETWEEN LARSEN TRUSSES  
SELF-ADHESIVE AIR AND VAPOUR BARRIER MEMBRANE  
16 mm PLYWOOD (SEE STRUCT.)  
38x140 mm WOOD STUDS, 400 mm O.C. (SEE STRUCT.)  
16 mm TYPE-X GYPSUM BOARD

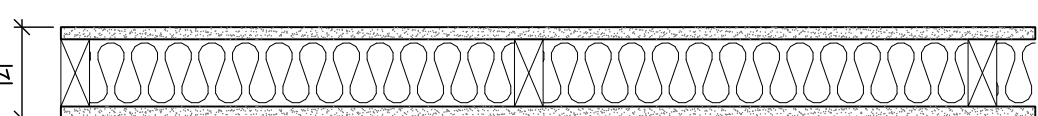


FIRE-RATED PARTITION ASSEMBLIES

PF1

38x89 mm WOOD STUD PARTITION - INSULATED  
STC RATING: 36  
FIRE RATING: 1 HOUR

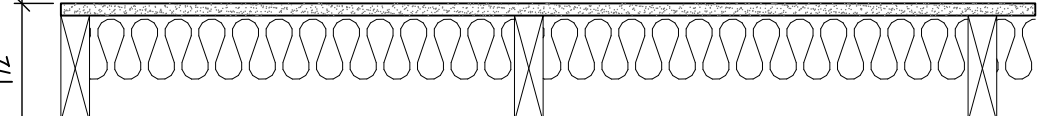
16 mm TYPE-X GYPSUM BOARD  
38x89 mm WOOD STUDS @ 600 O.C.  
89 mm ACOUSTIC BATT INSULATION  
16 mm TYPE-X GYPSUM BOARD



PF2

38x140 mm WOOD STUD PARTITION - INSULATED  
STC RATING: 36  
FIRE RATING: 1 HOUR

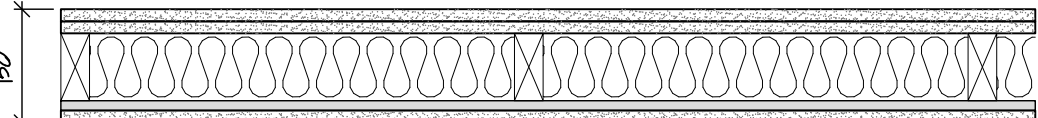
16 mm TYPE-X GYPSUM BOARD  
38x140 mm WOOD STUDS @ 600 O.C.  
89 mm ACOUSTIC BATT INSULATION  
16 mm TYPE-X GYPSUM BOARD



PF3

38x89 mm ACOUSTIC PARTITION  
STC RATING: 54  
FIRE-RATING: 1 HOUR

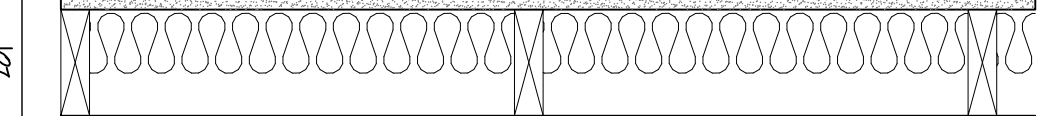
16 mm TYPE-X GYPSUM BOARD  
16 mm TYPE-X GYPSUM BOARD  
38x89 mm WOOD STUDS @ 600 O.C.  
89 mm ACOUSTIC BATT INSULATION  
13 mm RESILIENT METAL CHANNELS, 600 mm O.C.  
16 mm TYPE-X GYPSUM BOARD



PF4

38x140 mm ACOUSTIC PARTITION  
STC RATING: 54  
FIRE RATING: 1 HOUR

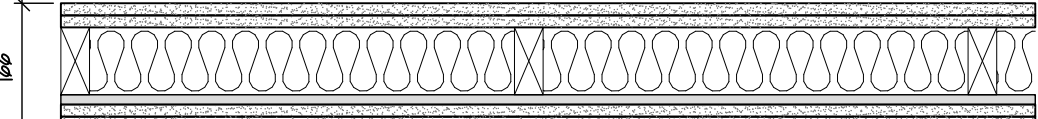
16 mm TYPE-X GYPSUM BOARD  
16 mm TYPE-X GYPSUM BOARD  
38x140 mm WOOD STUDS @ 600 O.C.  
89 mm ACOUSTIC BATT INSULATION  
13 mm RESILIENT METAL CHANNELS, 600 mm O.C.  
16 mm TYPE-X GYPSUM BOARD



PF5

38x89 mm LIFT PARTITION  
STC RATING: 58  
FIRE RATING: 2 HOUR

16 mm TYPE-X GYPSUM BOARD  
16 mm TYPE-X GYPSUM BOARD  
38x89 mm WOOD STUDS @ 600 O.C.  
89 mm ACOUSTIC BATT INSULATION  
13 mm RESILIENT METAL CHANNELS, 600 mm O.C.  
16 mm TYPE-X GYPSUM BOARD  
16 mm TYPE-X GYPSUM BOARD

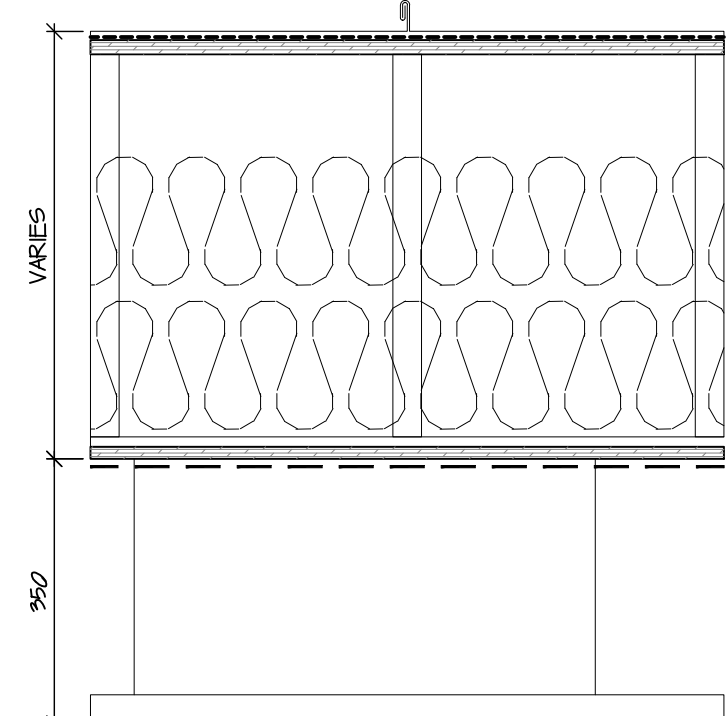


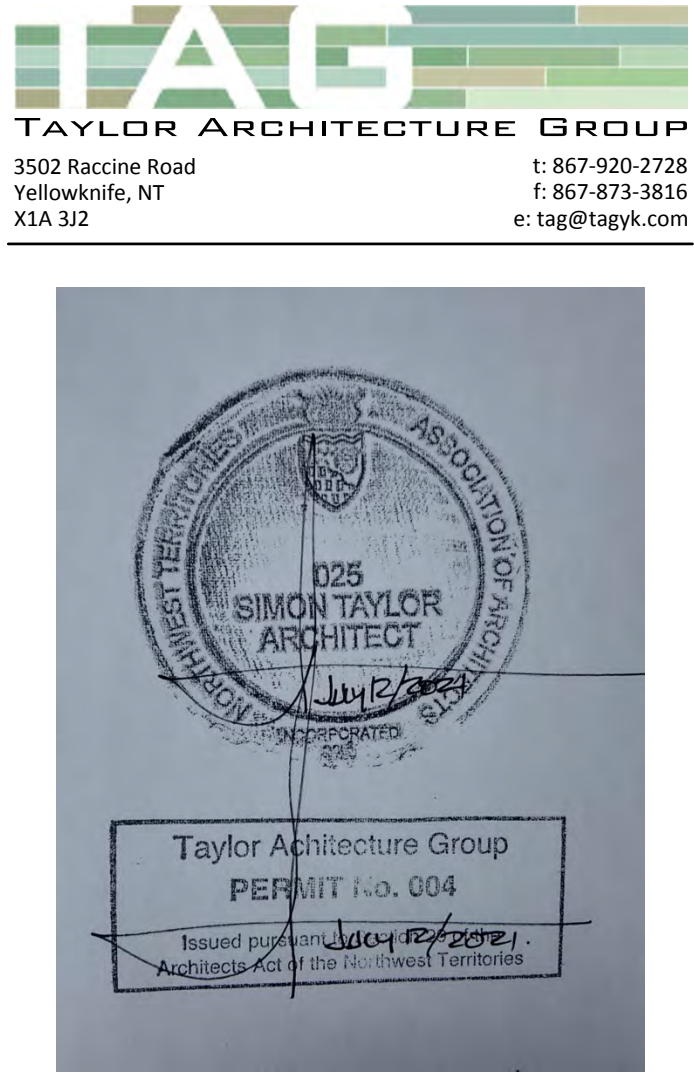
ROOF ASSEMBLIES

R1

FIRE-RATED VENTED COMPACT ROOF ASSEMBLY  
INSULATION VALUE: R-56 NOMINAL, R-56 EFFECTIVE

STANDING SEAM METAL ROOFING  
SELF-ADHESIVE ROOFING MEMBRANE  
19 mm P.T. PLYWOOD STRUCTURAL SHEATHING, FASTENED TO TRUSSES BELOW  
190 mm SEMI-RIGID MINERAL WOOL INSULATION (R-32)  
190 mm SEMI-RIGID MINERAL WOOL INSULATION (R-32)  
WOOD ROOF TRUSSES AS PER STRUCTURAL DRAWINGS  
13 mm TONGUE & GROOVE PLYWOOD  
SELF ADHERED AIR AND VAPOUR BARRIER  
SUSPENDED 38x64 WOOD STRAPPING AT 600mm O.C.  
16 mm TYPE-X GWB  
INTERIOR FINISH AS PER REFLECTED CEILING PLAN A210 AND INTERIOR FINISH SCHEDULE A901





- NOTES
- SEE A600 DRAWINGS FOR DETAILS FOR LARSEN TRUSS INSTALLATION.
  - FIRE-RATING ACHIEVED BY 2 LAYERS OF 16mm TYPE-X GWB ON UNDERSIDE OF FLOOR JOISTS
  - ALL PENETRATIONS THROUGH ALL ASSEMBLIES TO BE SEALED TO THE AIR AND VAPOUR BARRIER
  - GRAVEL FOUNDATION PAD TO BE CONSTRUCTED WITH A FACTORED BEARING RESISTANCE OF 100 kPa. CONTRACTOR TO CONFIRM PERFORMANCE OF GRAVEL PAD BY SUBMITTING STAMPED DRAWING OR REPORT FROM PROFESSIONAL ENGINEER REGISTERED TO PRACTICE IN THE YUKON. SUGGESTED INSTALLATION TECHNIQUE AS PER GEOTECHNICAL RECOMMENDATIONS

NOT FOR CONSTRUCTION

ALL DIMENSIONS TO BE SITE VERIFIED BY CONTRACTOR

4	21-July-12	Issued for Tender
3	21-Jun-16	Issued for 100% Construction Documents
2	21-May-06	Issued for 50% Construction Documents
1	21-Mar-30	Issued for Design Development
#	Date	Description

Revisions	
Date:	January 28, 2021

Project:

**JEJE ZHO TH MEN'S SHELTER**

Dawson City, YT

Design by:	S.T.
Drawing by:	T.F.
Scale:	1:10

Sheet name:

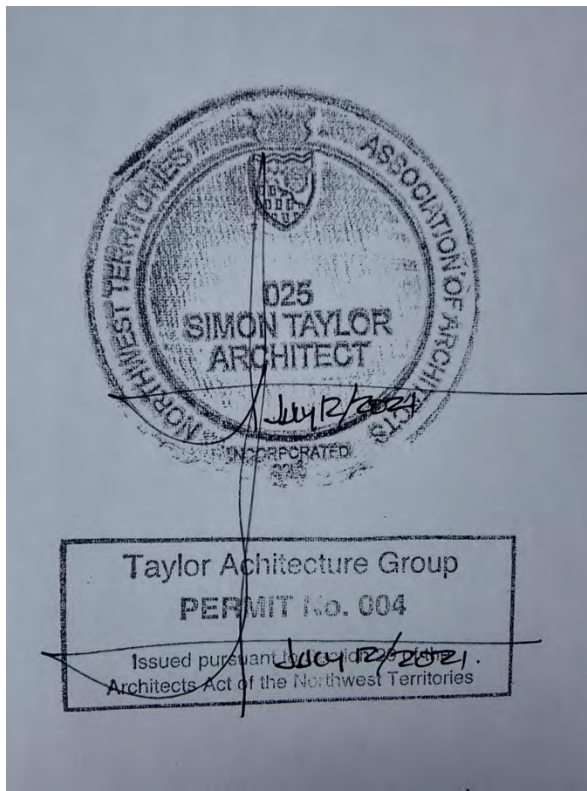
**Assemblies & Partitions Schedule**

Project #

**20-040**

Drawing #

**A001**



- ELEVATION MARKER
- NEW BUILDING
- EXISTING BUILDING
- GRAVEL PAD
- SWALE

**NOTE:**  
SEE STRUCTURAL FOR FOUNDATION  
CRIBBING INFORMATION.

**CITY OF DAWSON BYLAW SETBACKS:**

- FRONT = 0m
- SIDES = 0m
- BACK = 1.5m

**PAD PREPARATION:**  
REFER TO DESKTOP GEOTECHNICAL  
REPORT ISSUED BY TETRA TECH ON APRIL  
9, 2021.

APPROXIMATELY 1850 cu m FILL

- 13 LIFTS OF PIT RUN +/- 80mm  
(300mm LIFTS MAX)
- 2 LIFTS OF CRUSHED BASECOURSE  
GRAVEL +/- 20mm (COMPACTED  
THICKNESS 150mm)

**NOT FOR CONSTRUCTION**  
ALL DIMENSIONS TO BE SITE VERIFIED BY CONTRACTOR

4	21-July-12	Issued for Tender
3	21-Jun-16	Issued for 100% Construction Documents
2	21-May-06	Issued for 50% Construction Documents
1	21-Mar-30	Issue for Design Development
#	Date	Description

Revisions  
Date: March 1, 2021

Project:  
**JEJE ZHO TH MEN'S  
SHELTER**

Dawson City, YT

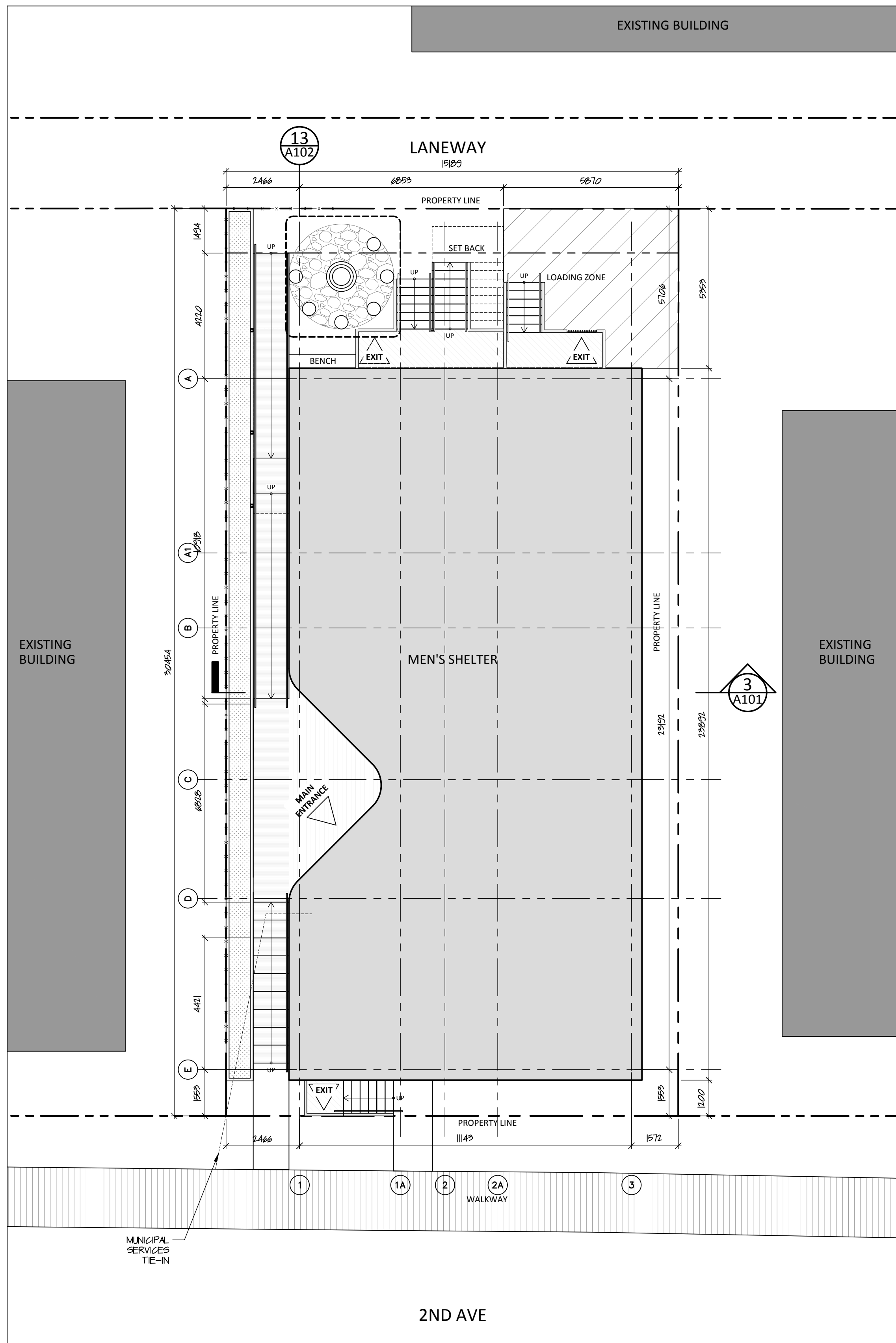
project north  
true north

Drawing by:	T.F.
Checked by:	S.T.
Scale:	As Noted

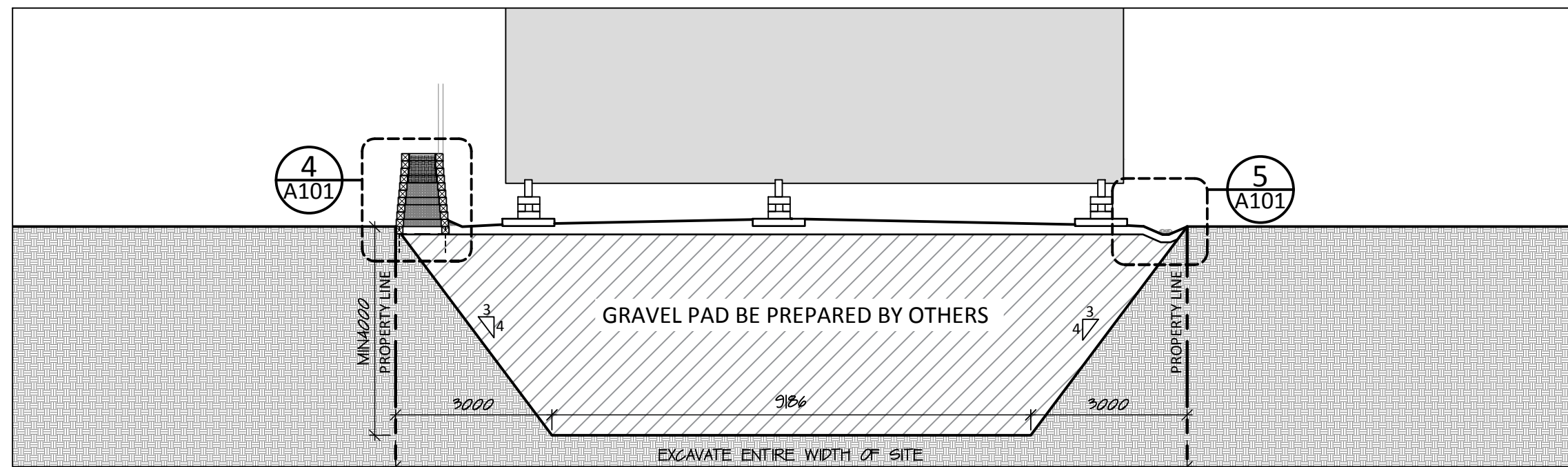
Sheet name:  
**Site Plan**

Project #  
**20-040**

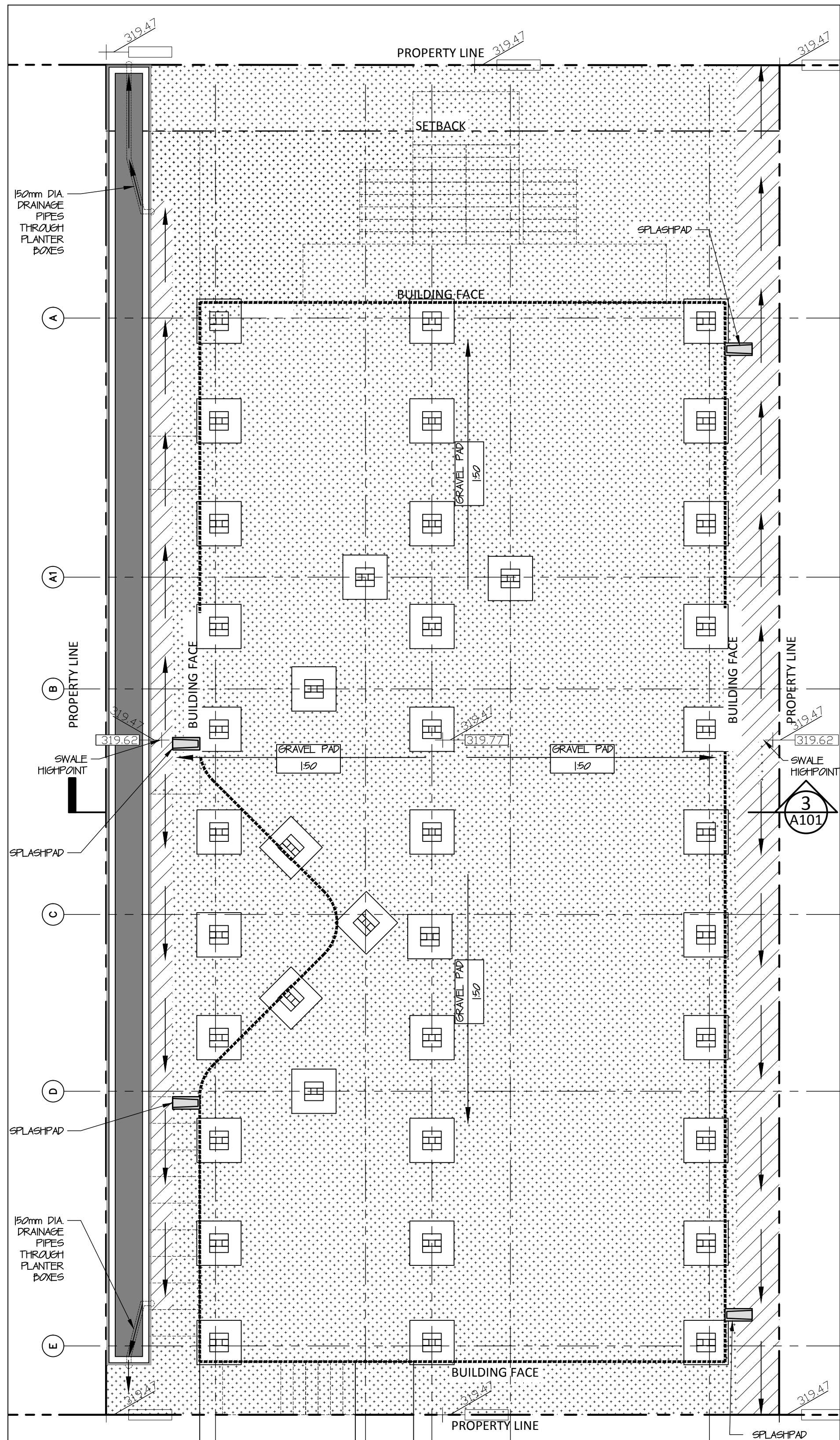
Drawing #  
**A101**



**1 Site Plan**  
A101 scale 1:75

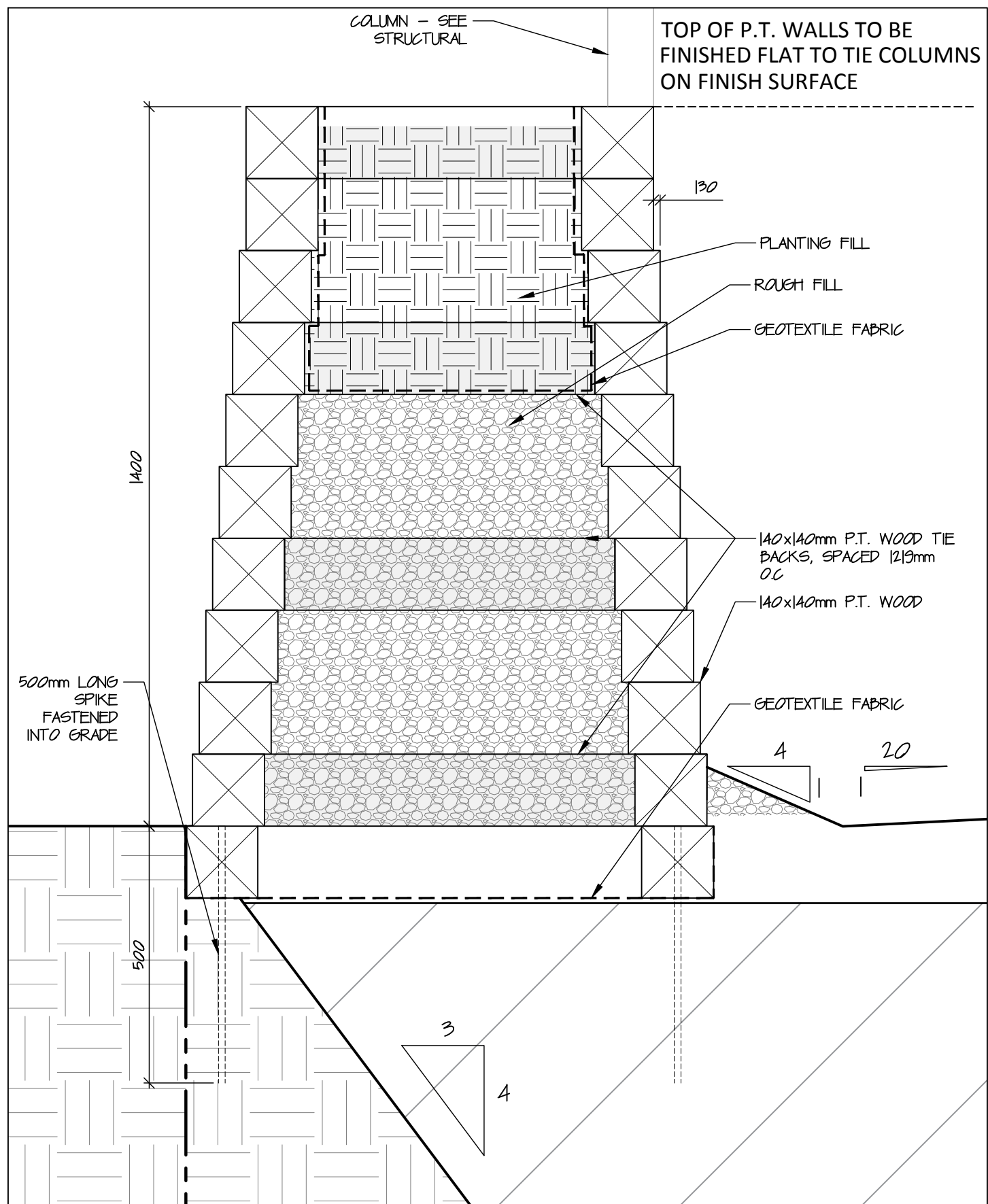


**3 Site Section**  
A101 scale 1:75

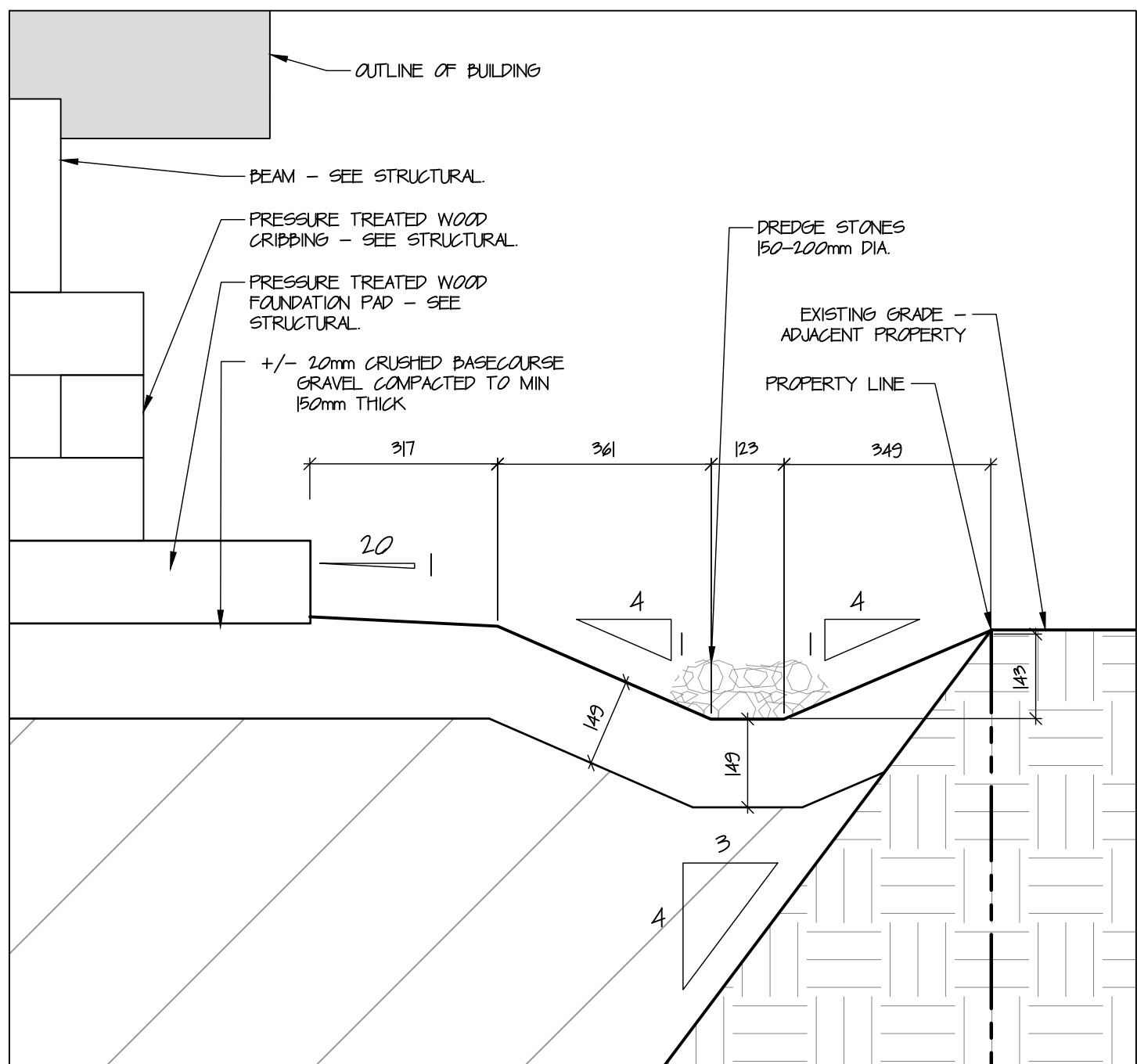


**2 Grading Plan**  
A101 scale 1:75

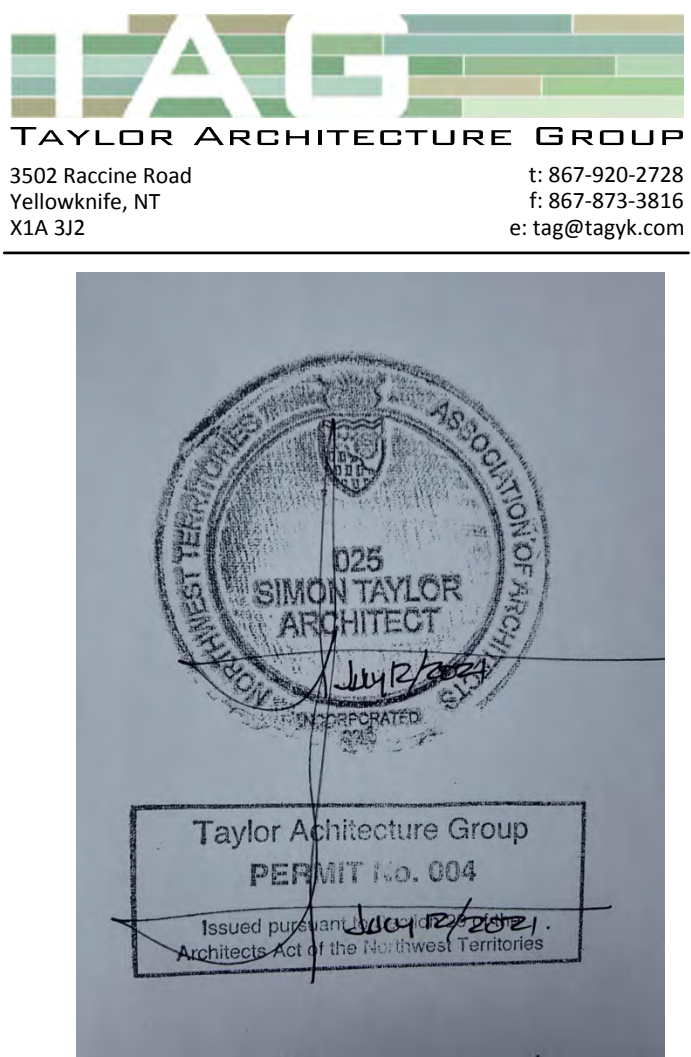
**NOTE:**  
PAD LOCATIONS AND QUANTITIES AS PER  
STRUCTURAL



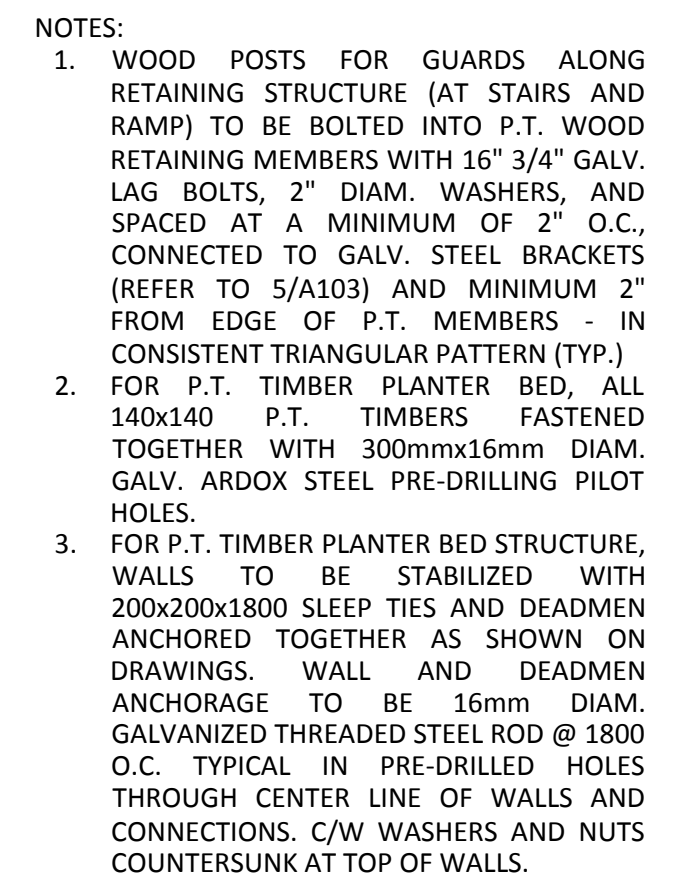
**4 Planter Box Section**  
A101 scale 1:10



**5 Swale Section**  
A101 scale 1:10



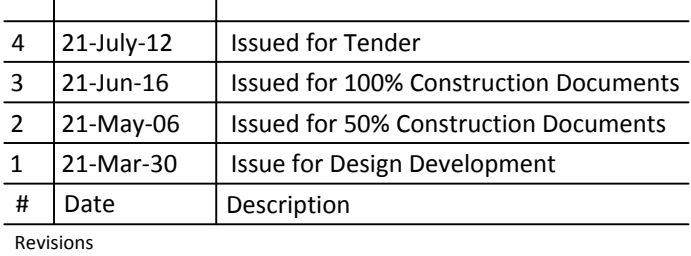
2 Main Entrance Stairs- Elevation  
A102 scale 1:50



8 Rear Exit Stair - Plan  
A102 scale 1:25



12 Planter Box - Elevation  
A102 scale 1:75



Project: **JEJE ZHO TH MEN'S SHELTER**

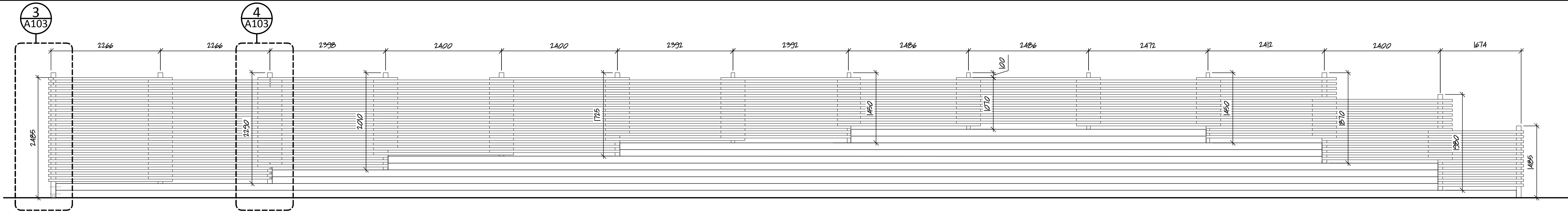
<p><b>project north</b> true north</p>	Drawing by:	H.A./S.L.
	Checked by:	S.T.
	Scale:	As Noted

## Stair & Ramp Details

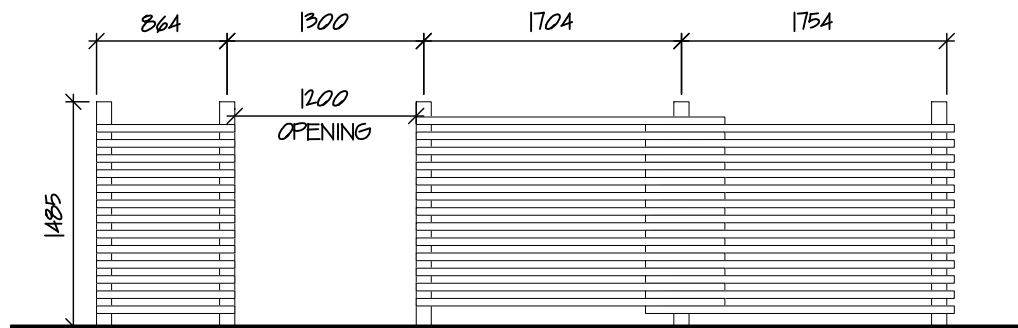
20-040

Drawing #

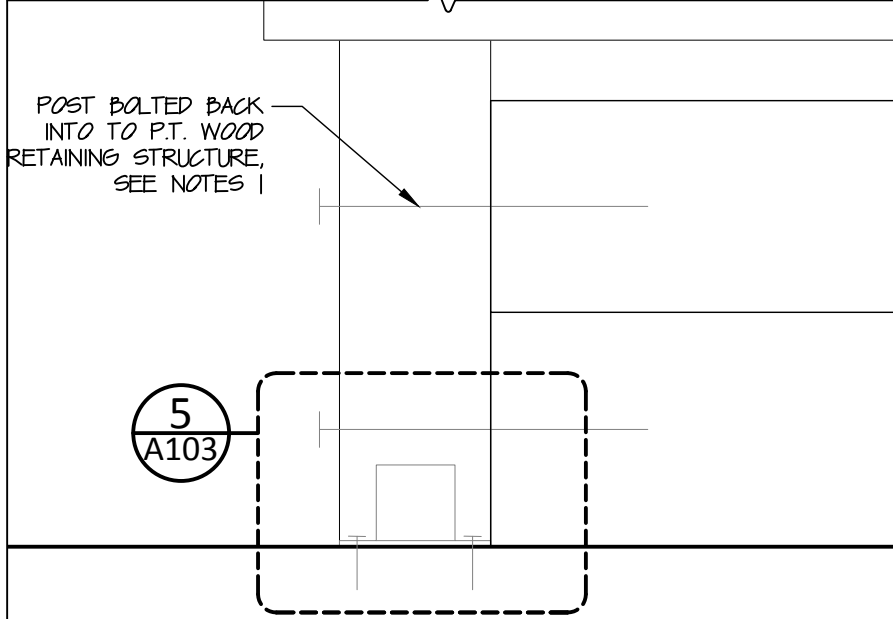
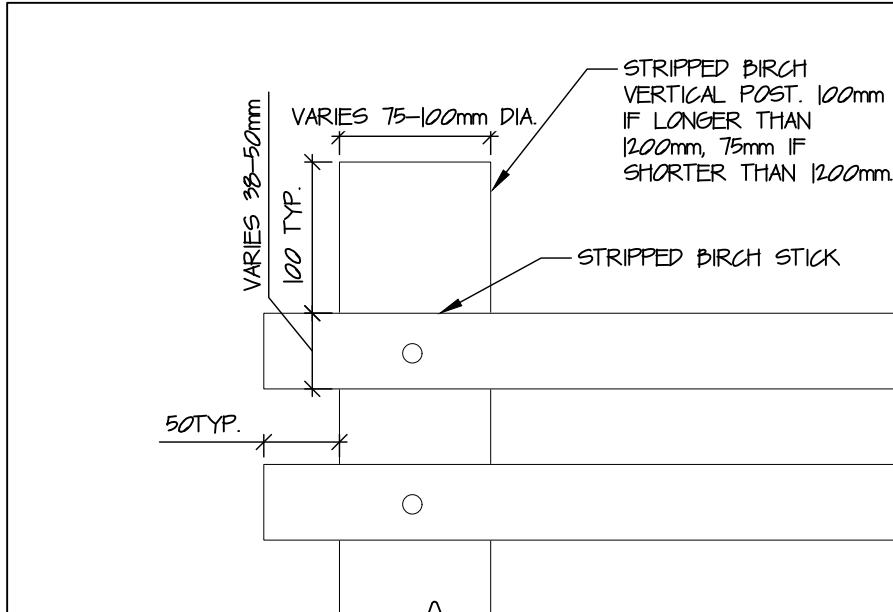
# A102



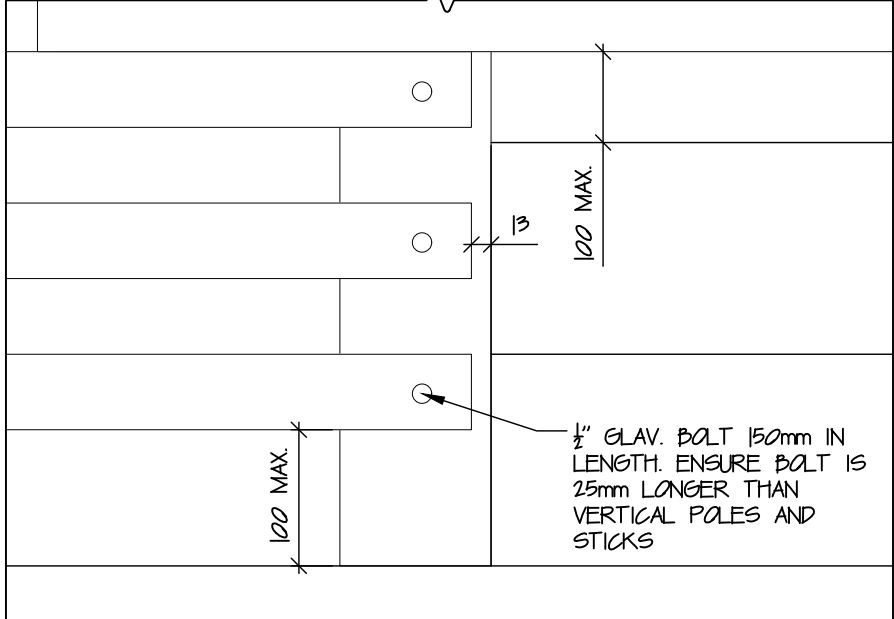
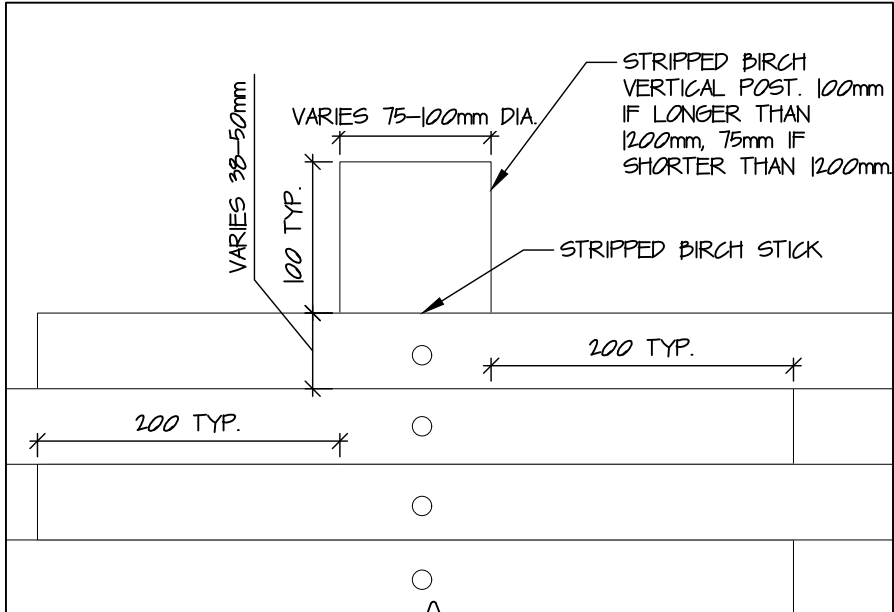
1 Fence West Elevation  
A103 scale 1:50



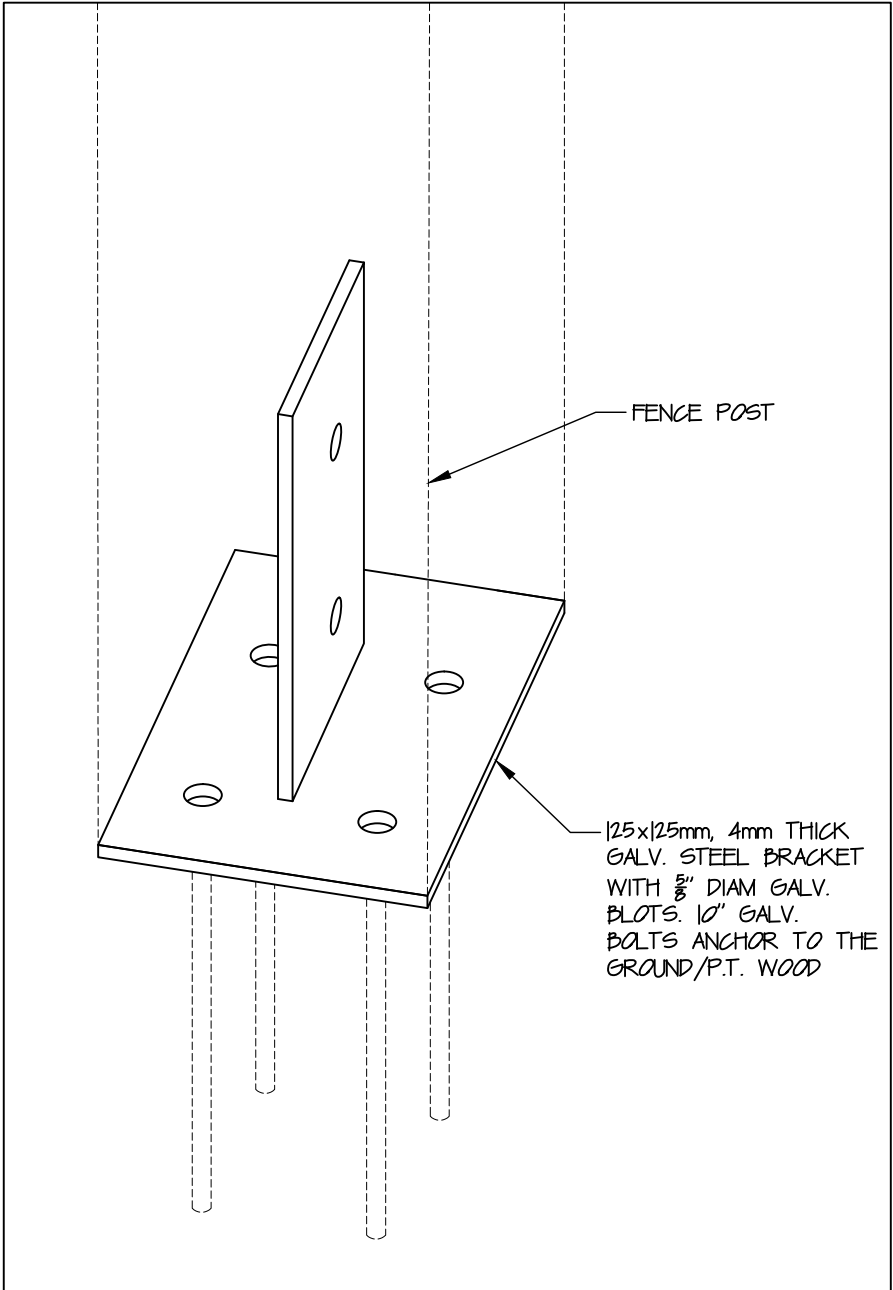
2 Fence South Elevation  
A103 scale 1:75



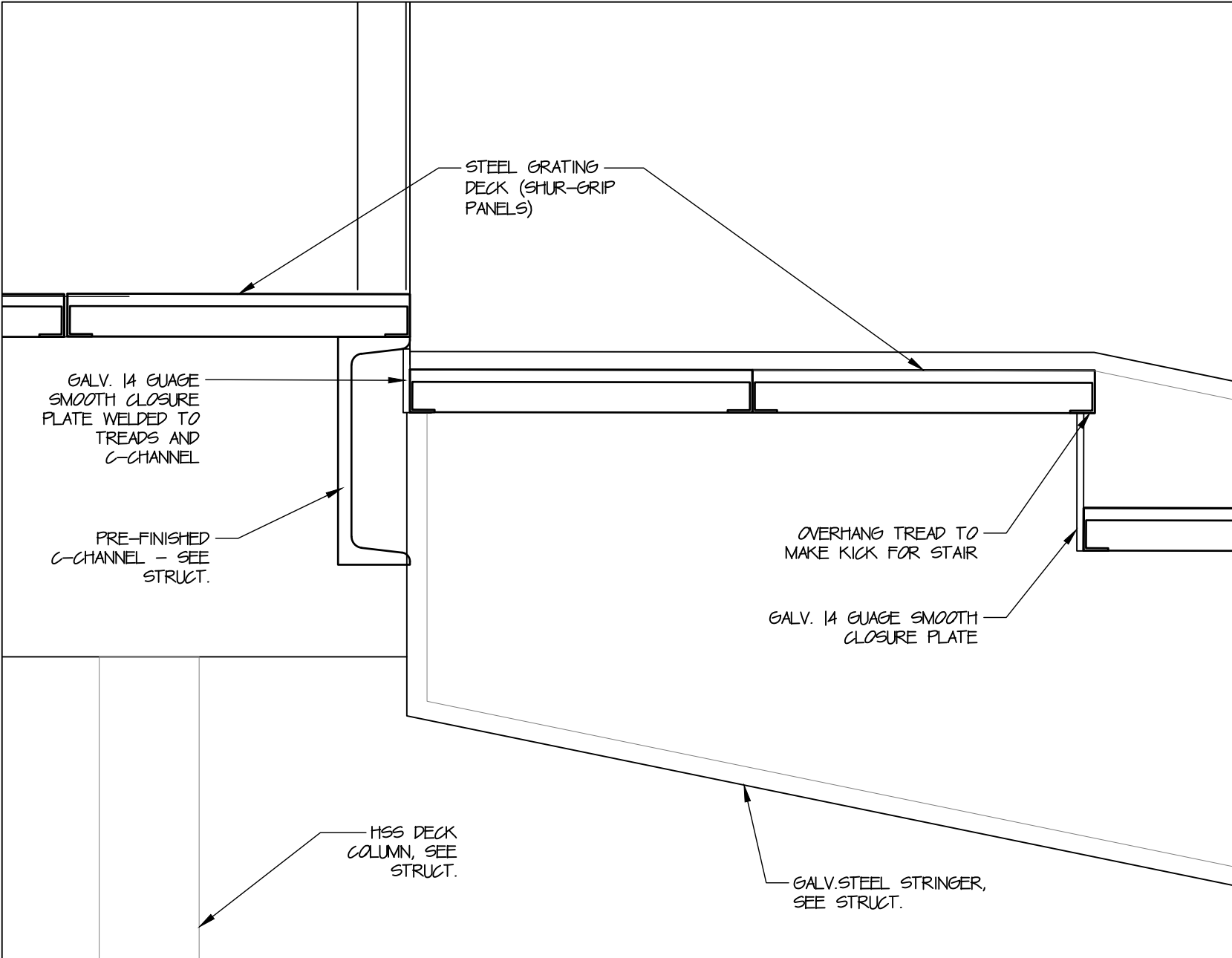
3 Fence Detail  
A103 scale 1:10



4 Fence Detail  
A103 scale 1:10



5 Fence Post Detail  
A103 scale 1:2



6 Stair Detail  
A103 scale 1:5



- NOTES:
- WOOD POSTS FOR GUARDS ALONG RETAINING STRUCTURE (AT STAIRS AND RAMP) TO BE BOLTED INTO P.T. WOOD RETAINING MEMBERS WITH 16" 3/4" GALV. LAG BOLTS, 2" DIAM. WASHERS, AND SPACED AT A MINIMUM OF 2" O.C., CONNECTED TO GALV. STEEL BRACKETS (REFER TO 5/A103) AND MINIMUM 2" FROM EDGE OF P.T. MEMBERS - IN CONSISTENT TRIANGULAR PATTERN (TYP.)
  - CONTRACTOR TO CUT AND TRIM LOCAL AVAILABLE BIRCH TRUNKS FOR FENCE MATERIAL. HORIZONTAL FENCE MEMBERS TO BE 38mm TO 50mm DIA.; VERTICAL FENCE POSTS TO BE 75mm TO 100mm DIA.

**NOT FOR CONSTRUCTION**  
ALL DIMENSIONS TO BE SITE VERIFIED BY CONTRACTOR

4	21-July-12	Issued for Tender
3	21-Jun-16	Issued for 100% Construction Documents
2	21-May-06	Issued for 50% Construction Documents
1	21-Mar-30	Issue for Design Development
#	Date	Description

Revisions  
Date: March 1, 2021

Project: JEJE ZHO TH MEN'S SHELTER

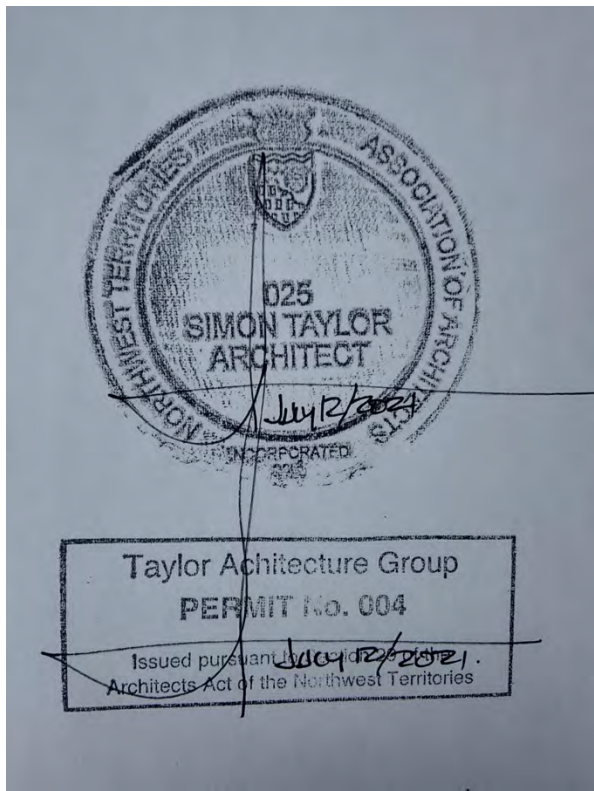
Dawson City, YT

project north true north	Drawing by: S.L.
	Checked by: S.T.
	Scale: As Noted

Sheet name: Fence Details

Project # 20-040

Drawing # A103



- LEGEND**
- 1 HR FIRE SEPARATION
  - 2 HR FIRE SEPARATION
  - BUILT-IN MILLWORK

**NOT FOR CONSTRUCTION**  
ALL DIMENSIONS TO BE SITE VERIFIED BY CONTRACTOR

#	Date	Description
4	21-Jul-12	Issued for Tender
3	21-Jun-16	Issued for 100% Construction Documents
2	21-May-06	Issued for 50% Construction Documents
1	21-Mar-30	Issued for Design Development

Revisions  
Date: March 8, 2021

Project:  
**JEJE ZHO TH MEN'S SHELTER**

Dawson City, YT

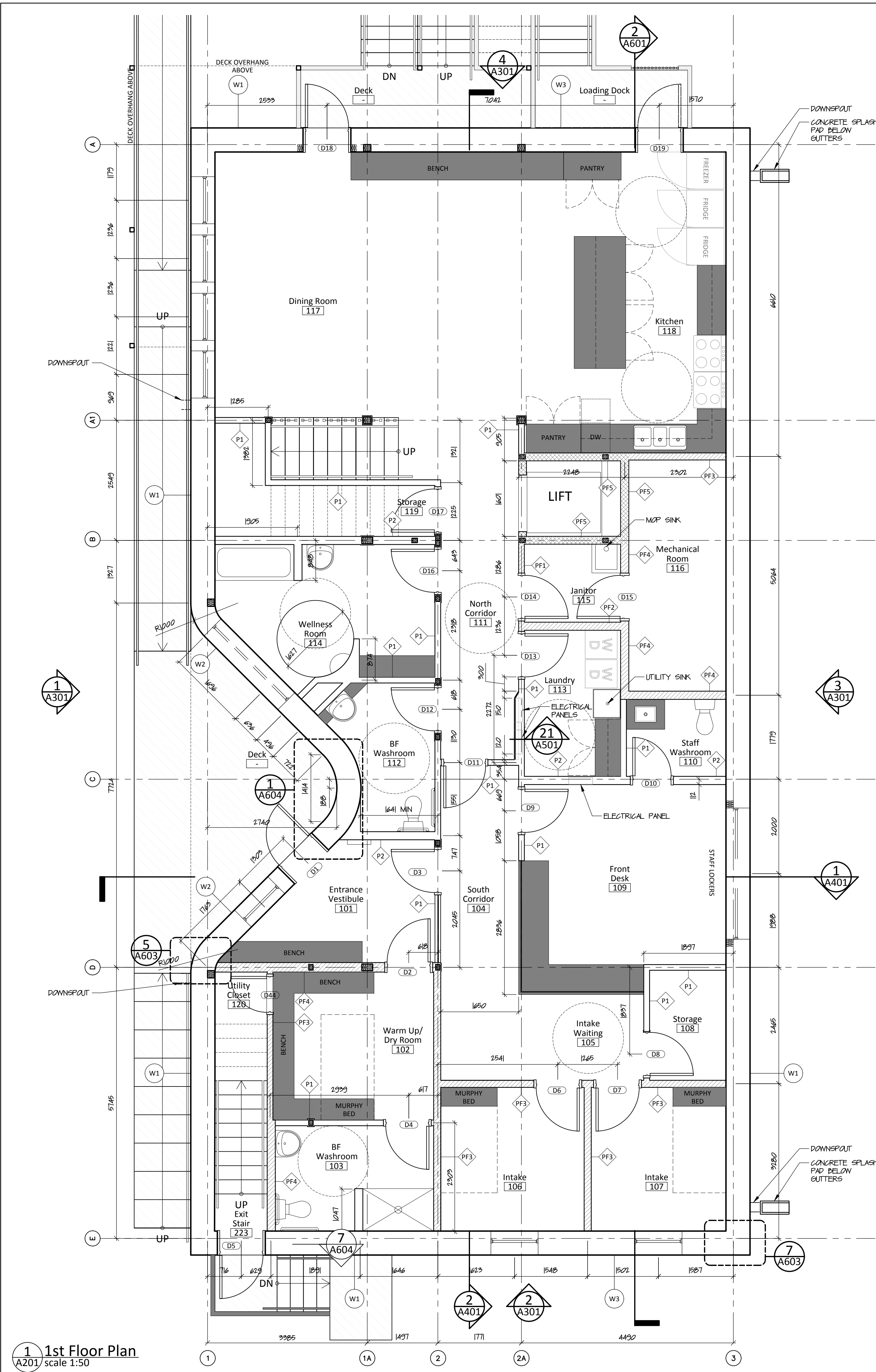
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true north  
Drawing by: C.O.  
Checked by: S.T.  
Scale: As Noted

Sheet name:

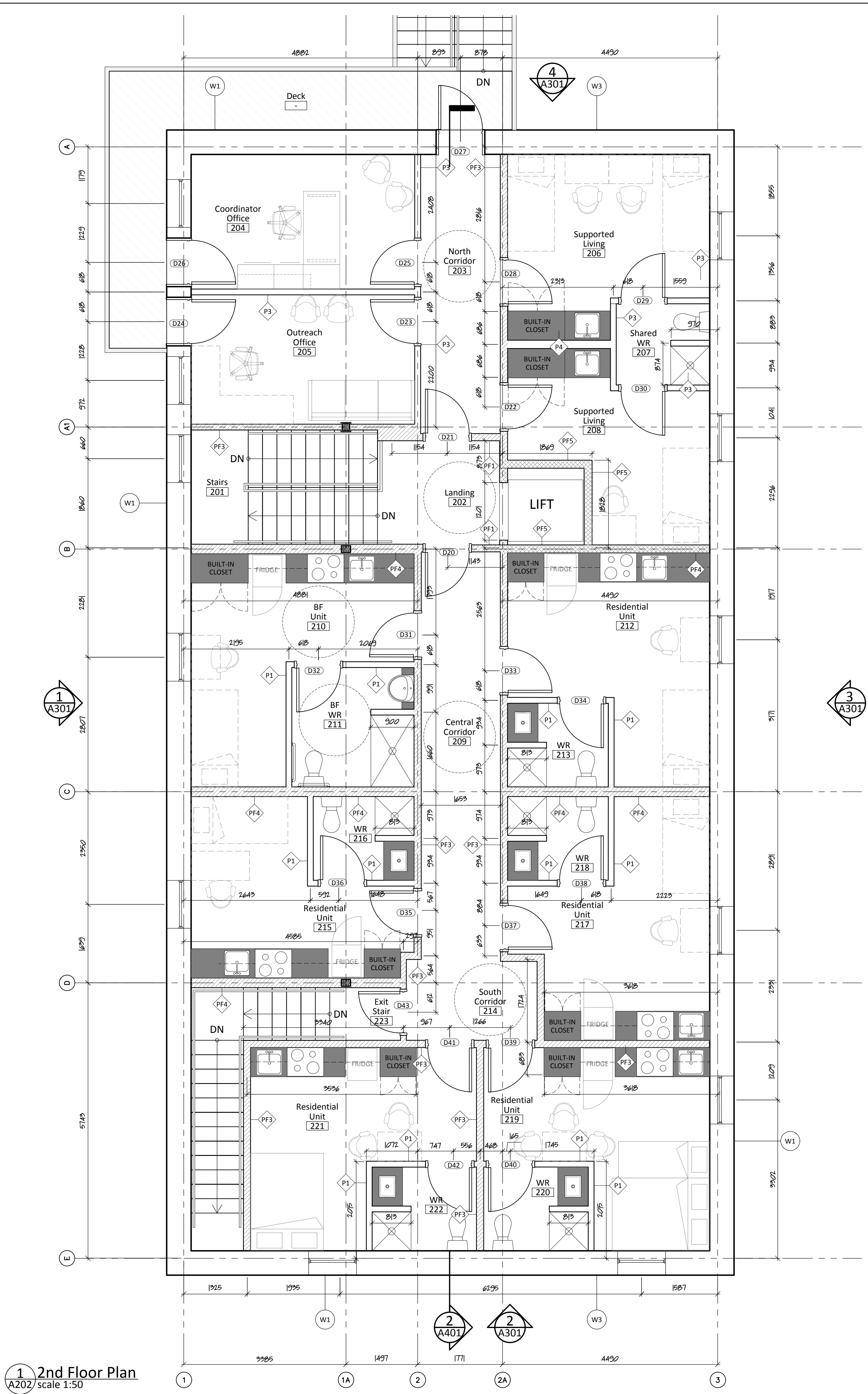
**Main Floor Plan &  
Second Floor Plan**

Project #  
**20-040**

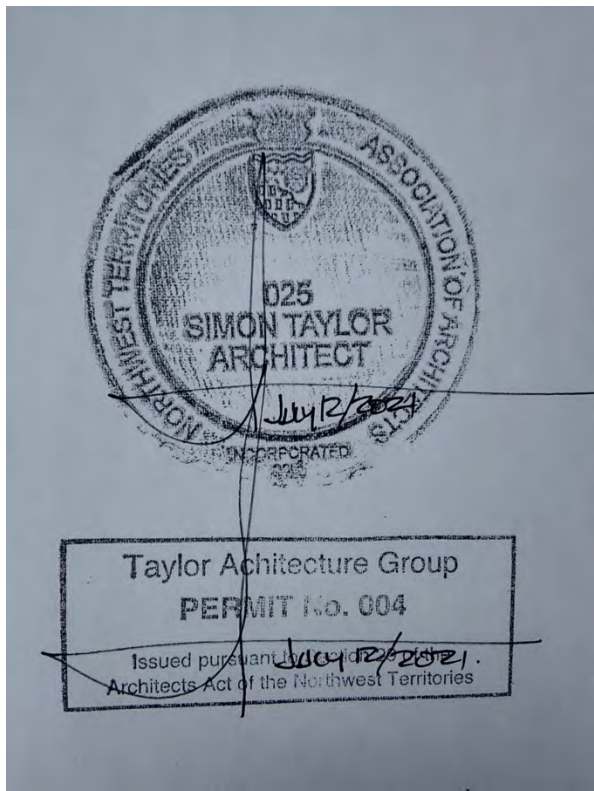
Drawing #  
**A201**



**1 1st Floor Plan**  
A201 scale 1:50



**1 2nd Floor Plan**  
A202 scale 1:50



- LEGEND**
- 1 HR FIRE SEPARATION
  - 2 HR FIRE SEPARATION
  - BUILT-IN MILLWORK

**NOT FOR CONSTRUCTION**  
ALL DIMENSIONS TO BE SITE VERIFIED BY CONTRACTOR

#	Date	Description
4	21-Jul-12	Issued for Tender
3	21-Jun-16	Issued for 100% Construction Documents
2	21-May-06	Issued for 50% Construction Documents
1	21-Mar-30	Issued for Design Development

Revisions  
Date: March 8, 2021

Project:  
**JEJE ZHO TH MEN'S SHELTER**

Dawson City, YT

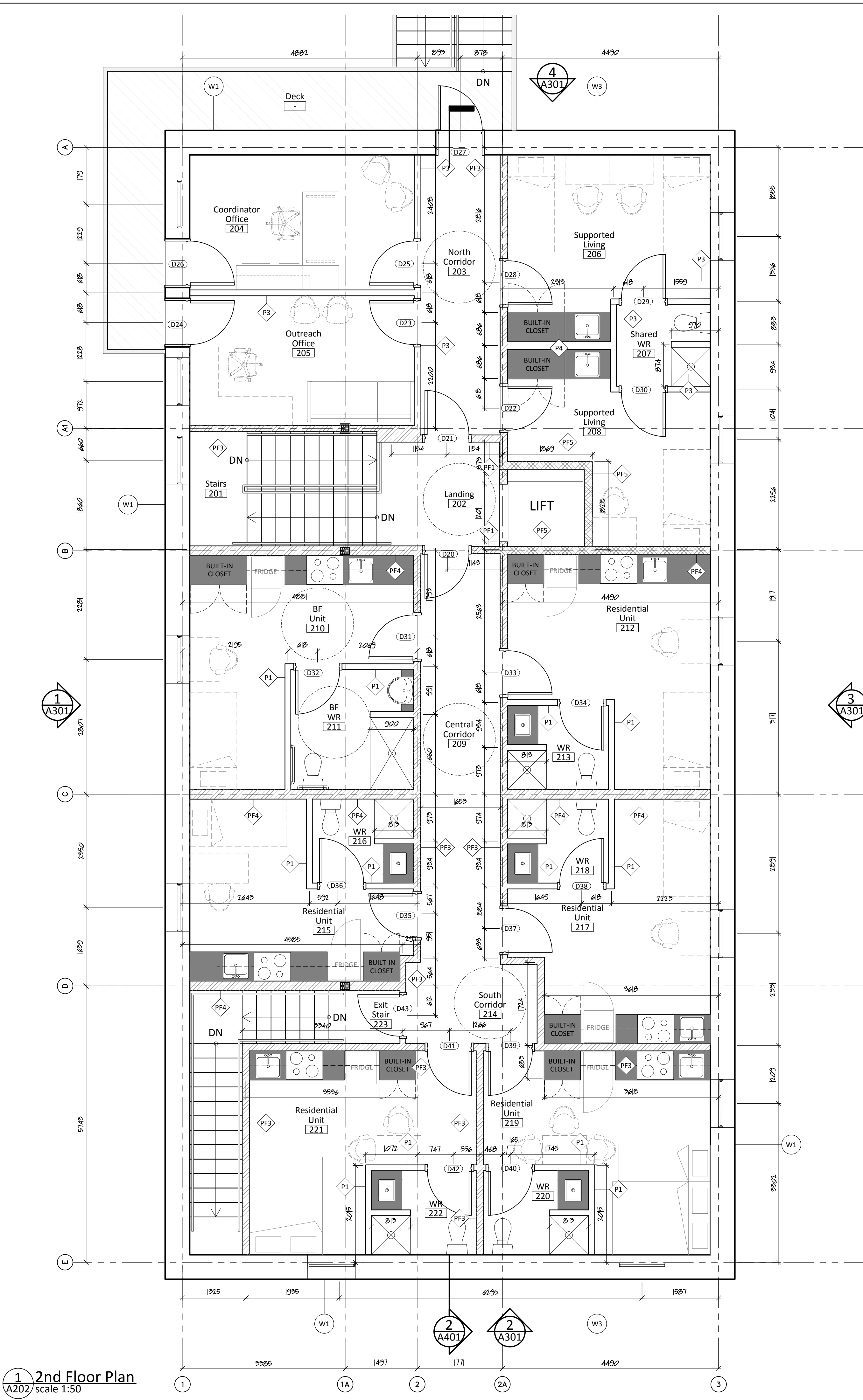
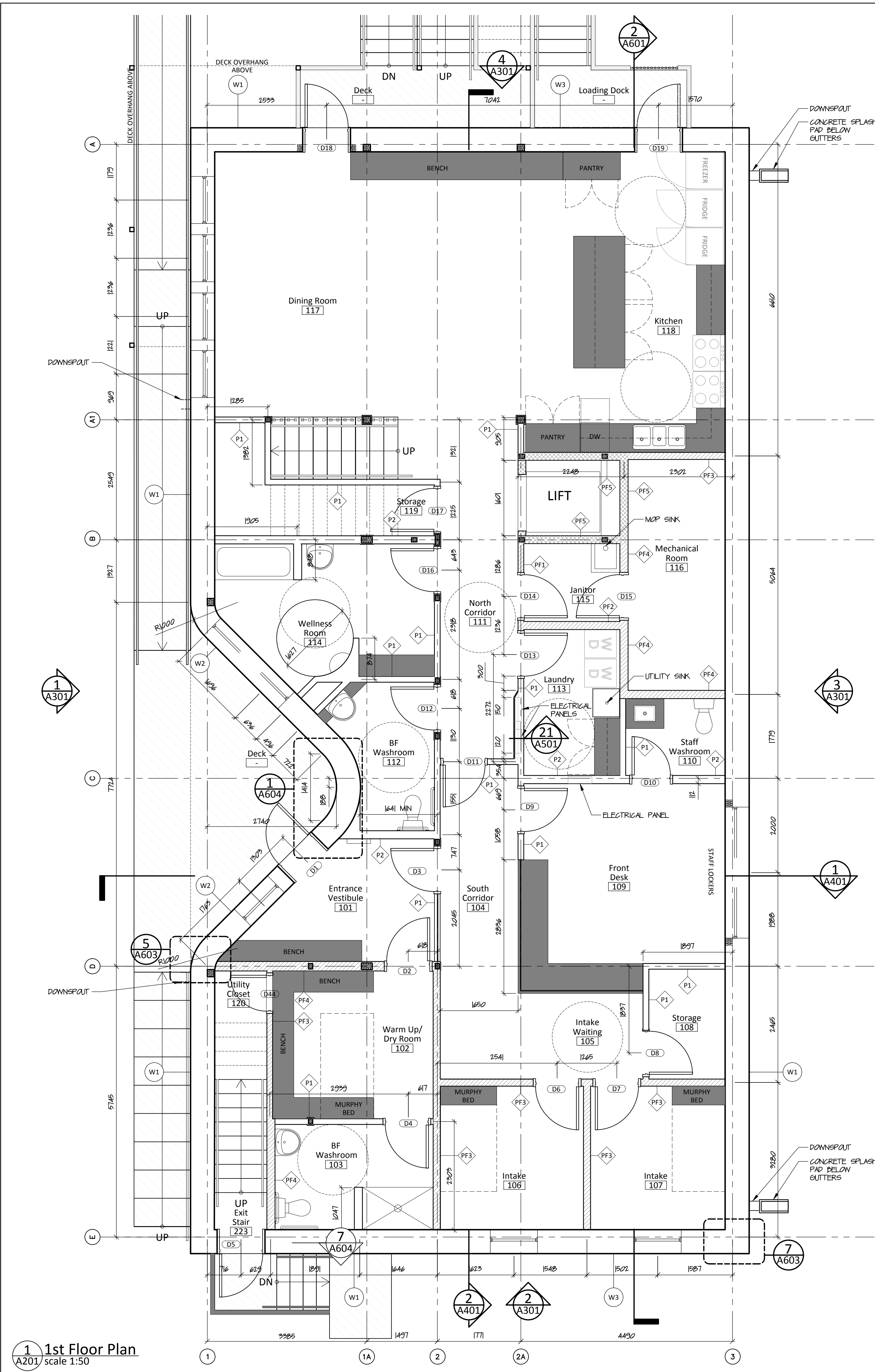
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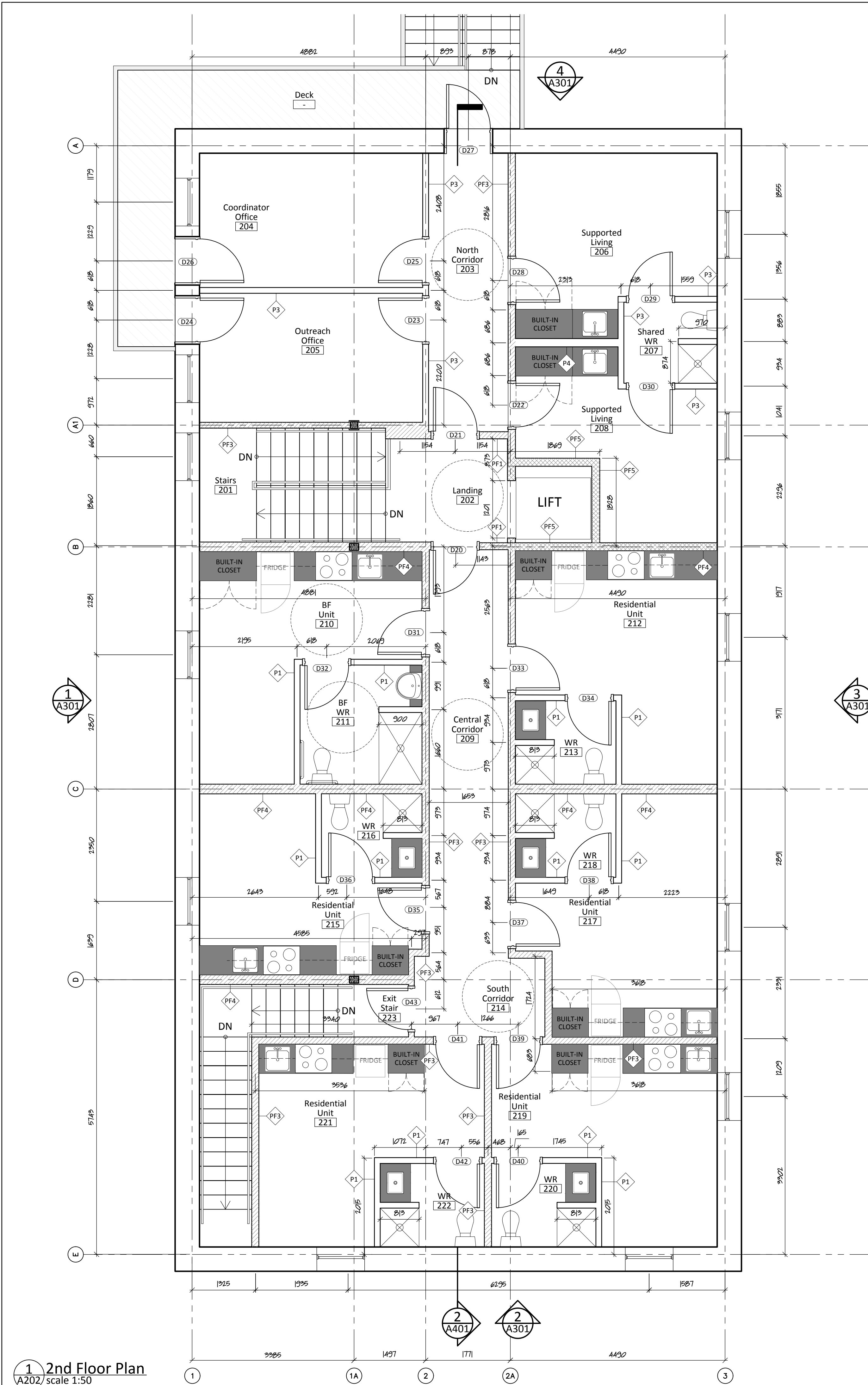
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**Main Floor Plan &  
Second Floor Plan**

Project #  
**20-040**

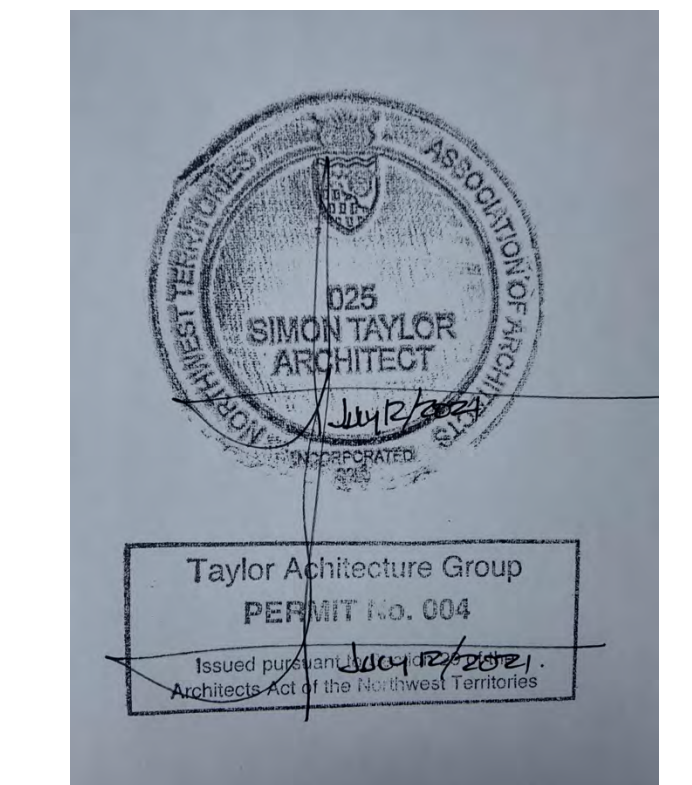
Drawing #  
**A201**





1 2nd Floor Plan  
A202 scale 1:50

2 2nd Floor Furniture Plan  
A202 scale 1:75



- LEGEND**
- 1 HR FIRE SEPARATION
  - 2 HR FIRE SEPARATION
  - BUILT-IN MILLWORK

**NOT FOR CONSTRUCTION**  
ALL DIMENSIONS TO BE SITE VERIFIED BY CONTRACTOR

#	Date	Description
4	21-Jun-12	Issued for Tender
3	21-Jun-16	Issued for 100% Construction Documents
2	21-May-06	Issued for 50% Construction Documents
1	21-Mar-30	Issued for Design Development

Revisions  
Date: March 8, 2021

Project:  
**JEJE ZHO TH MEN'S SHELTER**

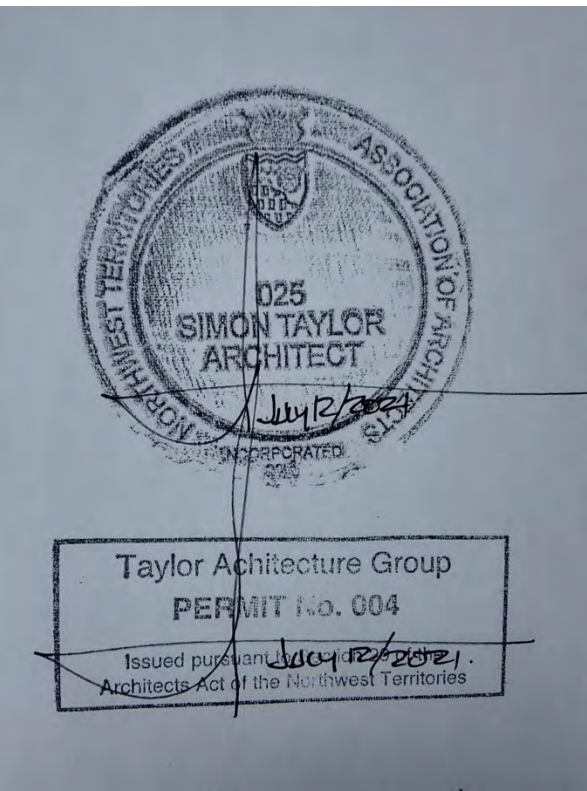
Dawson City, YT

project north  
true north  
Drawing by: T.F.  
Checked by: S.T.  
Scale: As Noted

Sheet name:  
**Second Floor Plan & Furniture Plan**

Project #  
**20-040**

Drawing #  
**A202**



- LEGEND**
- GWB DROP CEILING
  - SLOPED GWB CEILING
  - WOOD SOFFIT

**NOT FOR CONSTRUCTION**  
ALL DIMENSIONS TO BE SITE VERIFIED BY CONTRACTOR

#	Date	Description
2	21-Jul-12	Issued for Tender
1	21-Jun-16	Issued for 100% Construction Documents

Revisions  
Date: April 22, 2021

Project:  
**JEJE ZHO TH MEN'S SHELTER**

Dawson City, YT

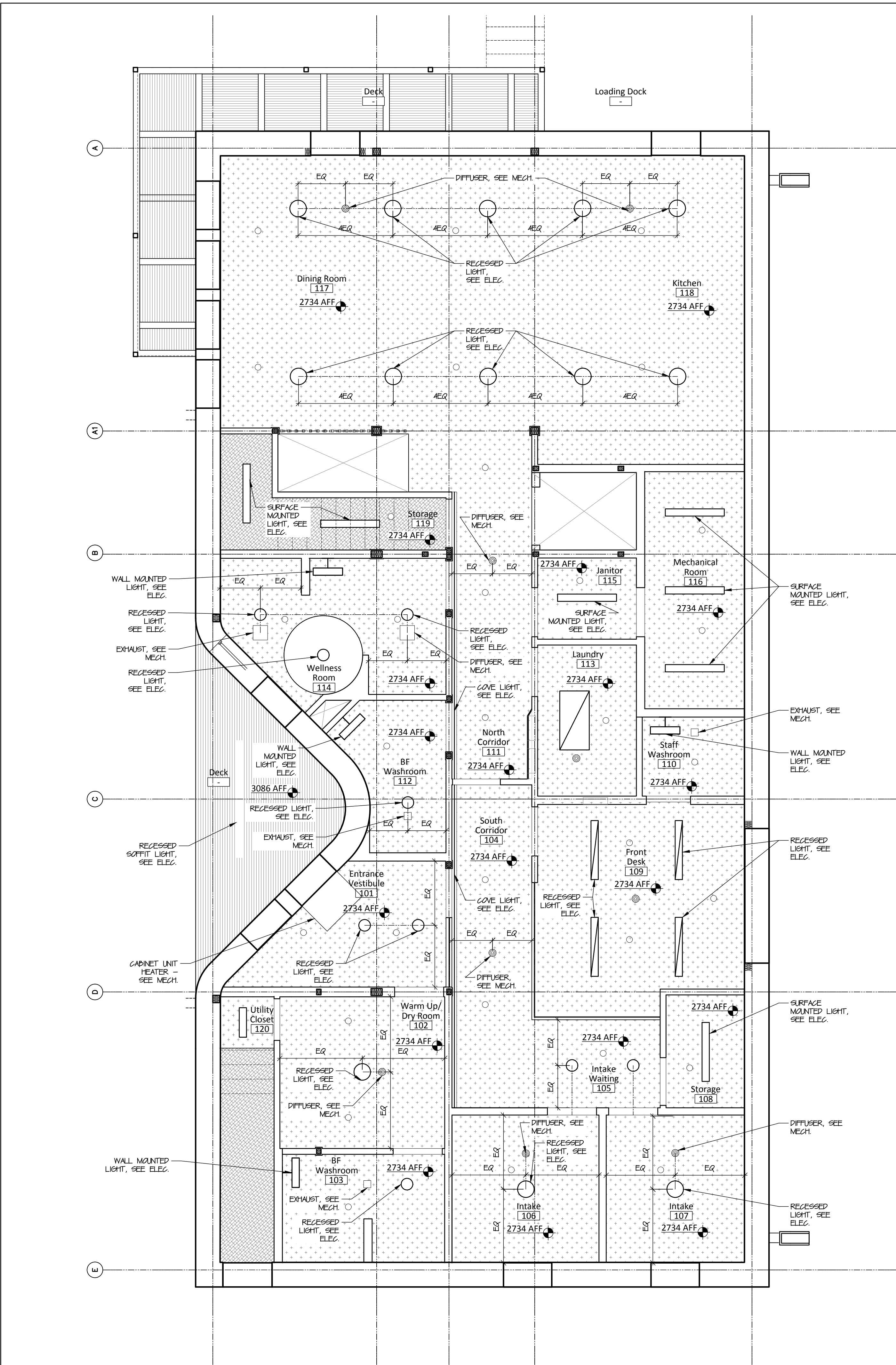
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true north  
Drawing by: T.F.  
Checked by: S.T.  
Scale: As Noted

Sheet name:

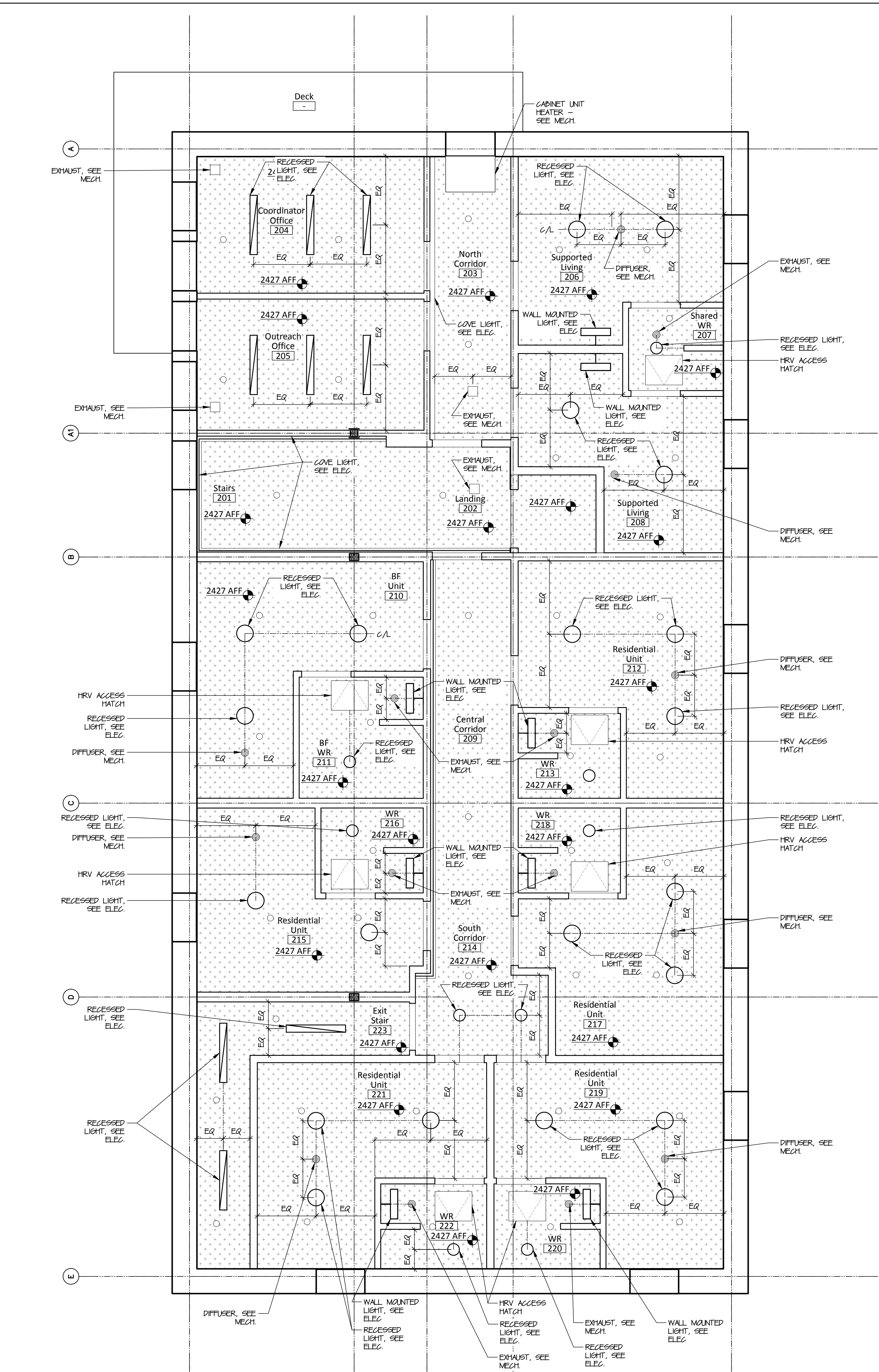
Reflected Ceiling Plans

Project #  
**20-040**

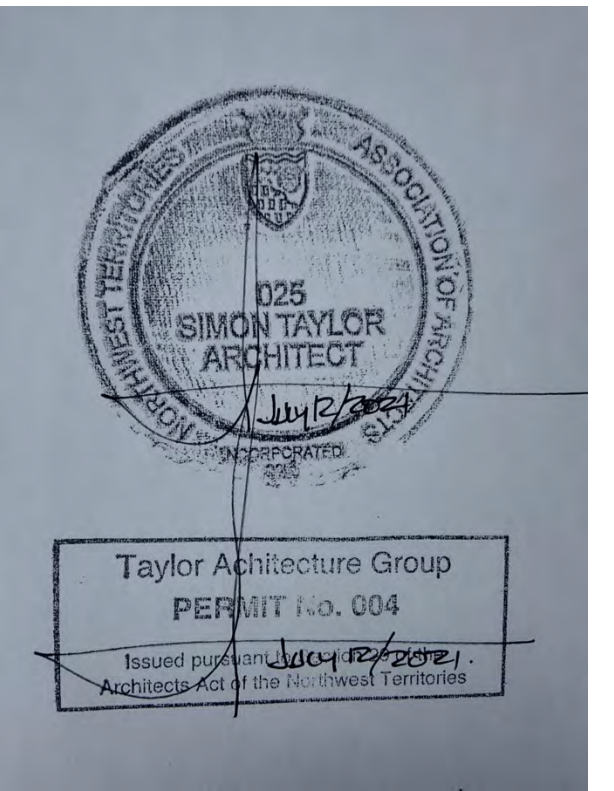
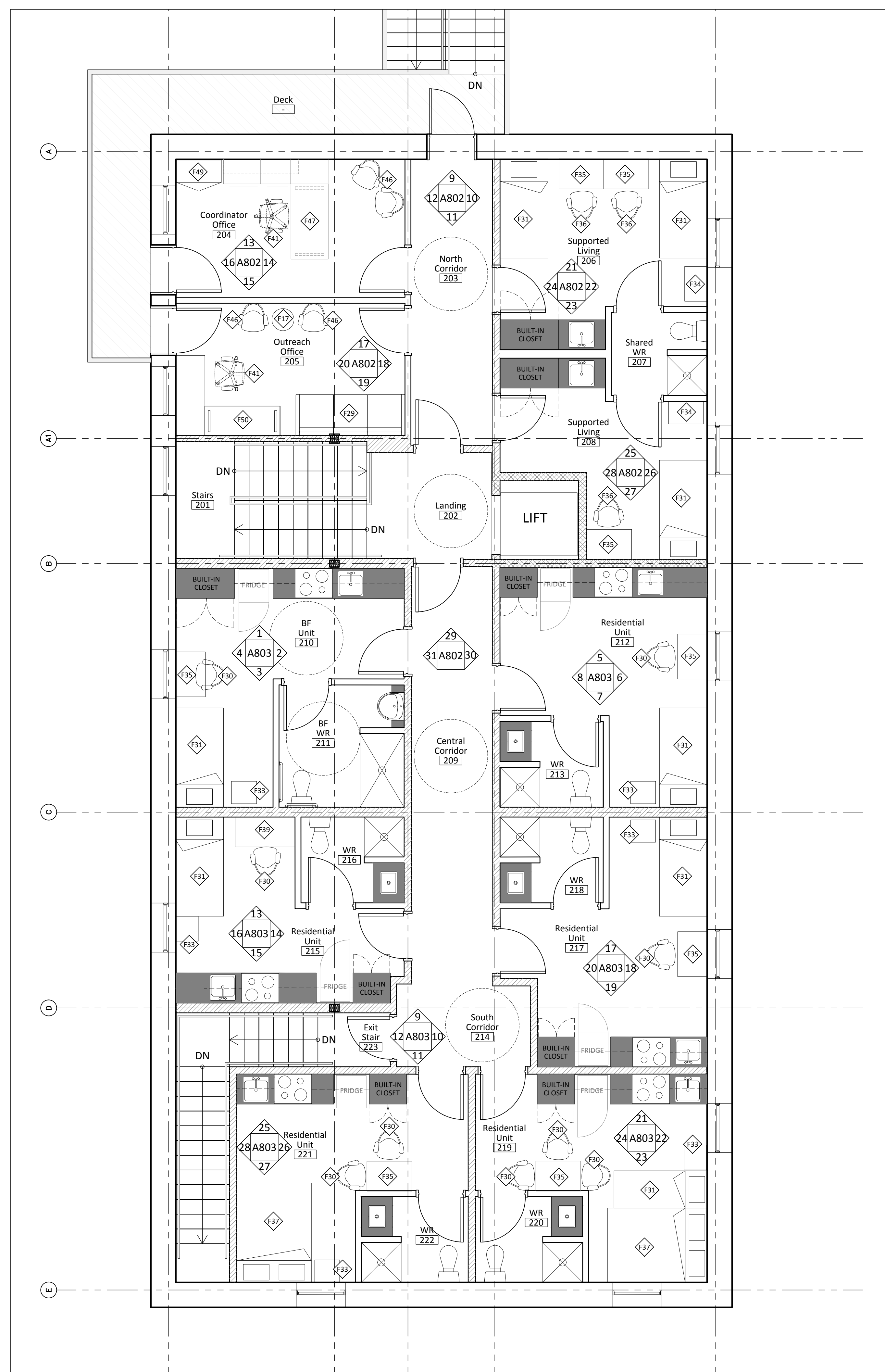
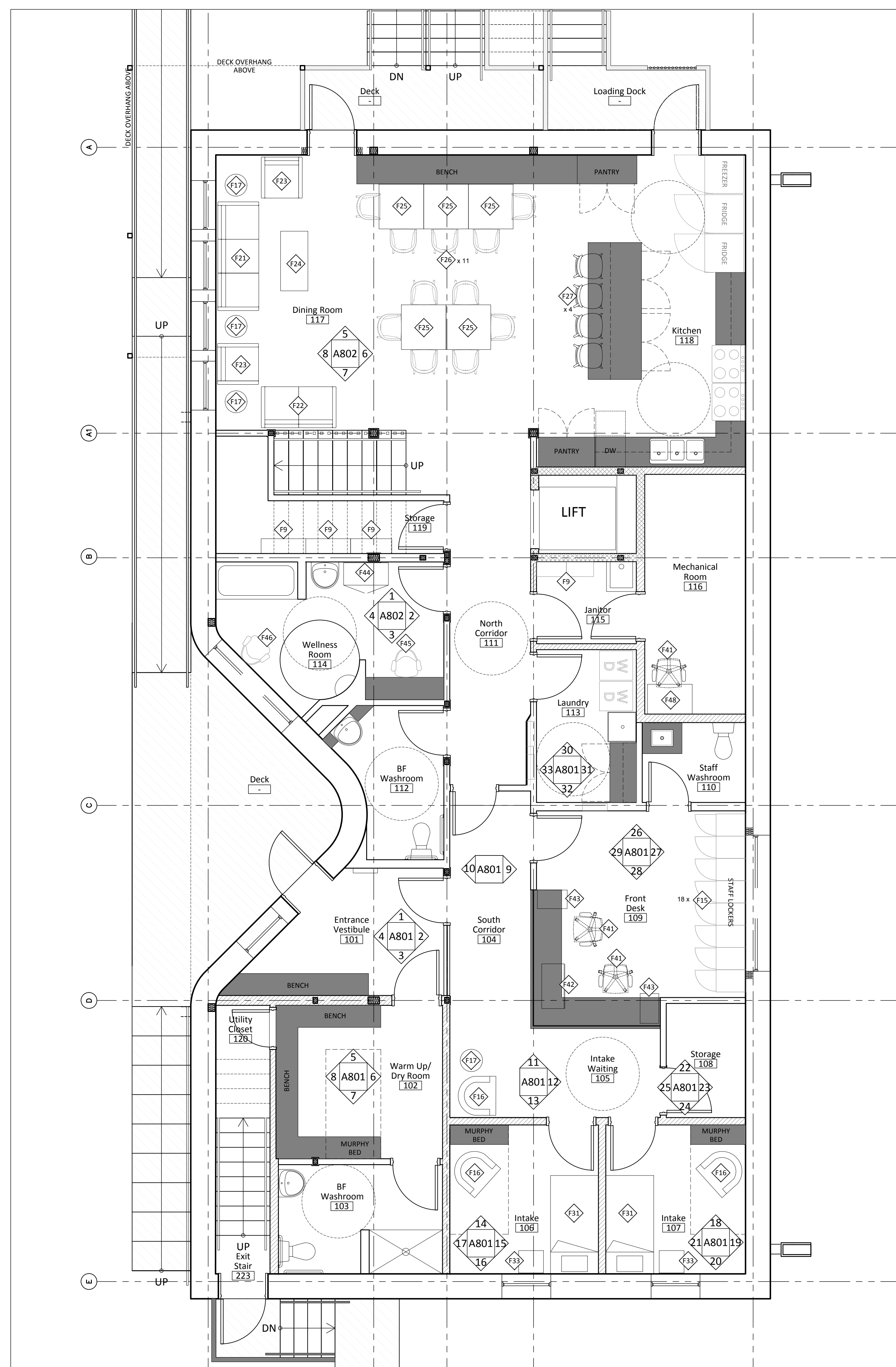
Drawing #  
**A210**



**1 1st Floor Reflected Ceiling Plan**  
A210 scale 1:50



**2 2nd Floor Reflected Ceiling Plan**  
A210 scale 1:50



**LEGEND**

 Millwork

**NOT FOR CONSTRUCTION**  
ALL DIMENSIONS TO BE SITE VERIFIED BY CONTRACTOR

2	21-July-12	Issued for Tender
1	21-Jun-16	Issued for 100% Construction Documents
#	Date	Description

Date:  
June 7, 2021

Project:

TH MEN'S SHELTER

Dawson City, YT

<p><b>project north</b> true north</p>	Drawing by: L.L.
	Checked by: K.F.
	Scale: As Noted

## FF&E Plan & Schedule

Project #

20-040

Drawing #

**A220**



**LEGEND**

- STANDING SEAM METAL ROOF
- METAL SHINGLE CLADDING
- VERTICAL WOOD CLADDING
- HORIZONTAL WOOD CLADDING

**NOT FOR CONSTRUCTION**

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2	21-May-06	Issued for 50% Construction Documents
1	21-Mar-30	Issued for Design Development
#	Date	Description

Revisions

Date: March 08, 2021

Project: JEJE ZHO TH MEN'S SHELTER

Dawson City, YT

project north  
true north  
Drawing by: T.F.  
Checked by:  
Scale: As Noted

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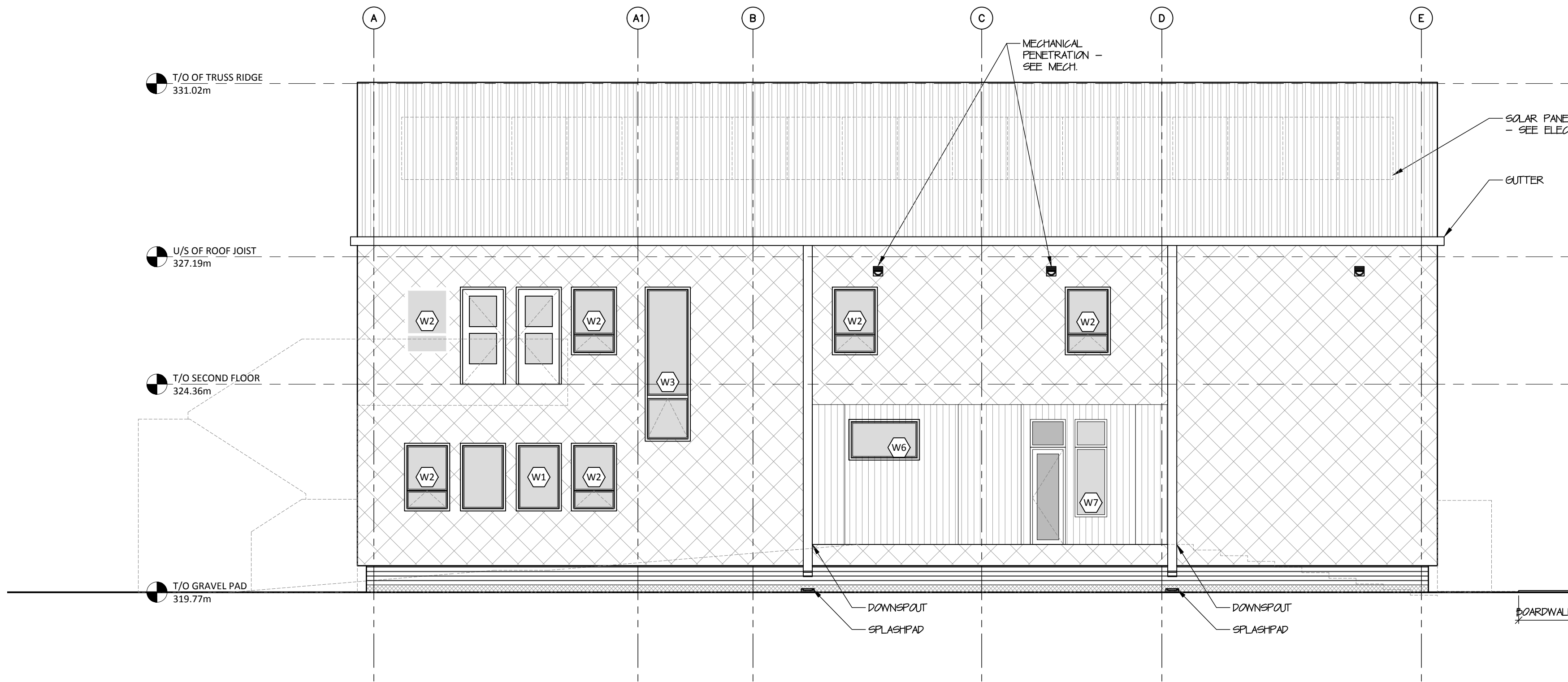
Building Elevations

Project #

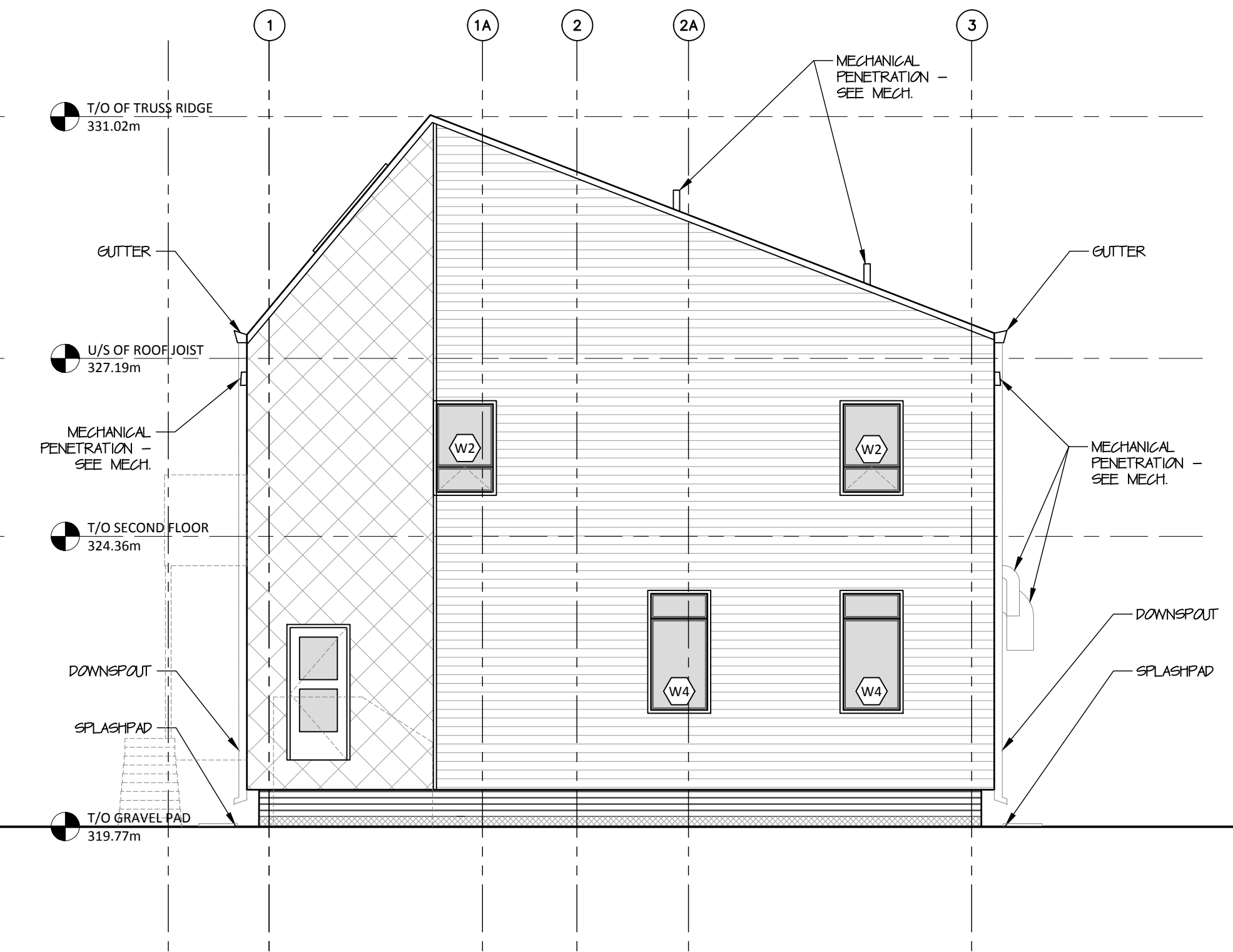
20-040

Drawing #

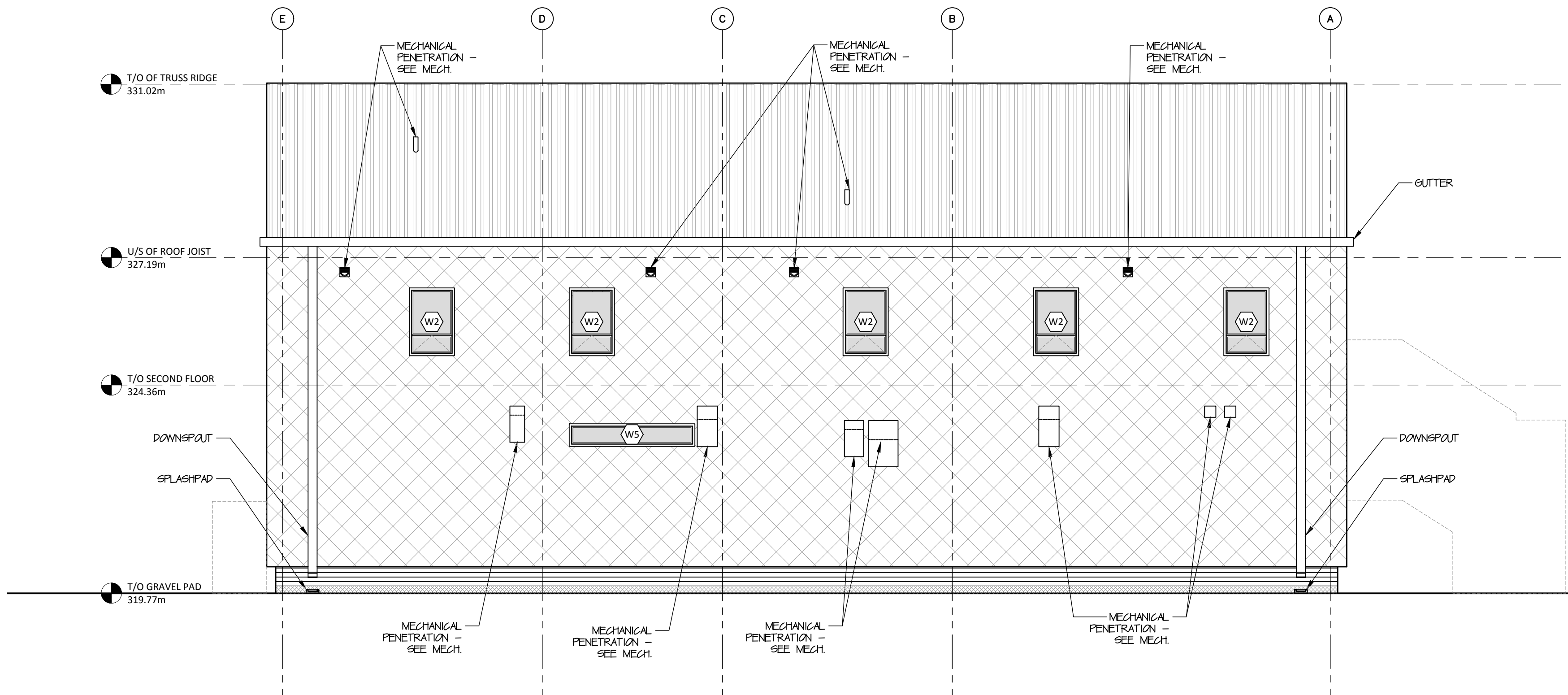
**A301**



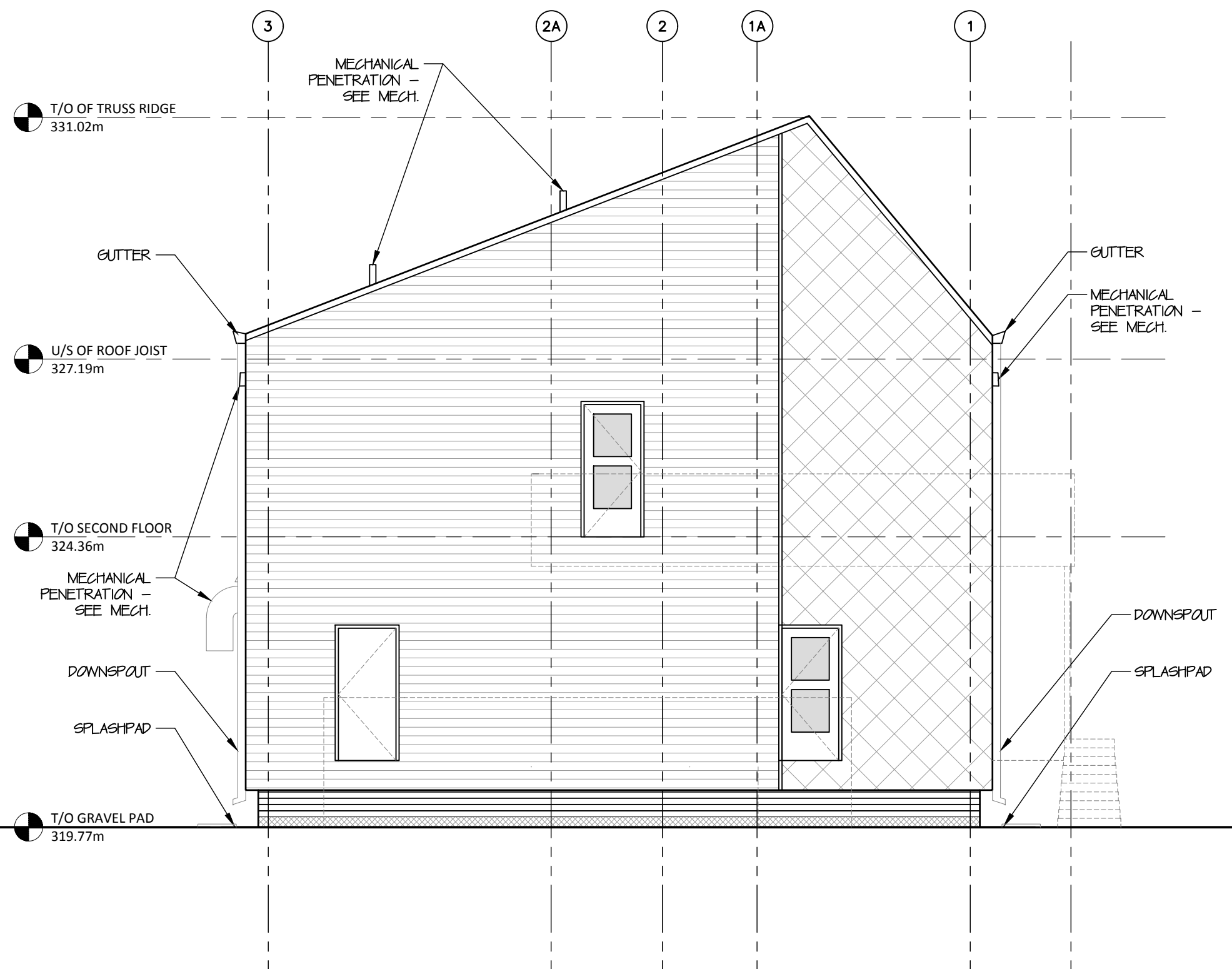
**1 South Elevation**  
A301 scale 1:75



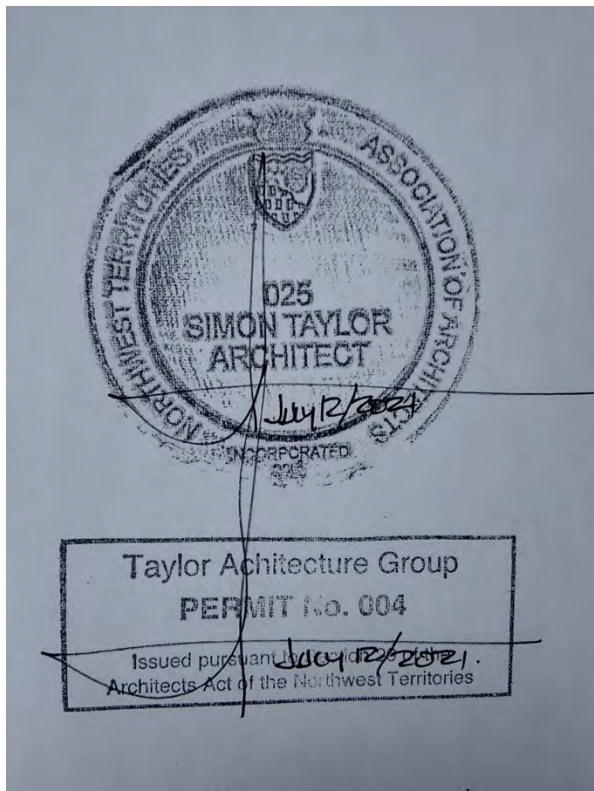
**2 East Elevation**  
A301 scale 1:75



**3 North Elevation**  
A301 scale 1:75



**4 West Elevation**  
A301 scale 1:75



LEGEND

- STANDING SEAM METAL ROOF
- METAL SHINGLE CLADDING
- VERTICAL WOOD CLADDING
- HORIZONTAL WOOD CLADDING
- PERFORATED METAL GUARD

NOTE  
SEE EXTERIOR DECK DETAILS ON A102.

NOT FOR CONSTRUCTION  
ALL DIMENSIONS TO BE SITE VERIFIED BY CONTRACTOR


2	21-July-12	Issued for Tender
1	21-Jun-16	Issued for 100% Construction Documents
#	Date	Description

Revisions
Date:
June 1, 2021

Project:  
**JEJE ZHO TH MEN'S SHELTER**

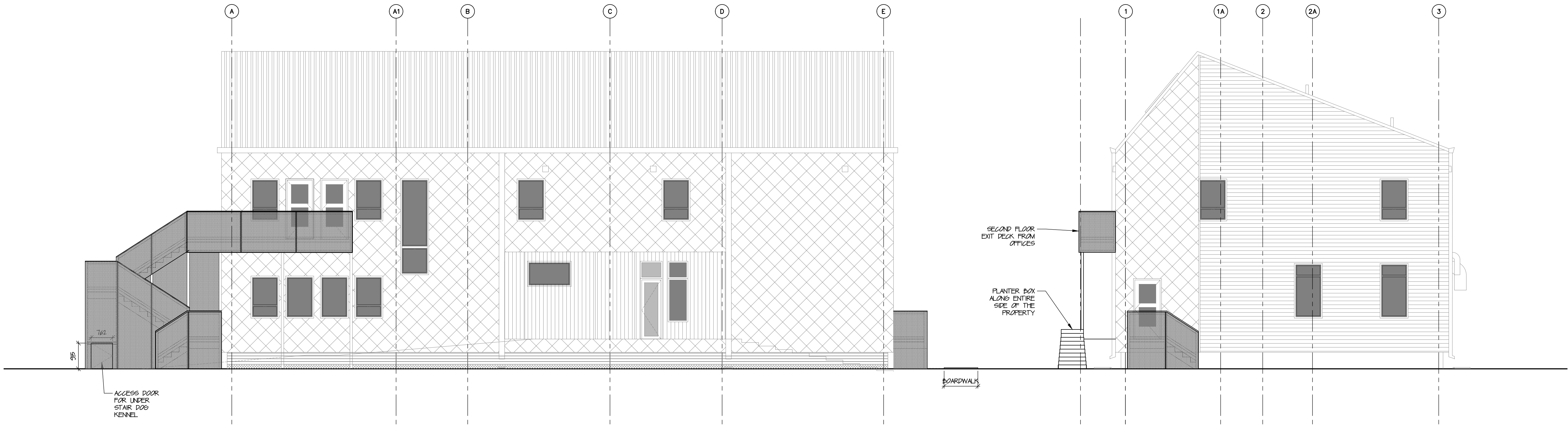
Dawson City, YT

project north true north	Drawing by: T.F.
	Checked by:
	Scale: As Noted

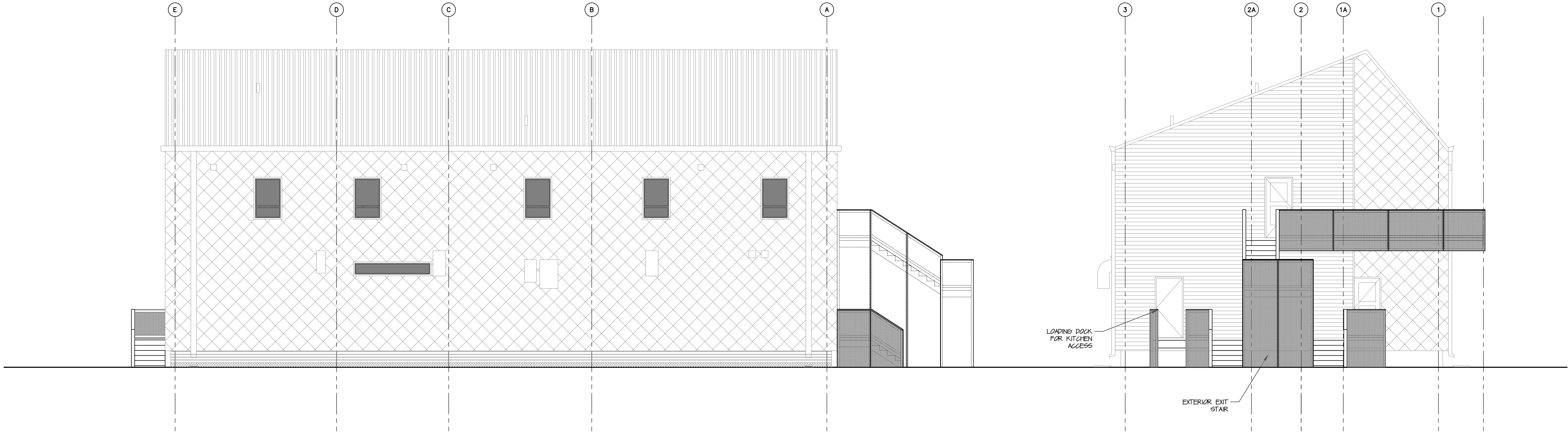
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**Deck Elevations**

Project #  
**20-040**

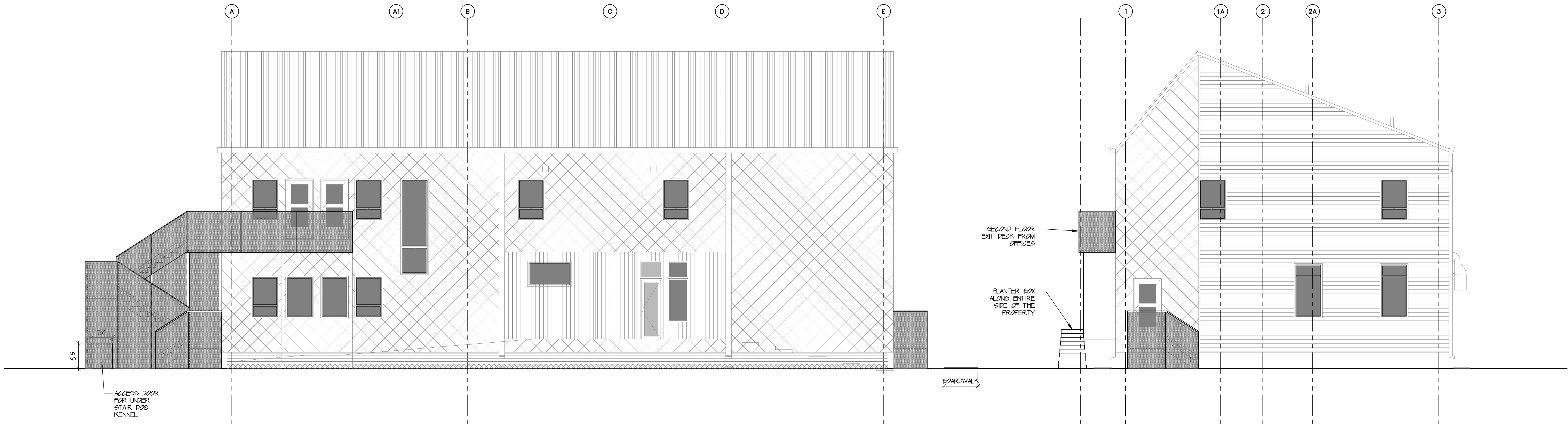
Drawing #  
**A302**



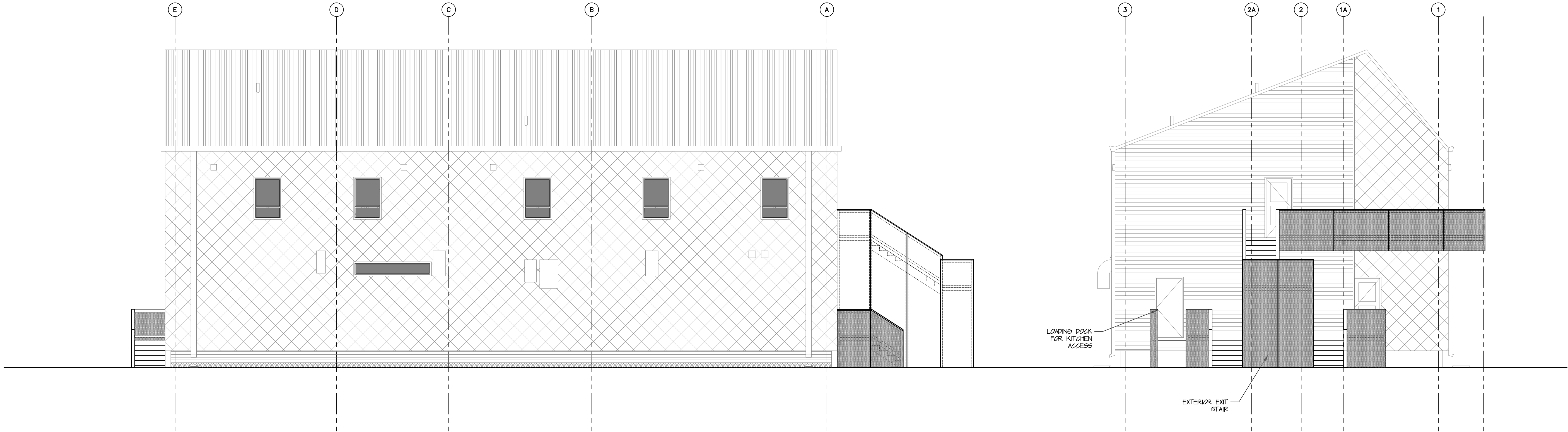
1 South Elevation  
A302 scale 1:75



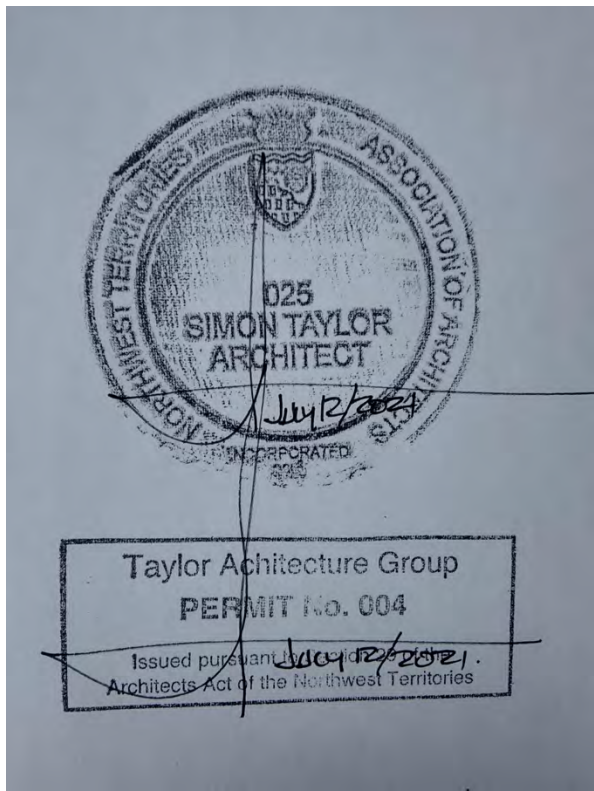
3 North Elevation  
A302 scale 1:75



2 East Elevation  
A302 scale 1:75



4 West Elevation  
A302 scale 1:75



GRADE ELEVATIONS:  
SEE A101

**NOT FOR CONSTRUCTION**  
ALL DIMENSIONS TO BE SITE VERIFIED BY CONTRACTOR


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1	21-Mar-30	Issued for Design Development
#	Date	Description

Revisions

Date: March 1, 2021

Project:

**JEJE ZHO TH MEN'S  
SHELTER**

Dawson City, YT

project north true north	Drawing by: H.A.
	Checked by: S.T.
	Scale: As Noted

Sheet name:

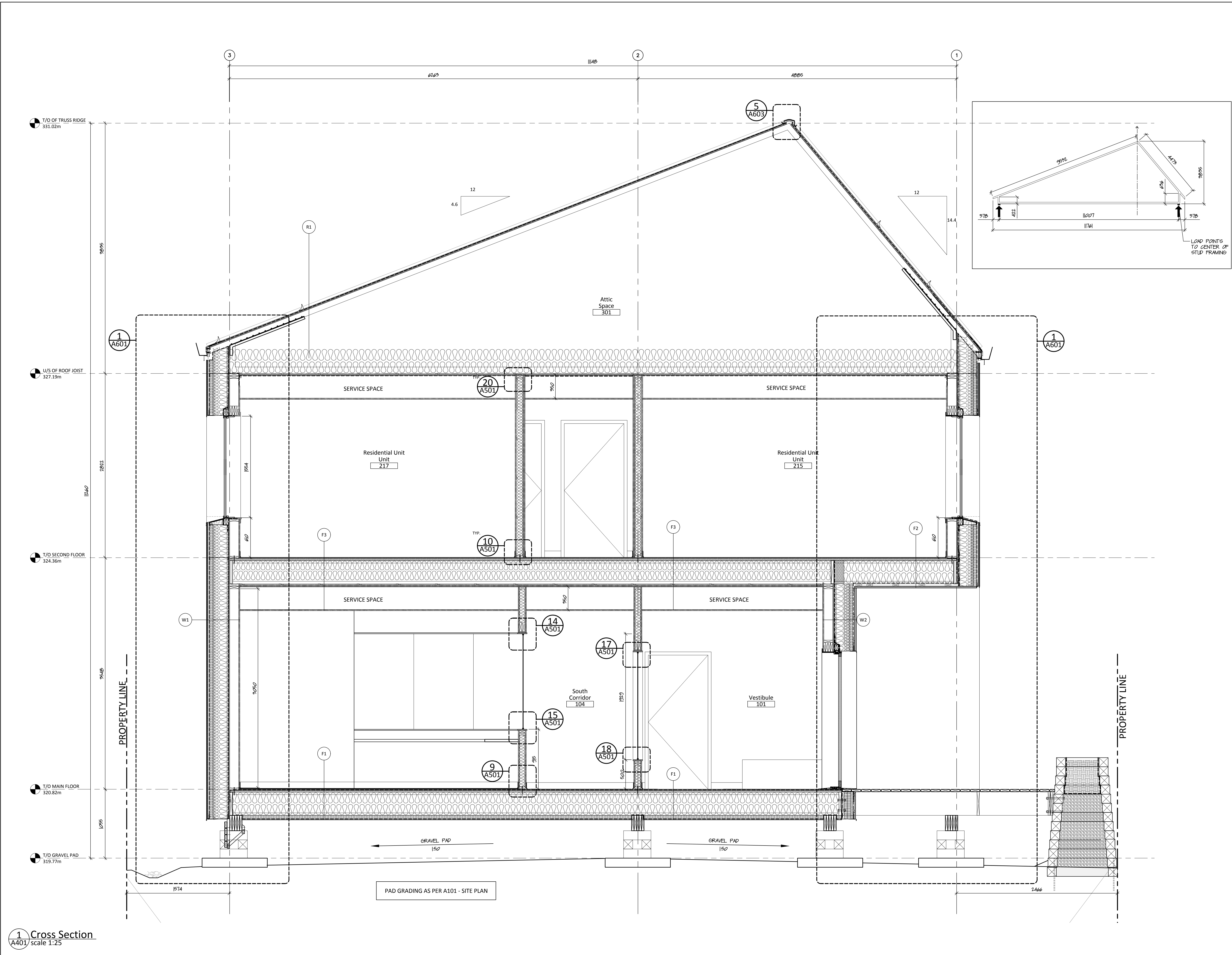
**Building Sections**

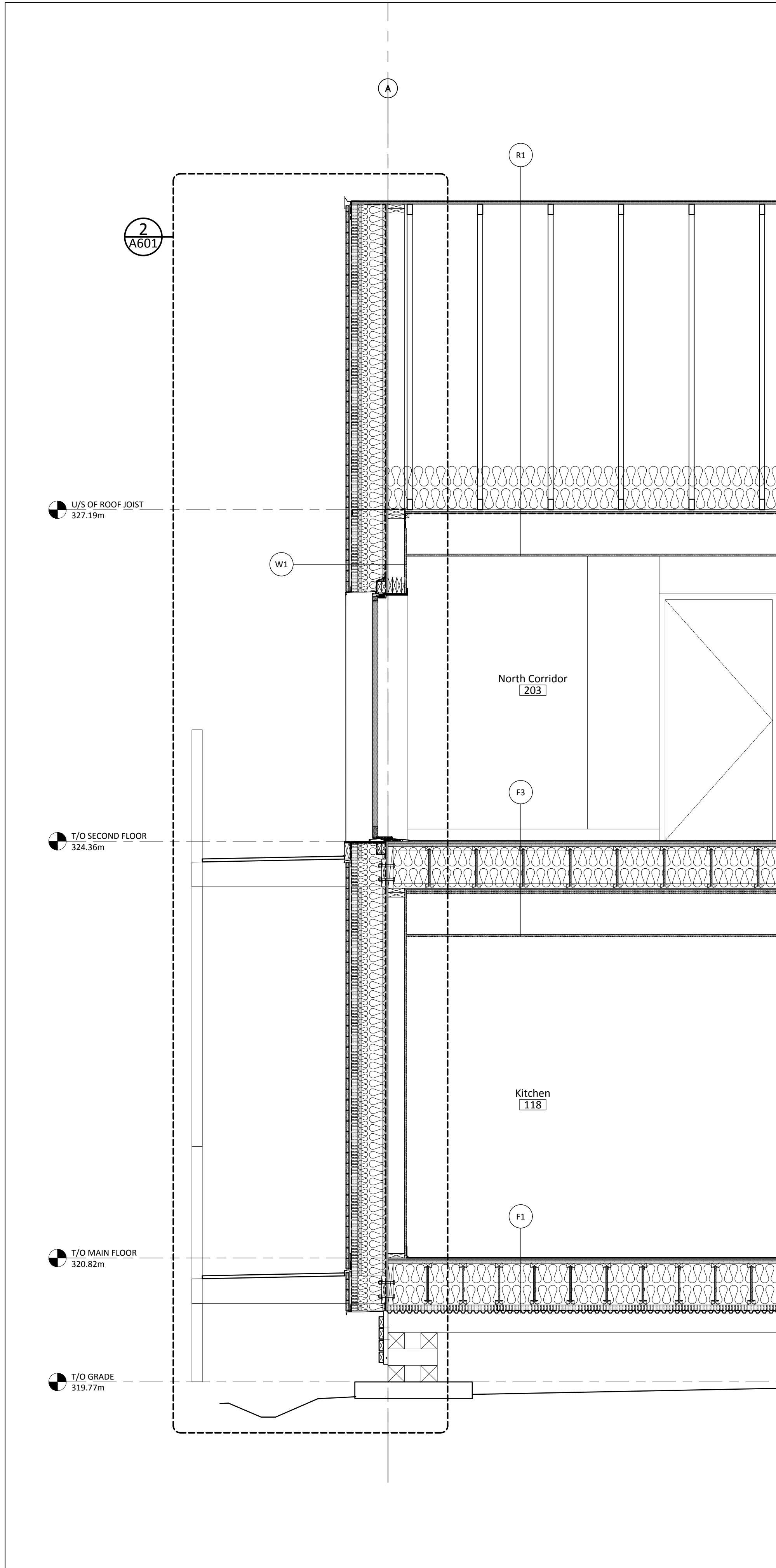
Project #

**20-040**

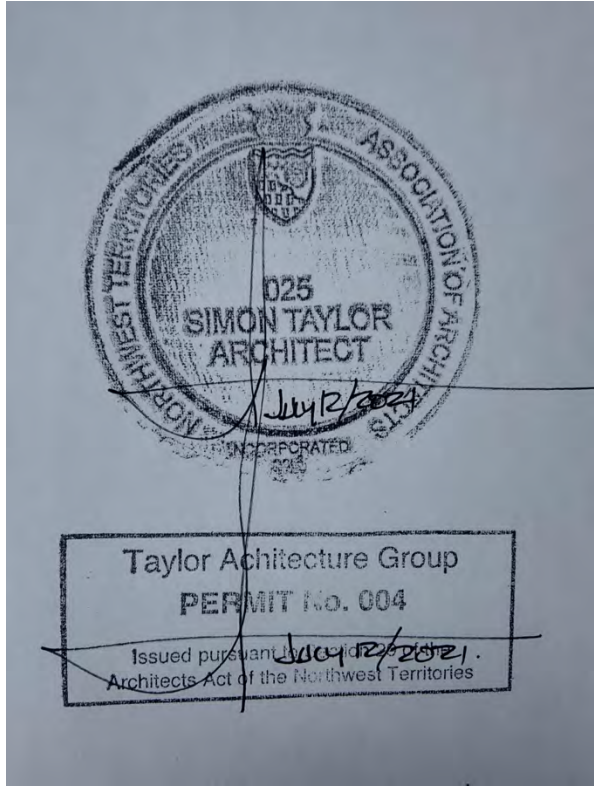
Drawing #

**A401**





1 Endwall Section  
A402 scale 1:25



GRADE ELEVATIONS:  
SEE A101

NOT FOR CONSTRUCTION  
ALL DIMENSIONS TO BE SITE VERIFIED BY CONTRACTOR

4	21-July-12	Issued for Tender
3	21-Jun-16	Issued for 100% Construction Documents
2	21-May-06	Issued for 50% Construction Documents
1	21-Mar-30	Issued for Design Development
#	Date	Description

Revisions  
Date:  
March 1, 2021

Project:  
**JEJE ZHO TH MEN'S  
SHELTER**

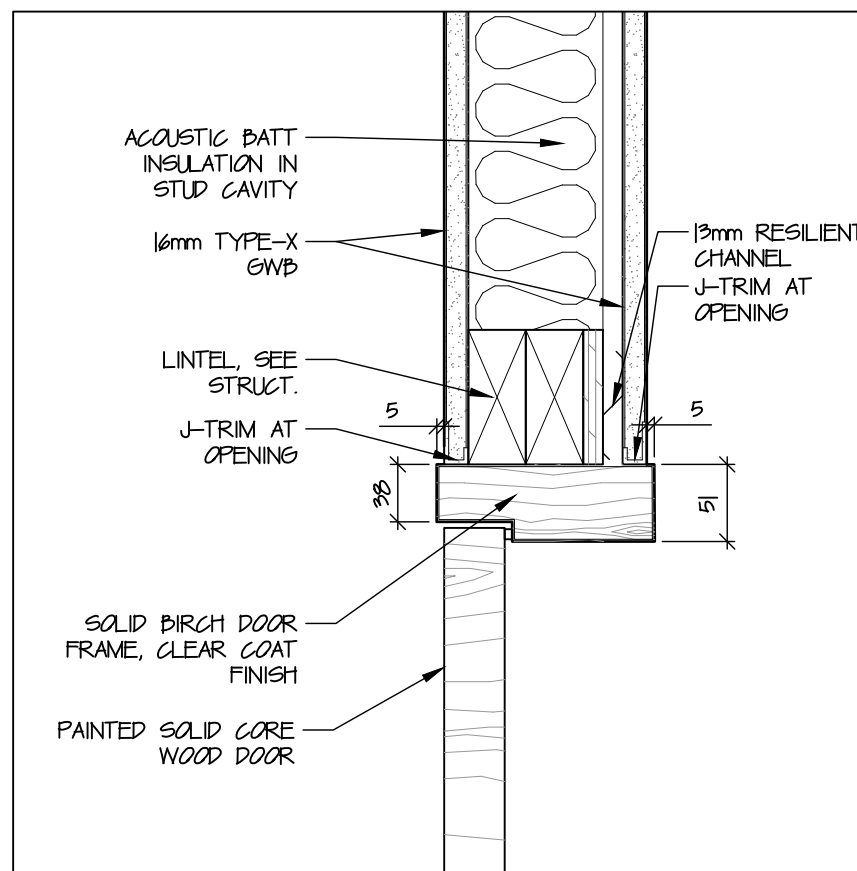
Dawson City, YT

project north true north	Drawing by: J.M.
	Checked by: S.T.
	Scale: As Noted

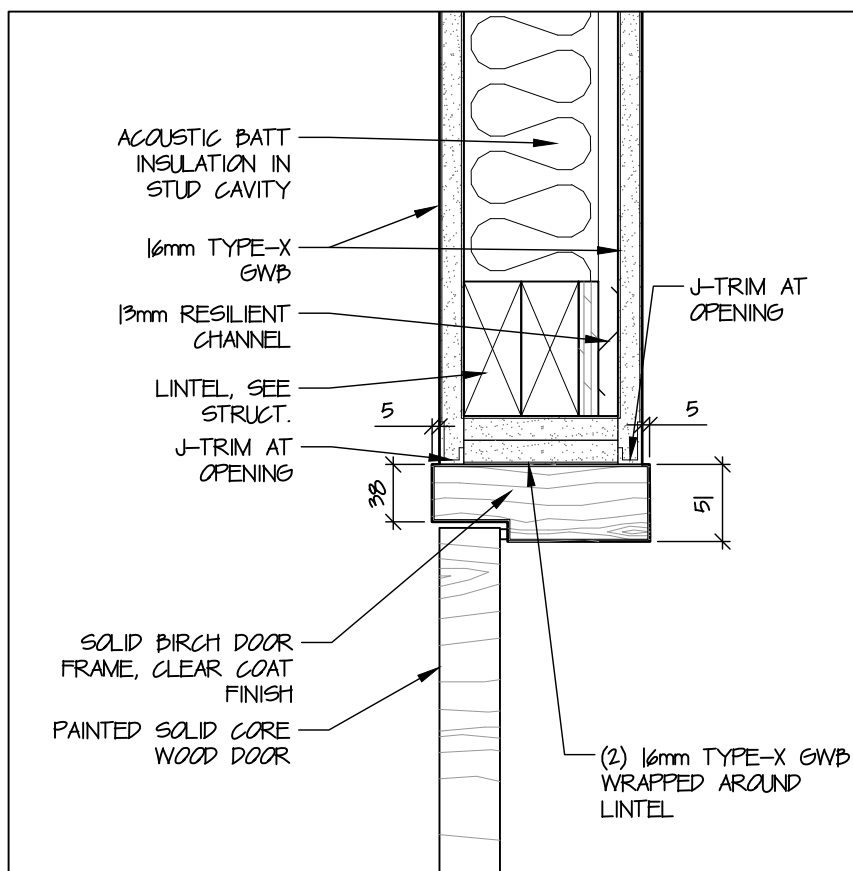
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**Building Sections**

Project #  
**20-040**

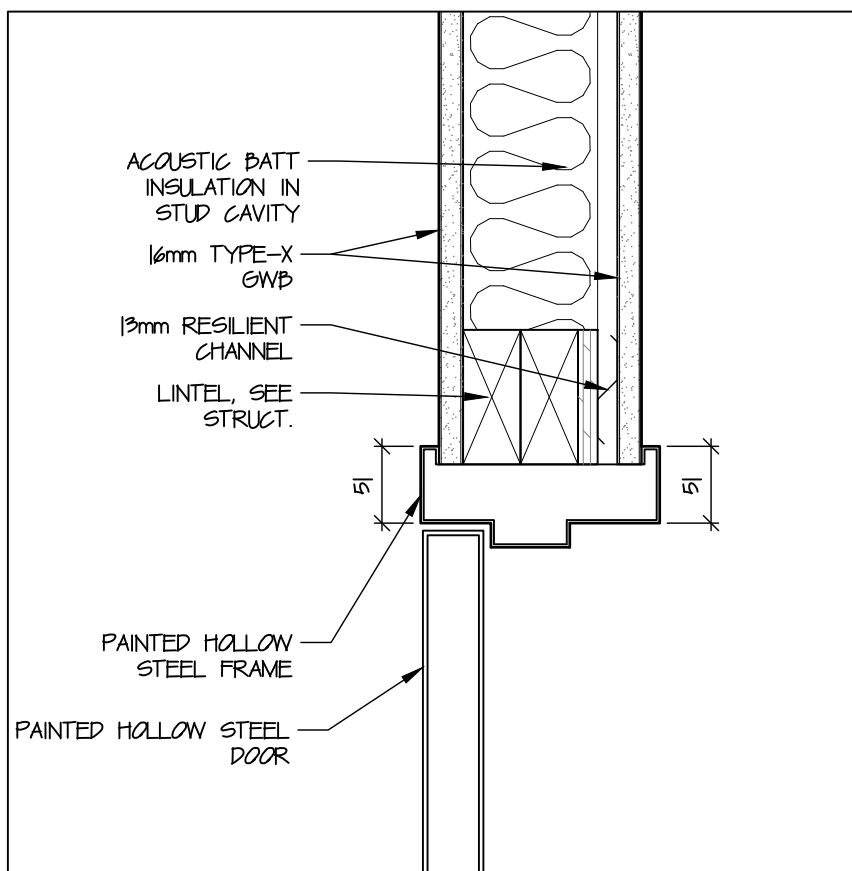
Drawing #  
**A402**



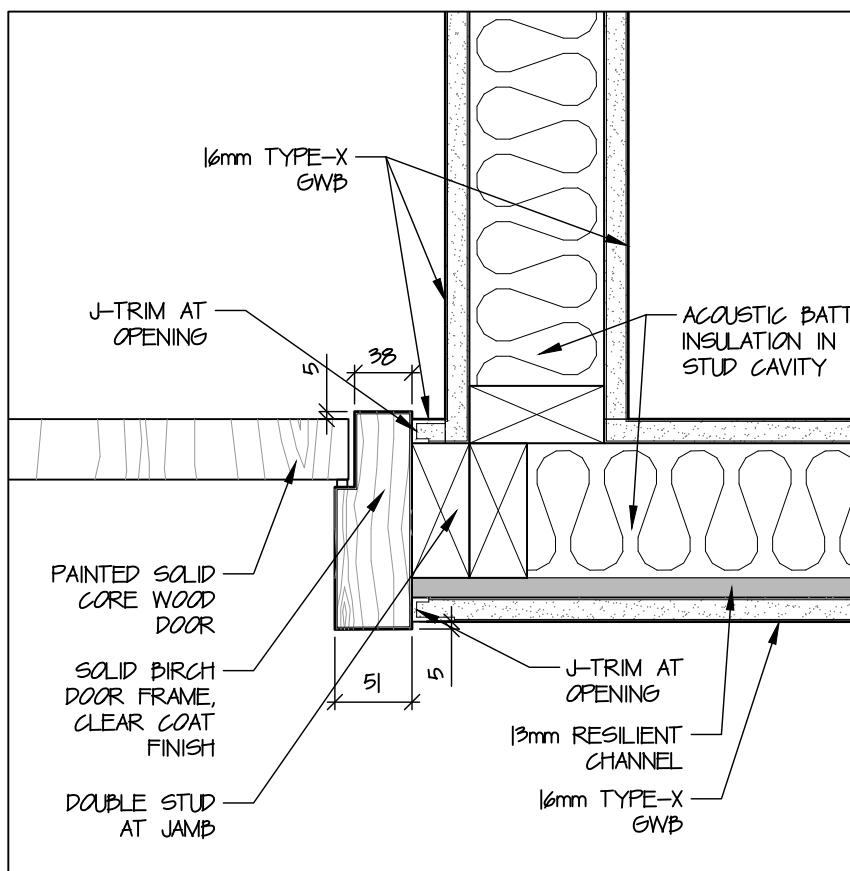
1 Typ. WD Door Frame Head  
A501 scale 1:5



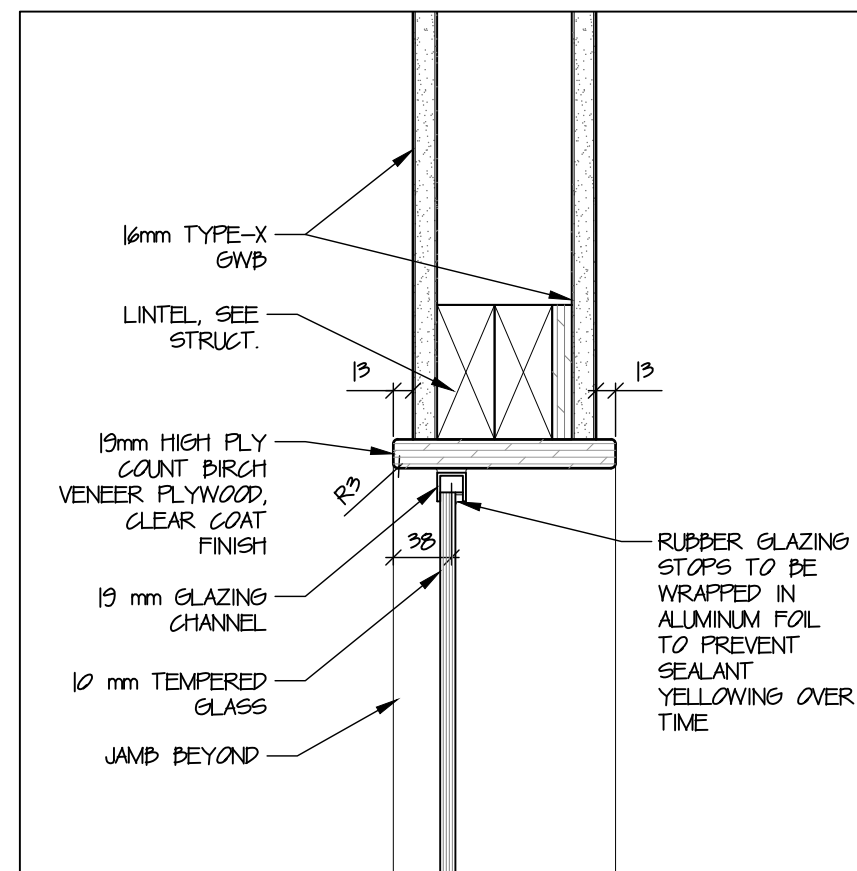
3 Typ. FR Door Opening Head  
A501 scale 1:5



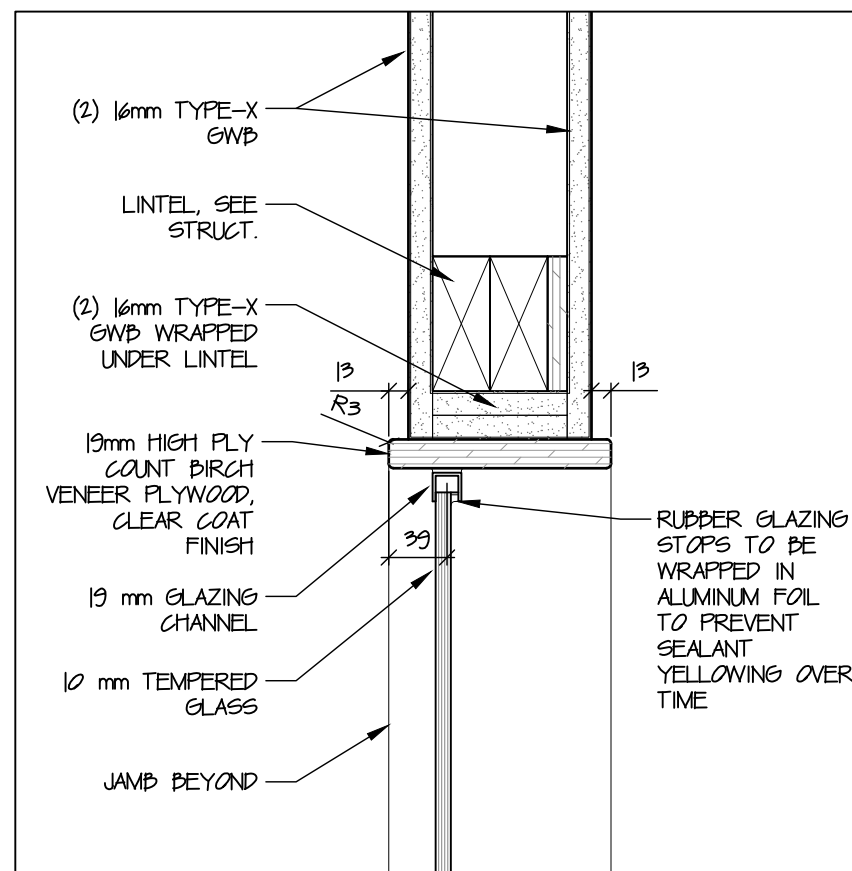
5 Typ. Fire Rated Steel Door Head  
A501 scale 1:5



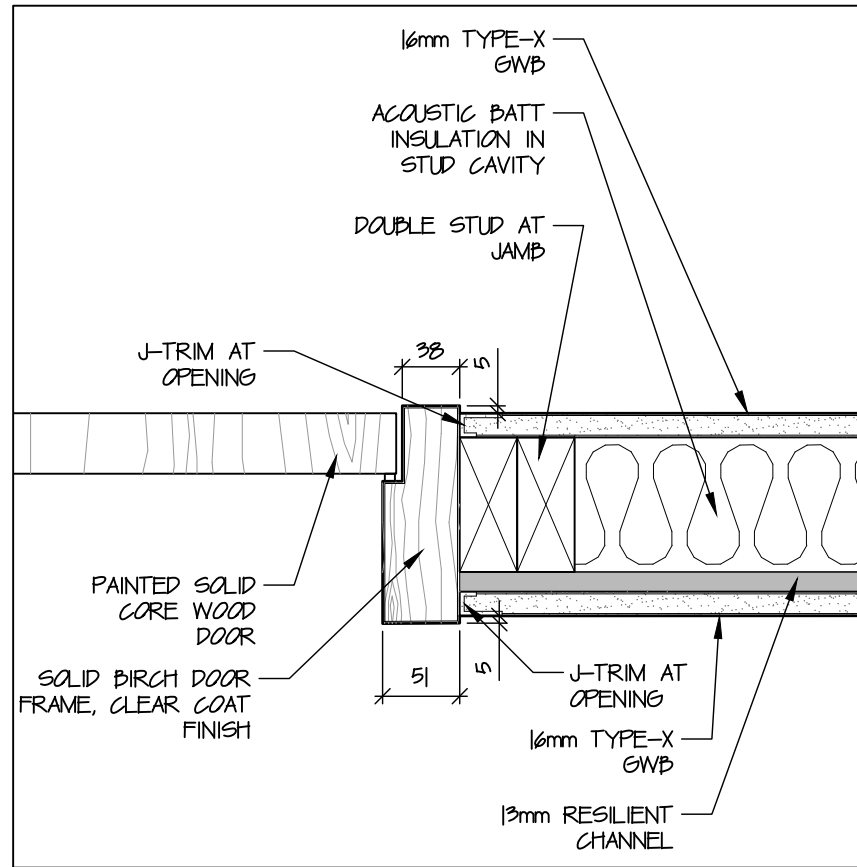
7 Wood Door Frame Jamb Adj. To Wall  
A501 scale 1:5



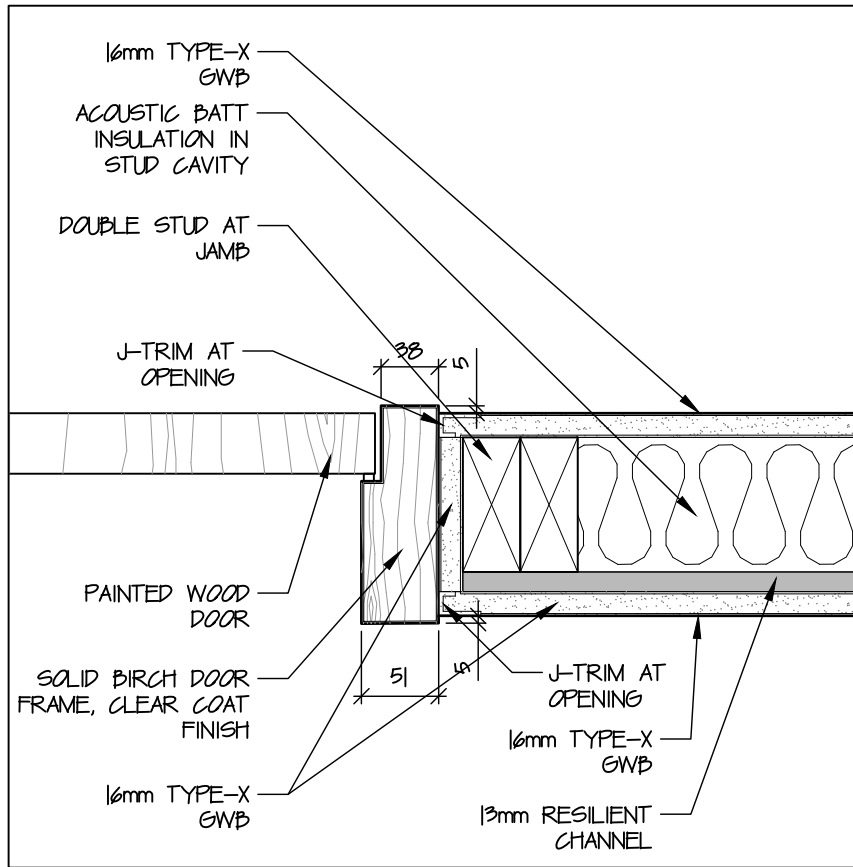
14 Front Desk Glazing Section  
A501 scale 1:5



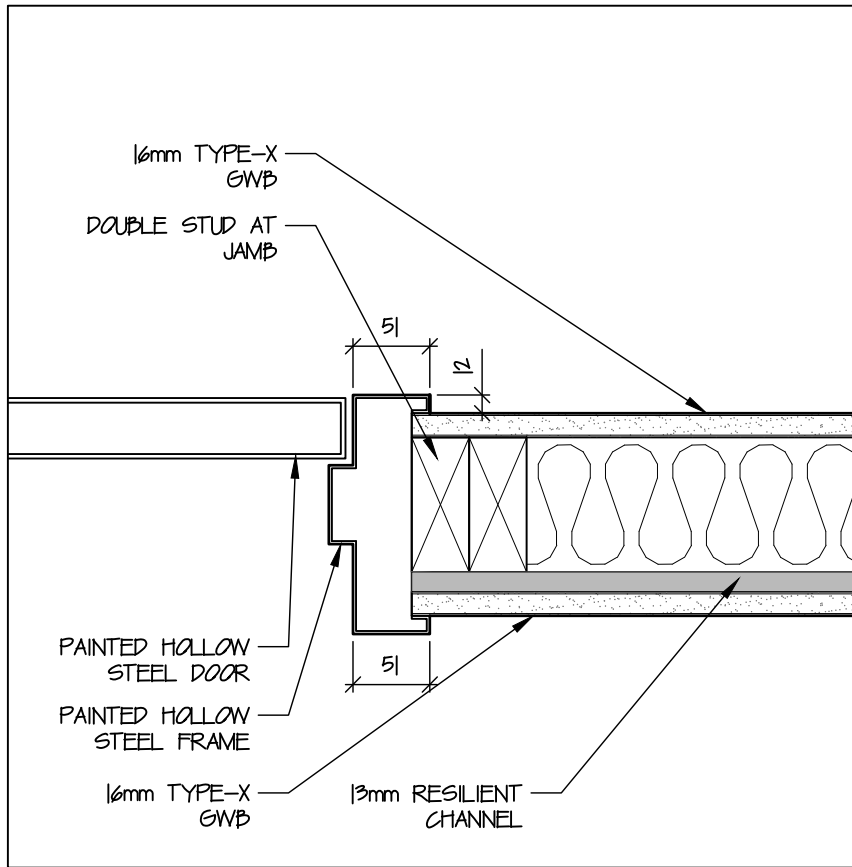
17 Vestibule Fire Rated Glazing Section  
A501 scale 1:5



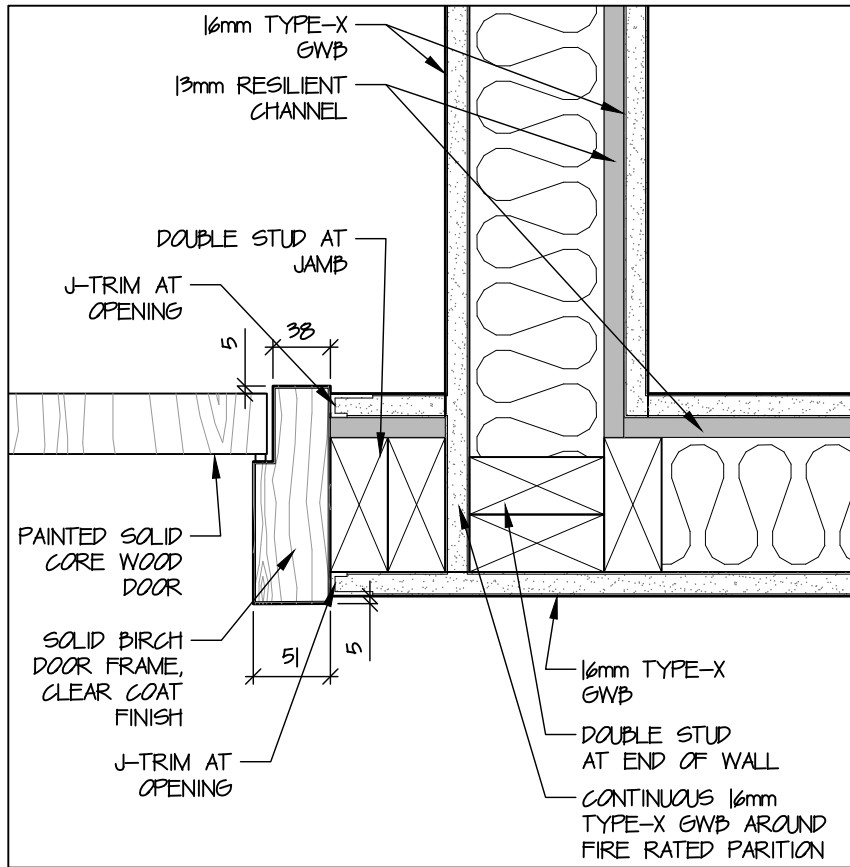
2 Typ. WD Door Frame Jamb  
A501 scale 1:5



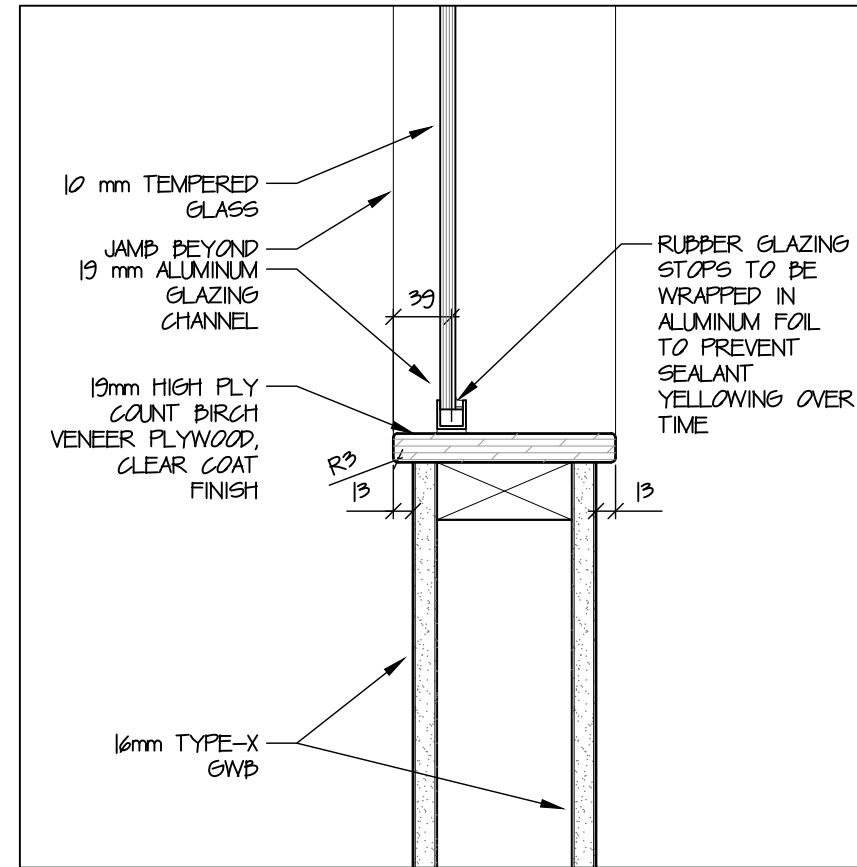
4 Typ. FR Door Opening Jamb  
A501 scale 1:5



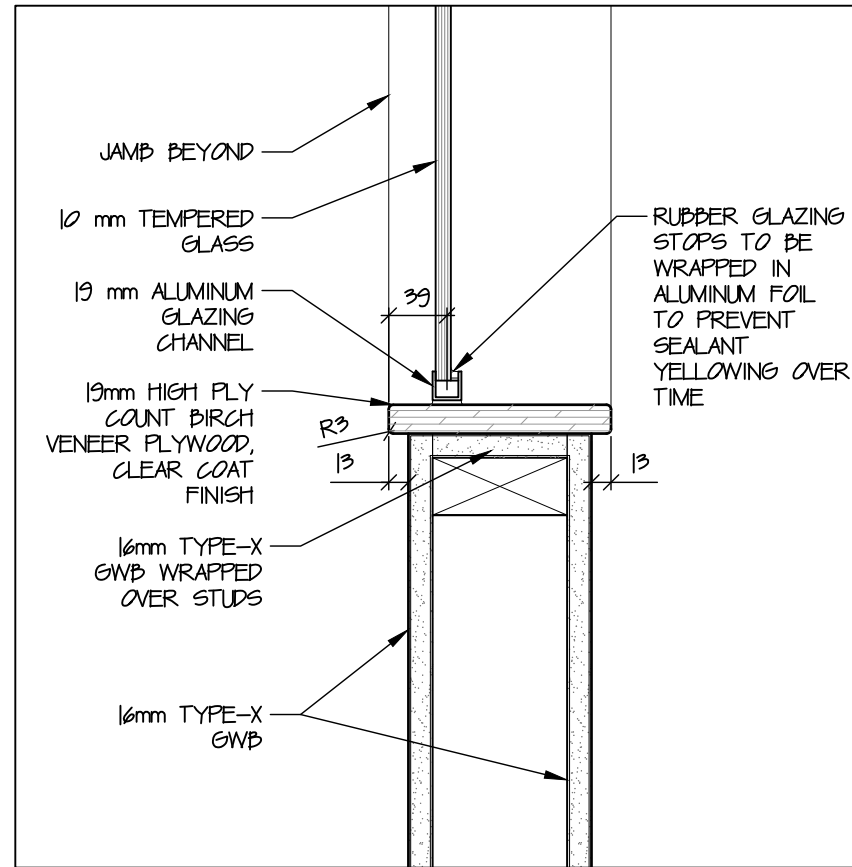
6 Typ. Fire Rated Steel Door Jamb  
A501 scale 1:5



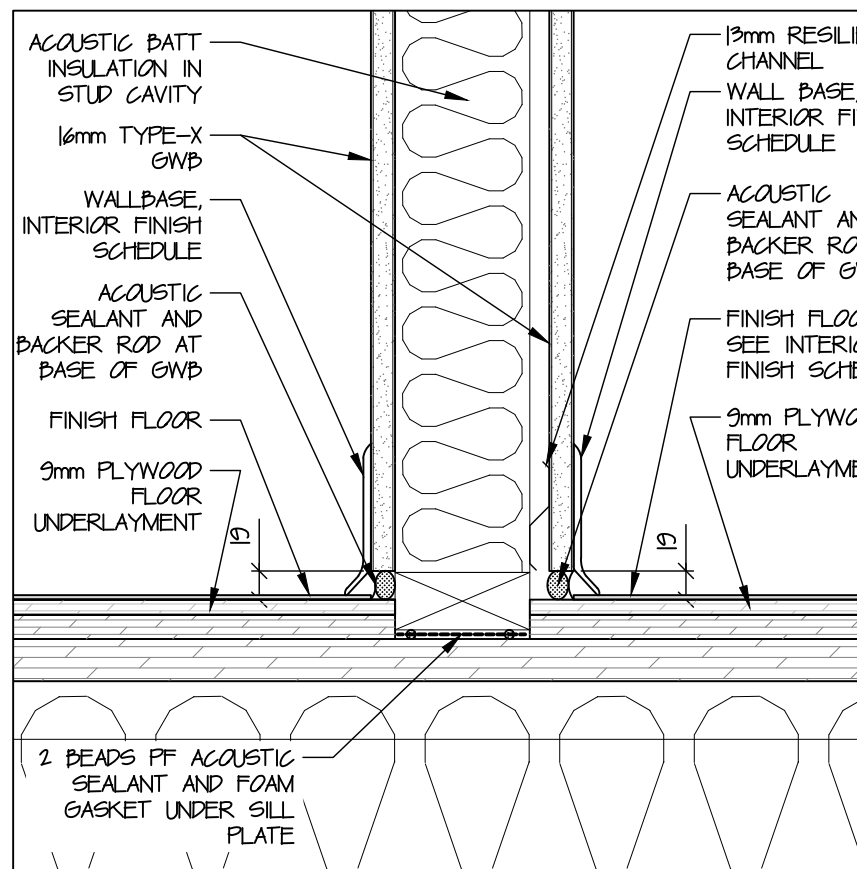
8 Door Jamb Adj. to Fire Rated Partition  
A501 scale 1:5



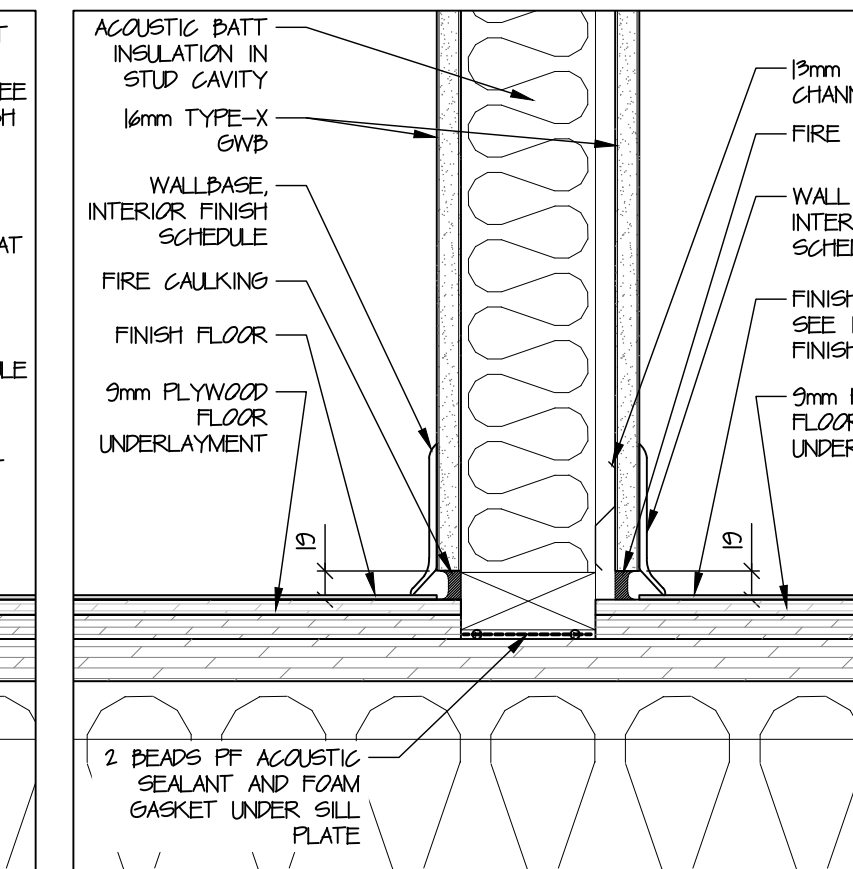
15 Front Desk Glazing Sill  
A501 scale 1:5



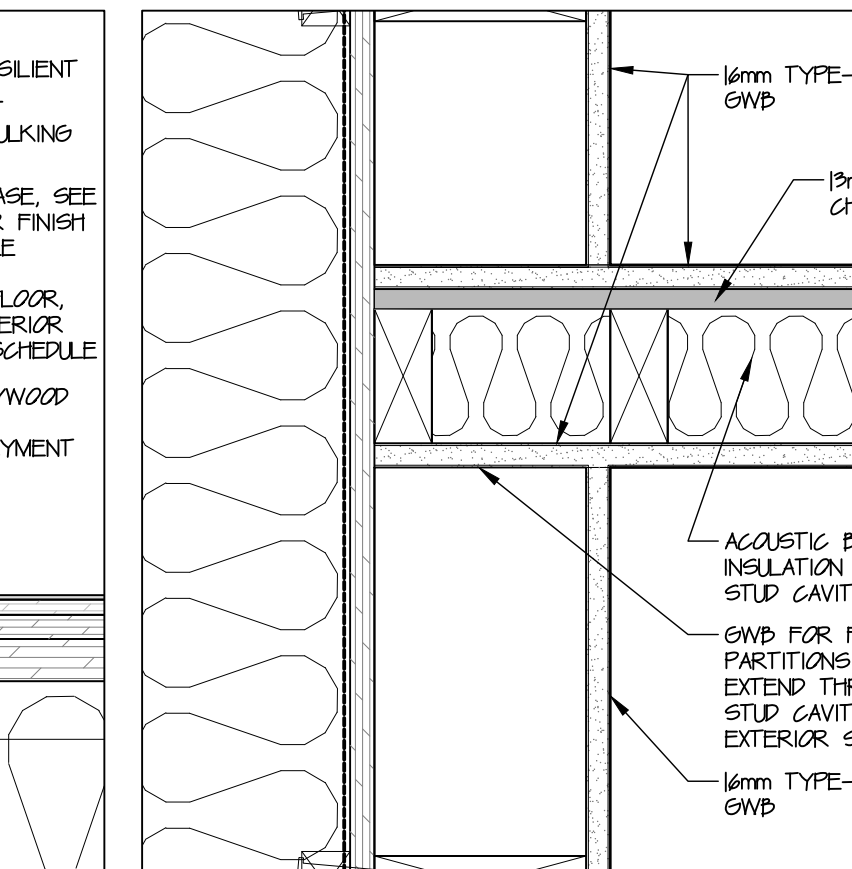
18 Non-Rated Glazing Sill in FR Partition  
A501 scale 1:5



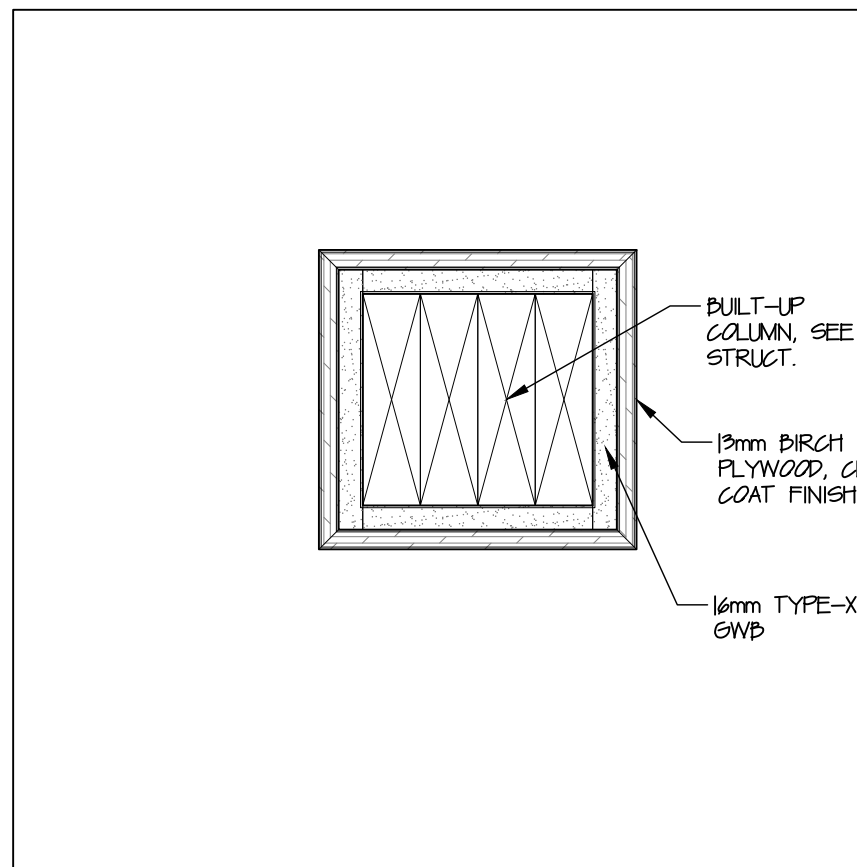
9 Typ. Wallbase Section  
A501 scale 1:5



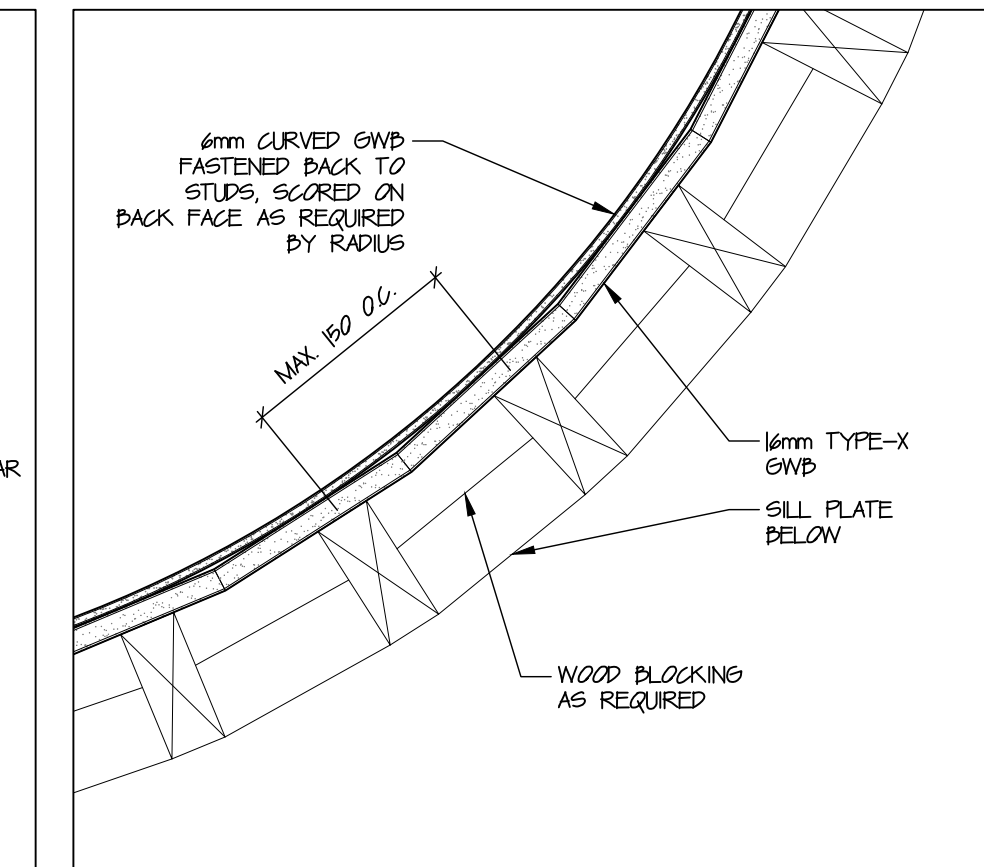
10 Typ. Fire Rated Wallbase Section  
A501 scale 1:5



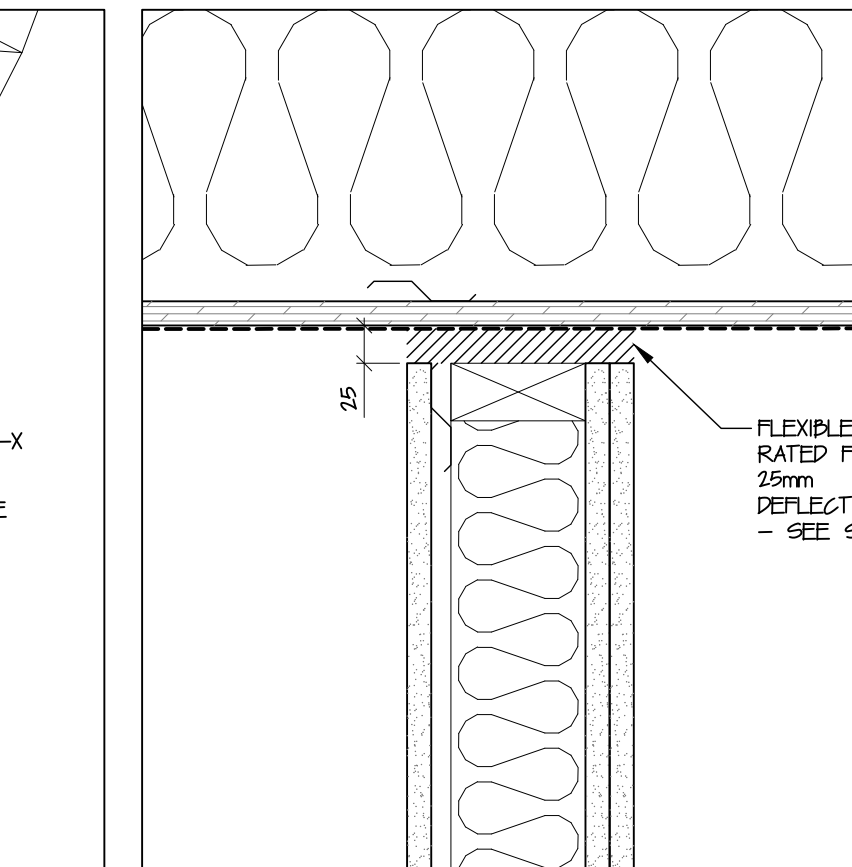
11 Typ. Fire Rated Partition at Exterior Wall  
A501 scale 1:5



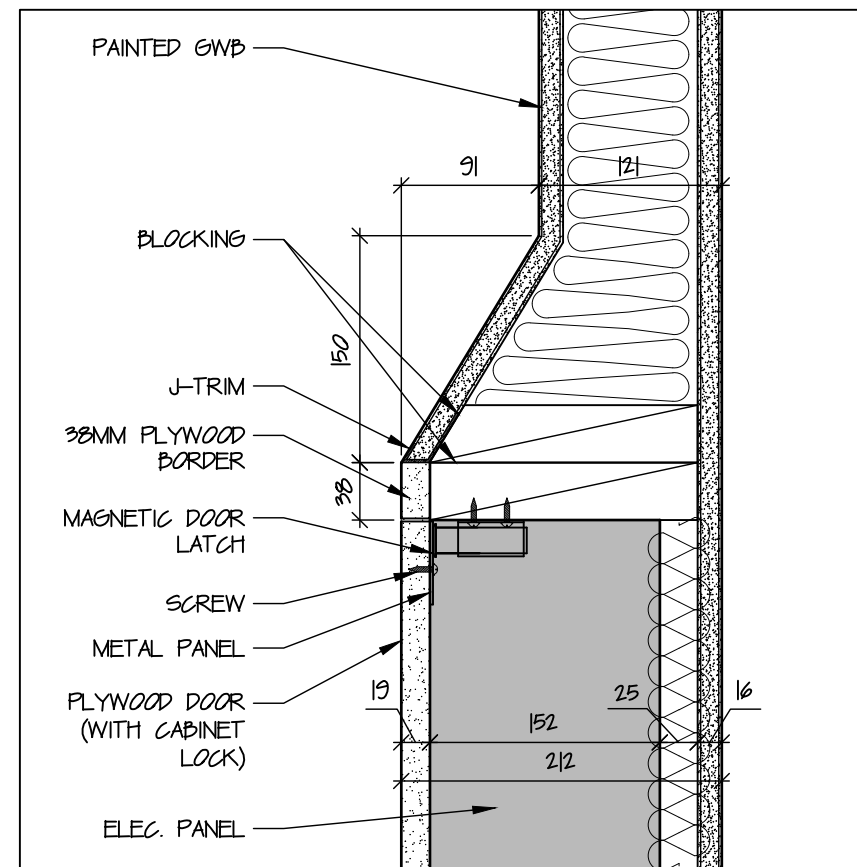
12 Typ. FR Column Plan Detail  
A501 scale 1:5



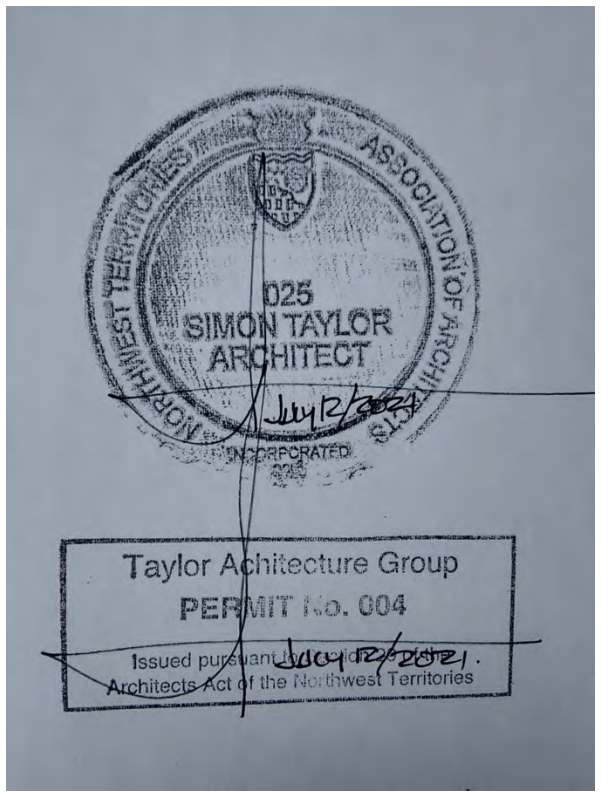
13 Typ. Curved GWB Finish Plan Detail  
A501 scale 1:5



20 Typical Deflection Gap At Fire Rated Partition  
A501 scale 1:5



21 Elec. Panel Wall Section  
A501 scale 1:5



NOTES

1. MOLD RESISTANT GWB TO BE USED FOR ALL GWB IN WASHROOMS.
2. ALL EXPOSED EXPOSED PLYWOOD TO BE HIGH PLY COUNT BIRCH VENEER WITH MINIMUM 3 COATS CLEAR POLYURETHANE FINISH.
3. CONTRACTOR TO INSTALL DOOR FRAMES PRIOR TO GWB AT OPENINGS. GWB AT DOOR OPENINGS TO BE FINISHED WITH J-TRIM.

NOT FOR CONSTRUCTION  
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#	Date	Description
2	21-July-12	Issued for Tender
1	21-Jun-16	Issued for 100% Construction Documents

Revisions  
Date: June 16, 2021

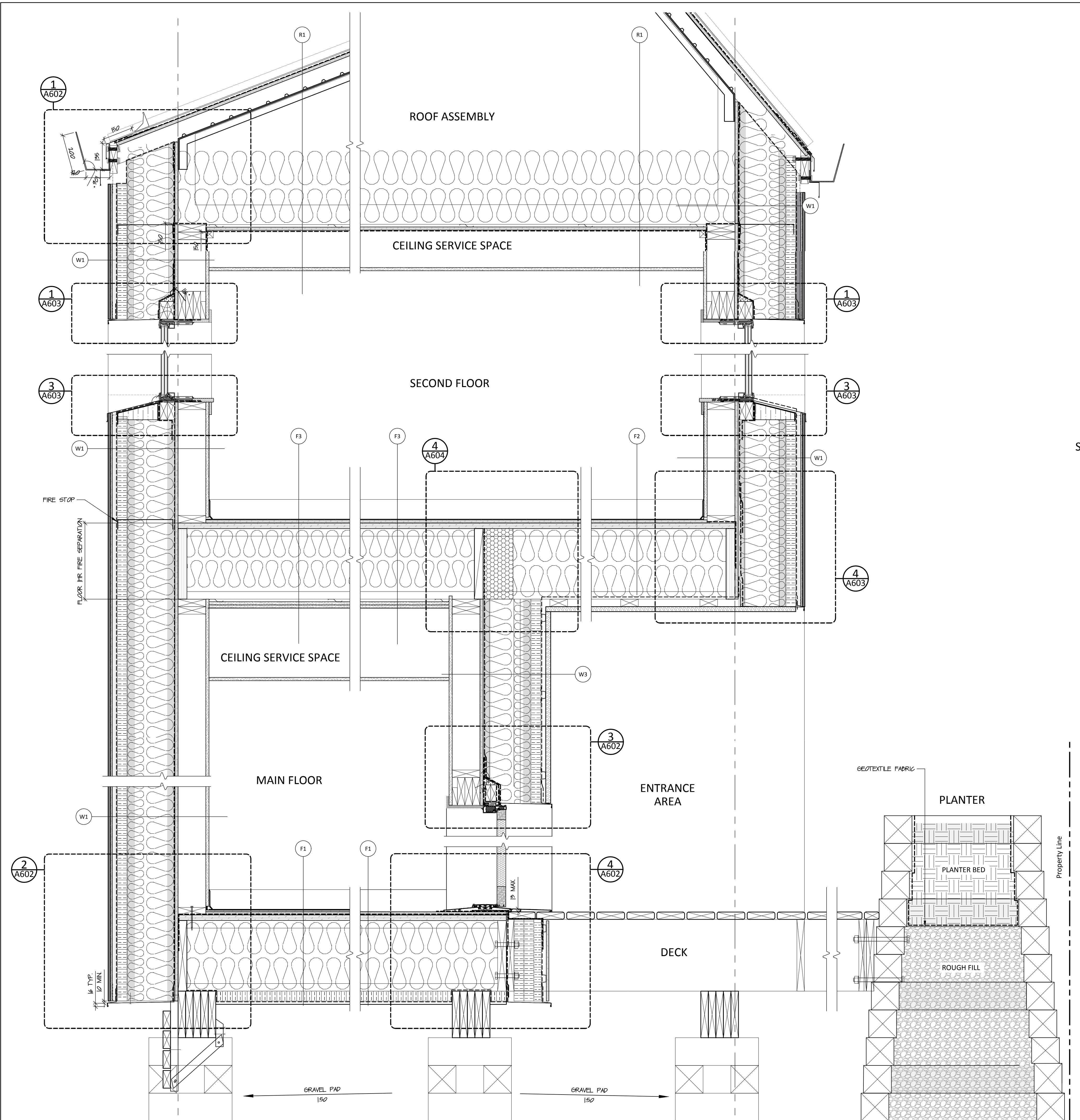
Project:  
**JEJE ZHO TH MEN'S SHELTER**

Dawson City, YT  
Drawing by: J.M.  
Checked by: S.T.  
Scale: As Noted

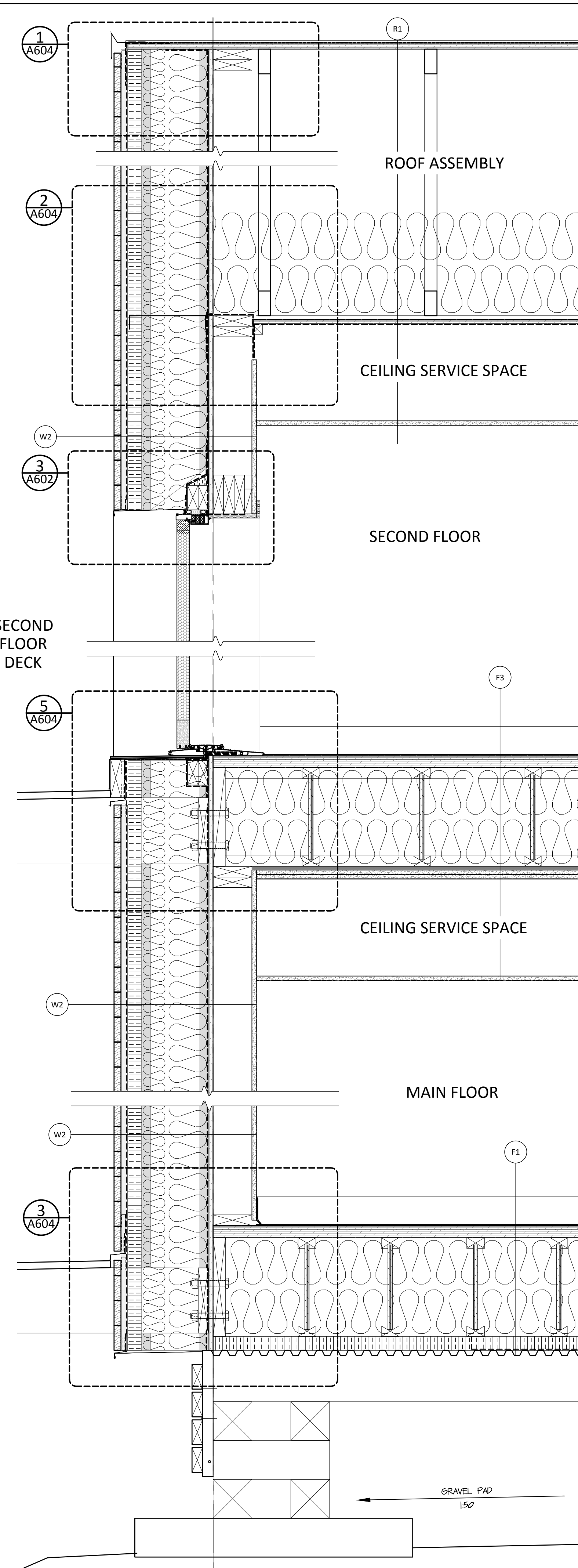
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**Interior Details**

Project #  
**20-040**

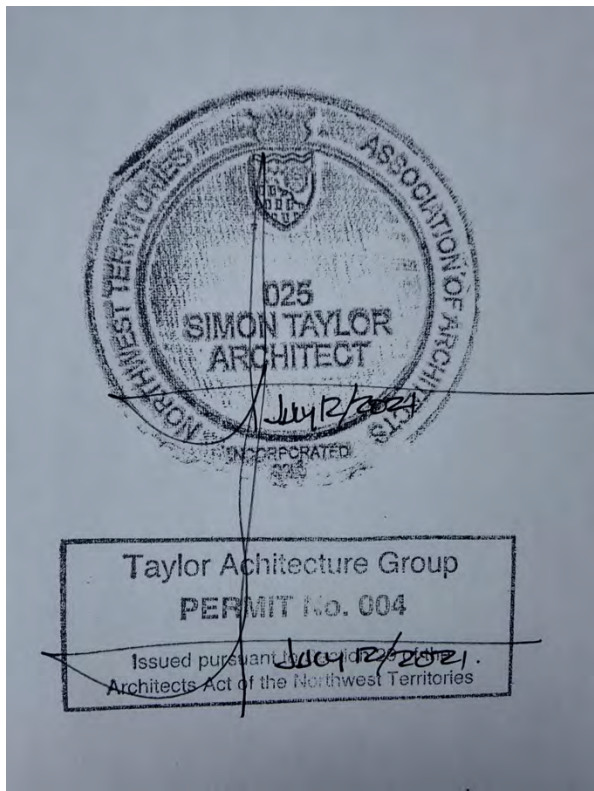
Drawing #  
**A501**



1 Exterior Wall Section - South  
A601 scale 1:10



2 Exterior Wall Section - East  
A601 scale 1:10



**NOT FOR CONSTRUCTION**  
ALL DIMENSIONS TO BE SITE VERIFIED BY CONTRACTOR

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3	21-Jun-16	Issued for 100% Construction Documents
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1	21-Mar-30	Issued for Design Development

Revisions  
Date: March 8, 2021

Project:  
**JEJE ZHO TH MEN'S SHELTER**

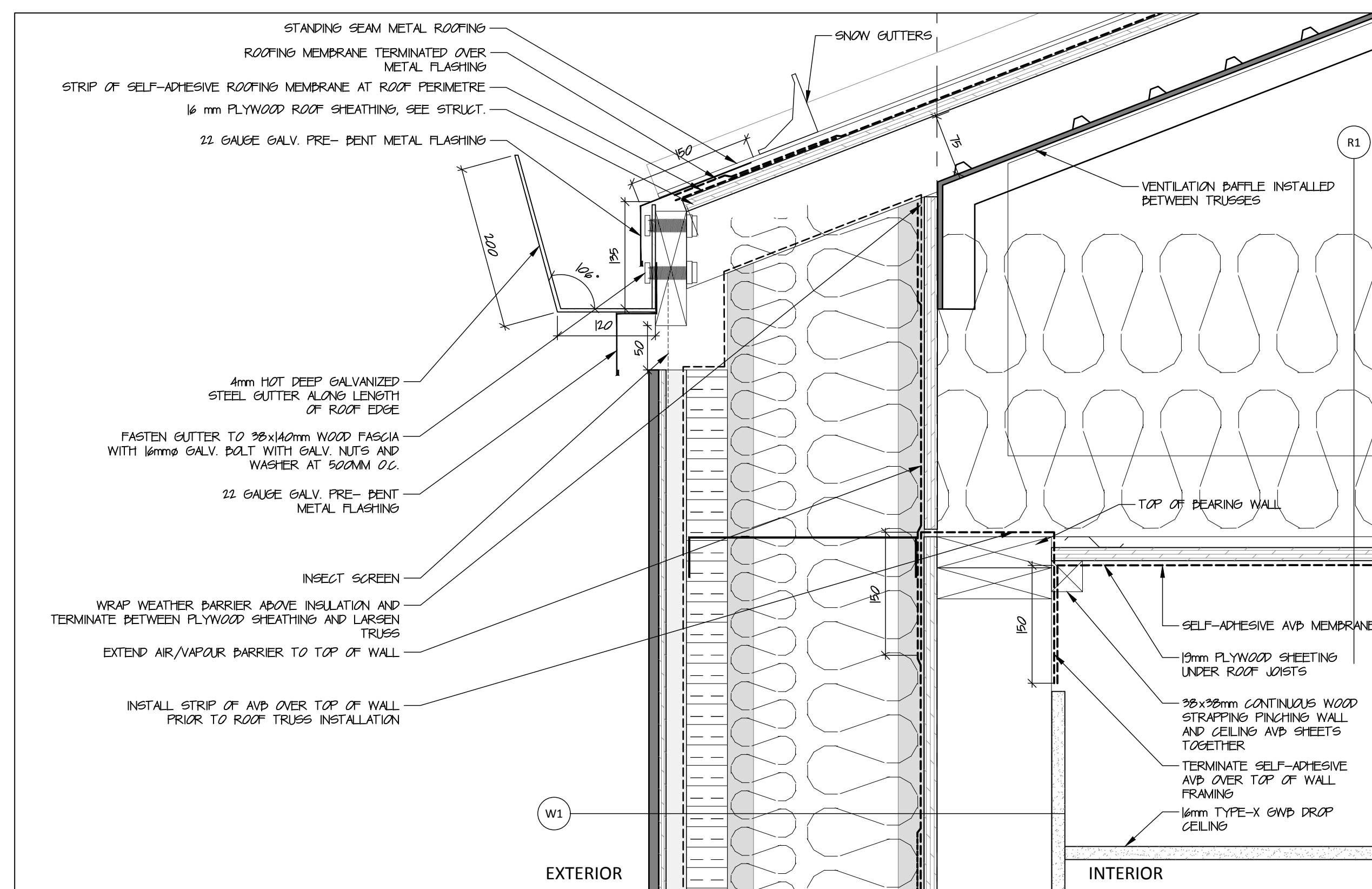
Dawson City, YT

Project north  
true north  
Drawing by: H.A.  
Checked by: S.T.  
Scale: As Noted/ 1:10

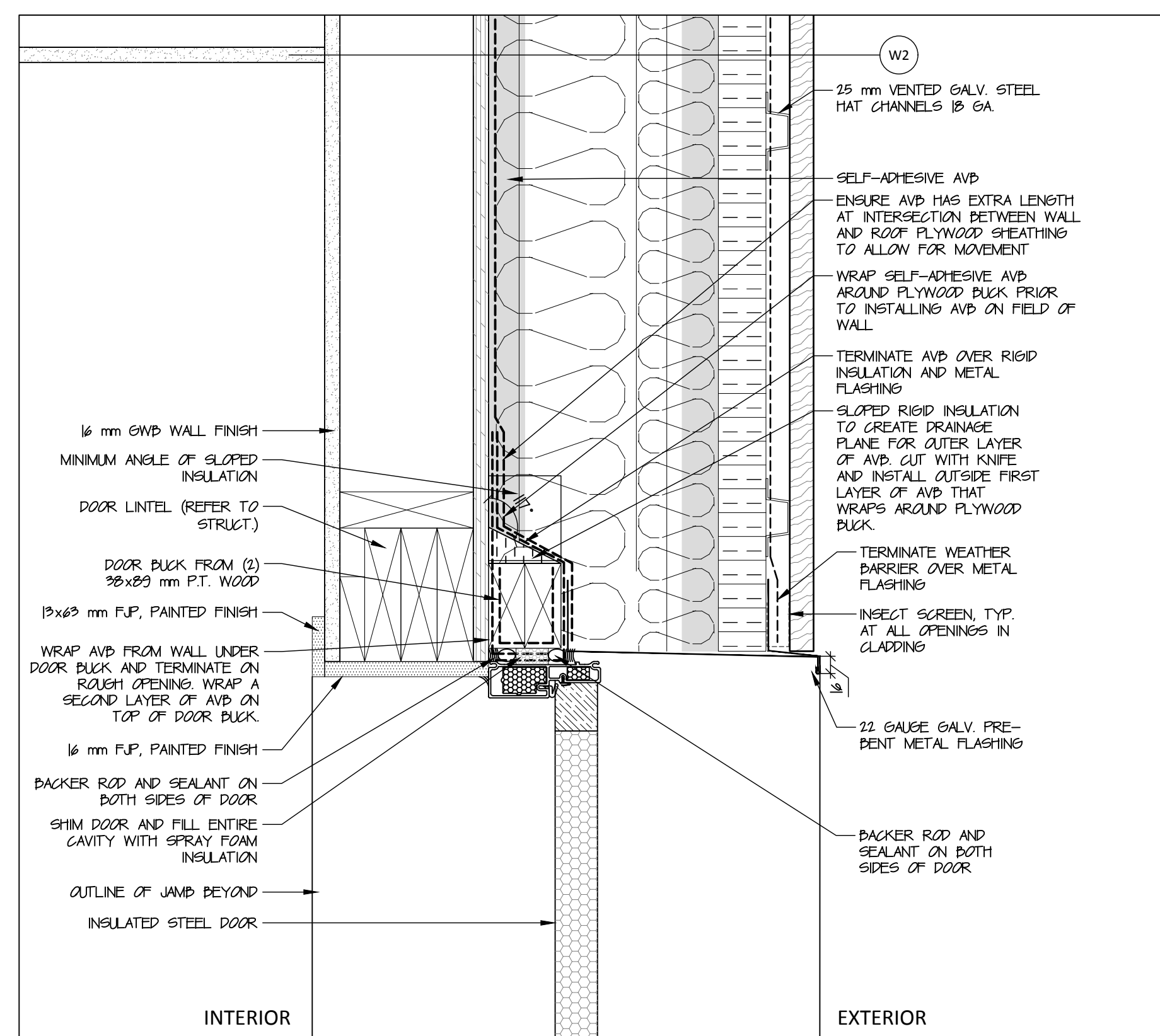
Sheet name:  
**Wall Sections**

Project #  
**20-040**

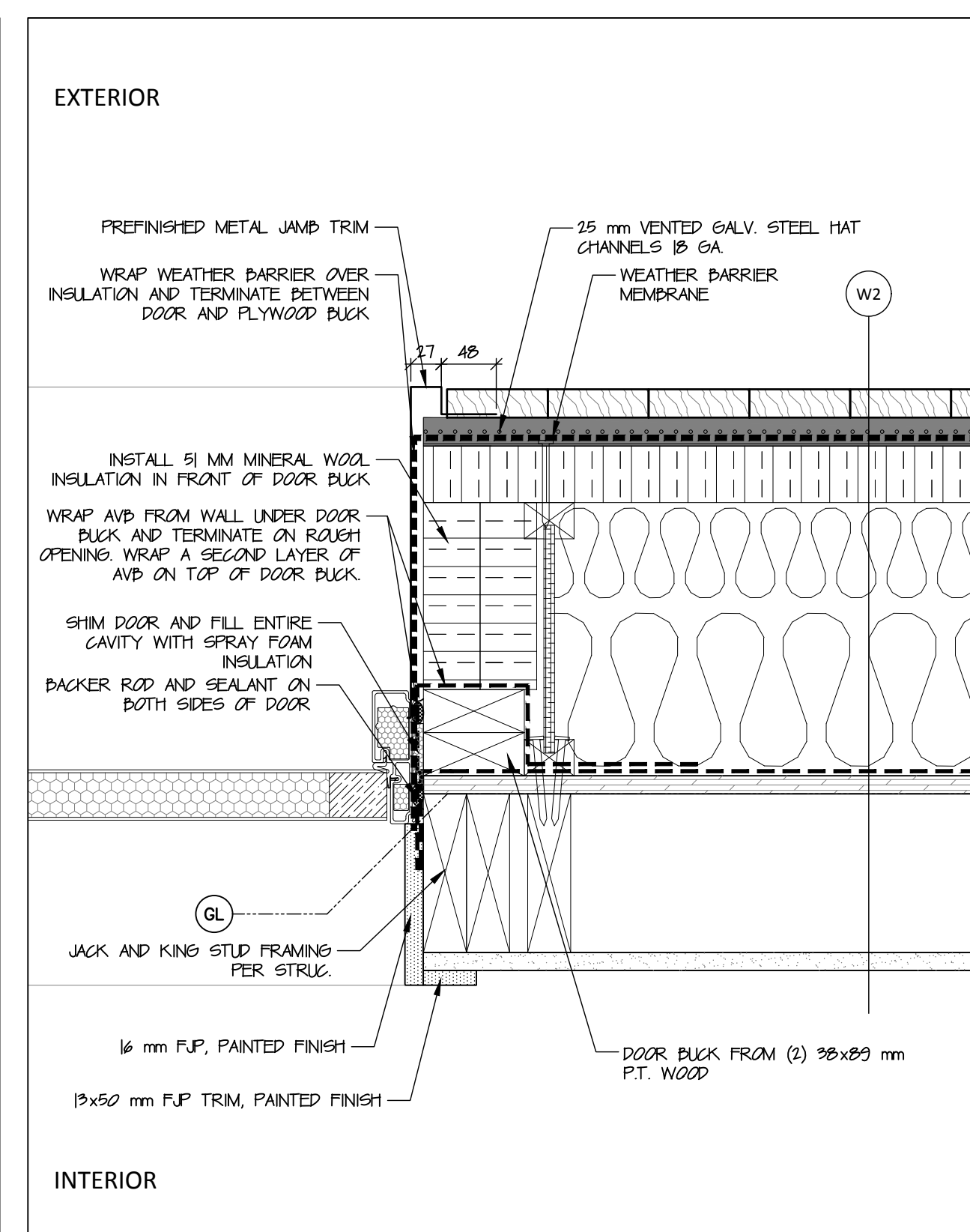
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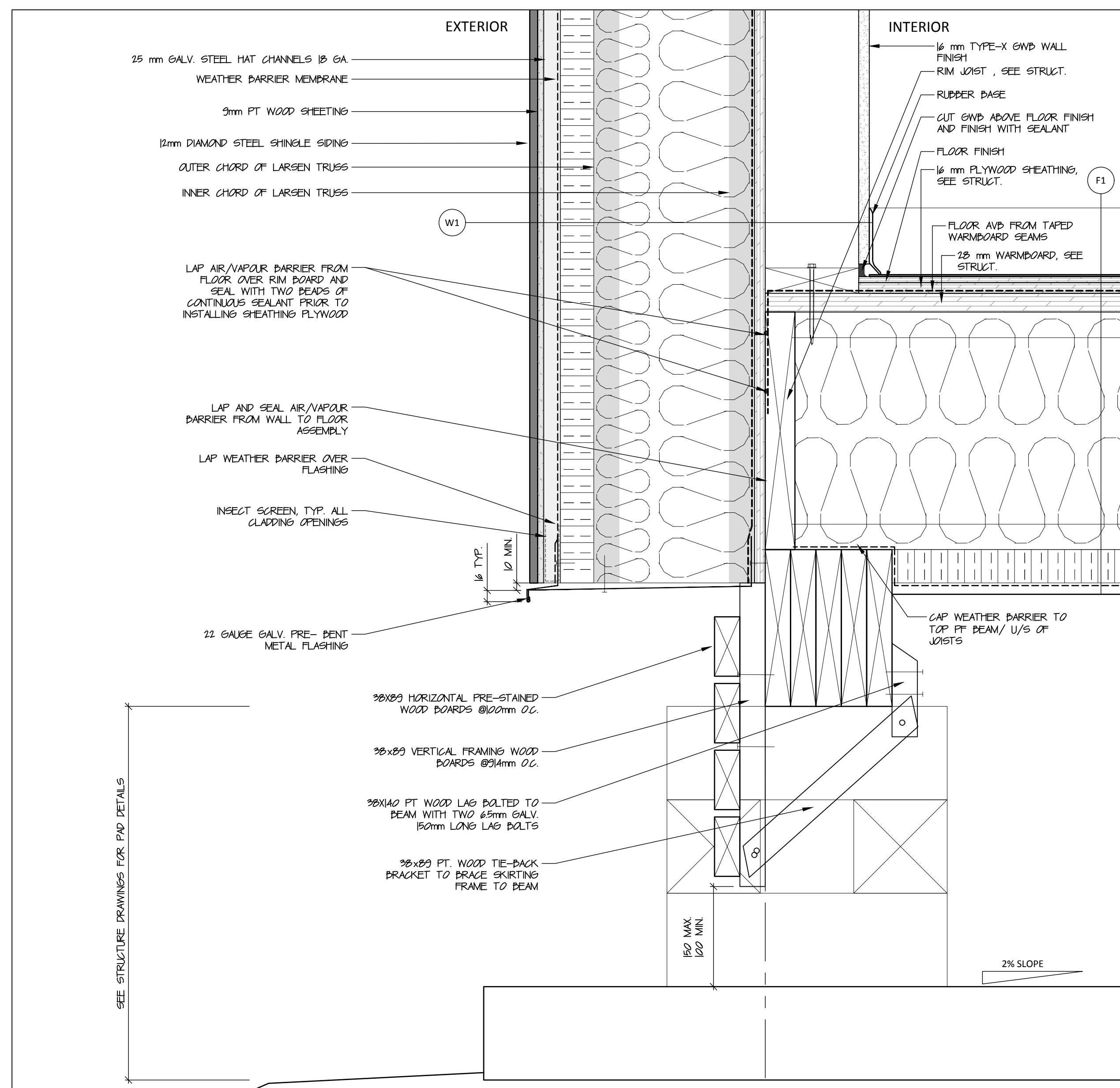
1 Roof-Wall Detail  
A602 scale 1:5



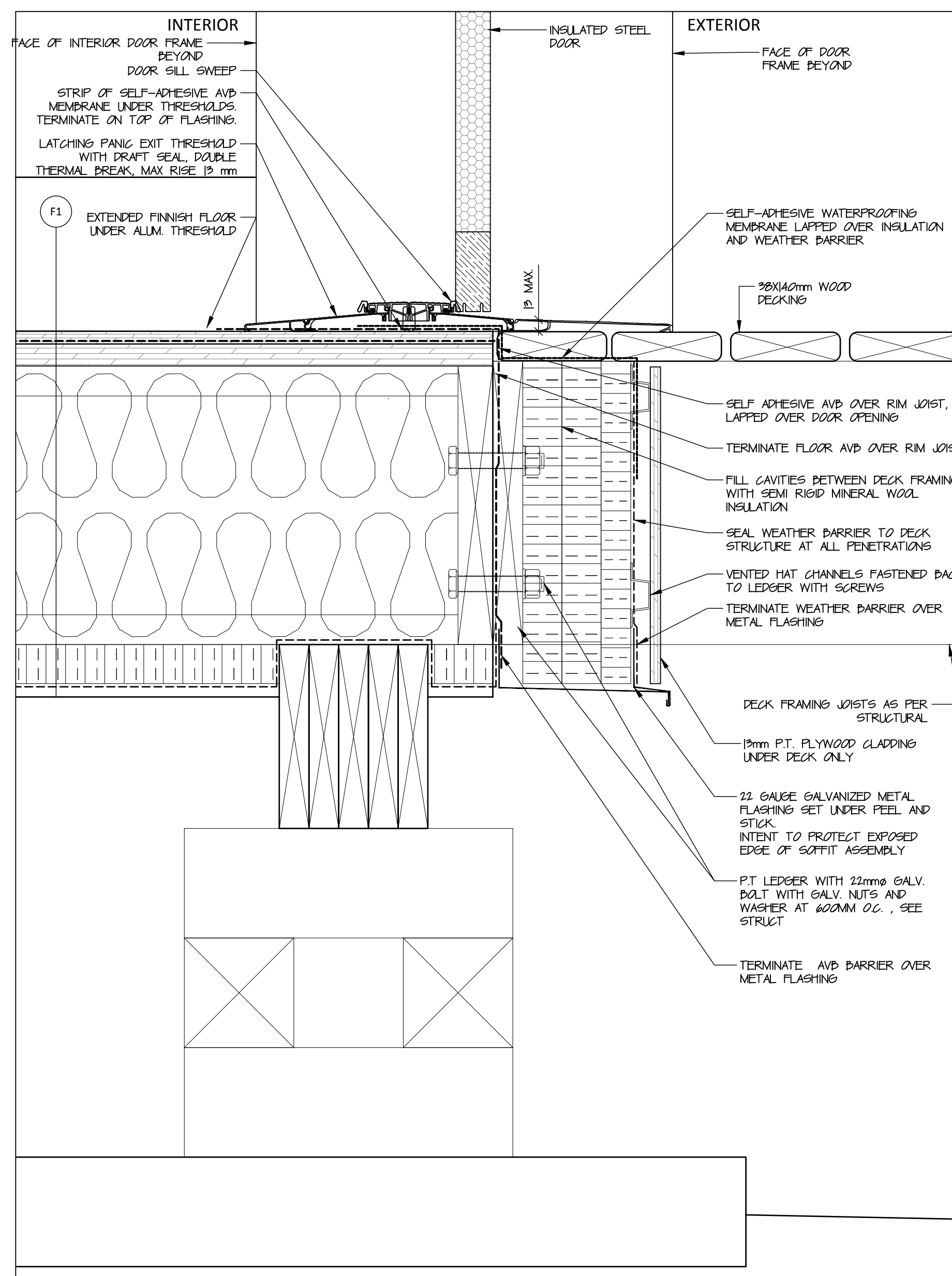
3 Door Head Detail  
A602 scale 1:5



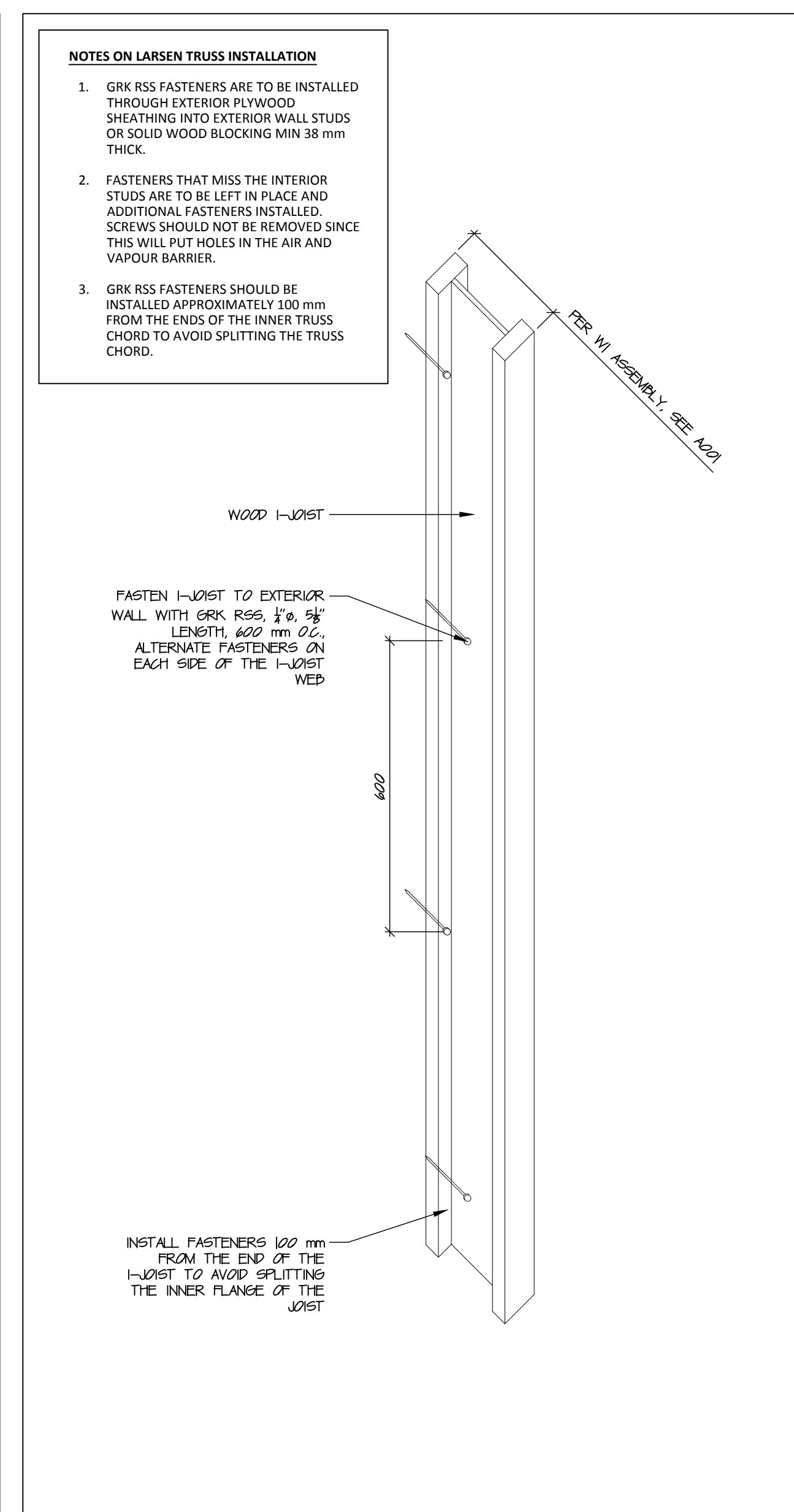
5 Door Jamb Detail  
A602 scale 1:5



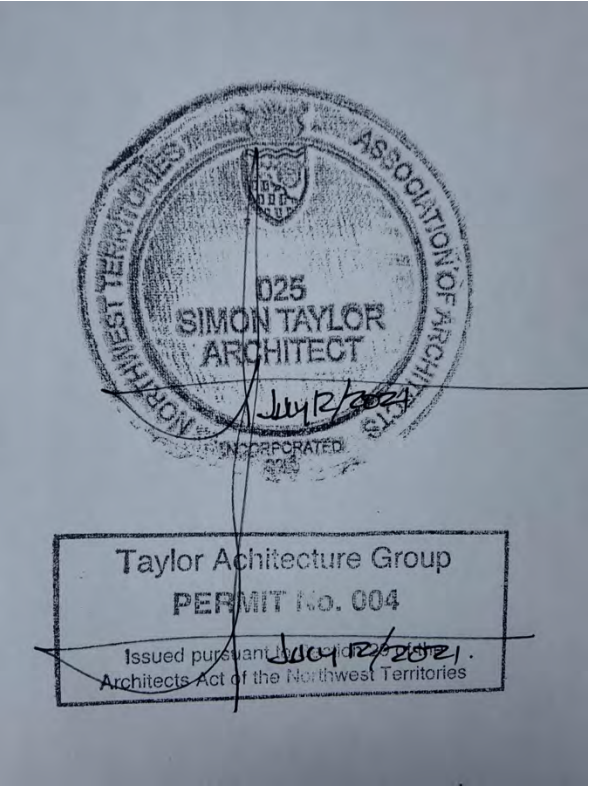
2 Wall-Floor Detail  
A602 scale 1:5



4 Wall-Floor Detail  
A602 scale 1:5



6 Larsen Truss Schematic - I-Joist  
A602 scale 1:10



**NOT FOR CONSTRUCTION**  
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#	Date	Description

March 8, 2021

Project:

**JEJE ZHO TH MEN'S  
SHELTER**

Dawson City, YT

<p><b>project north</b> true north</p> 	Drawing by: H.A.
	Checked by: S.T.
	Scale: As Noted/ 1:10

## Envelope Details

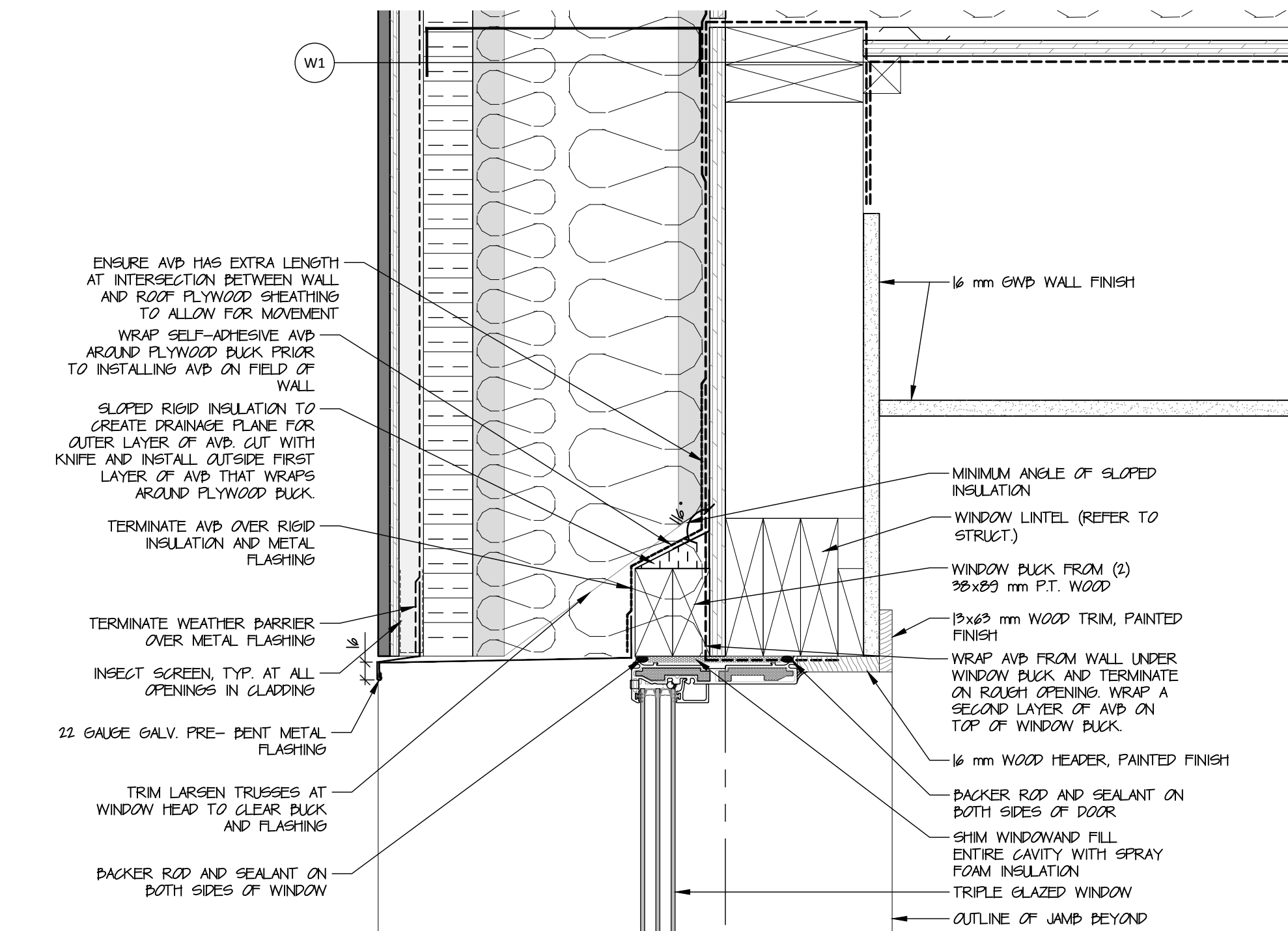
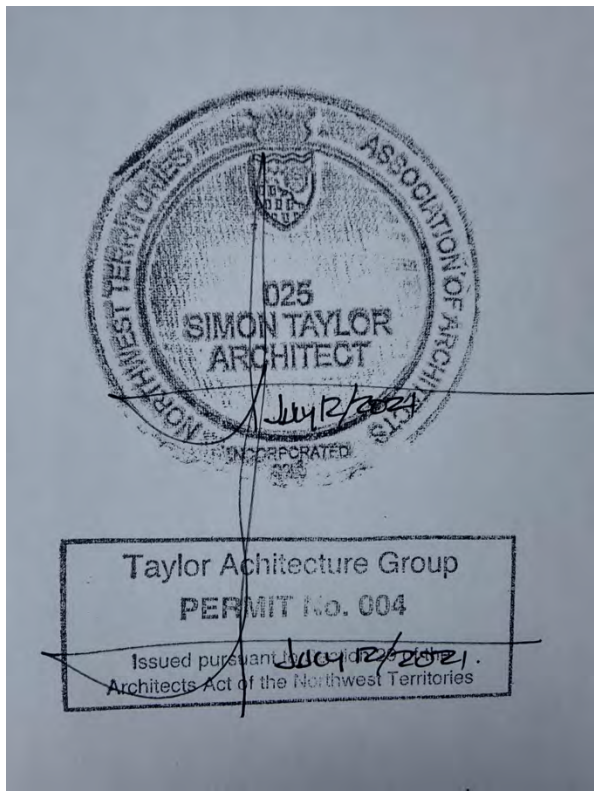
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Project #

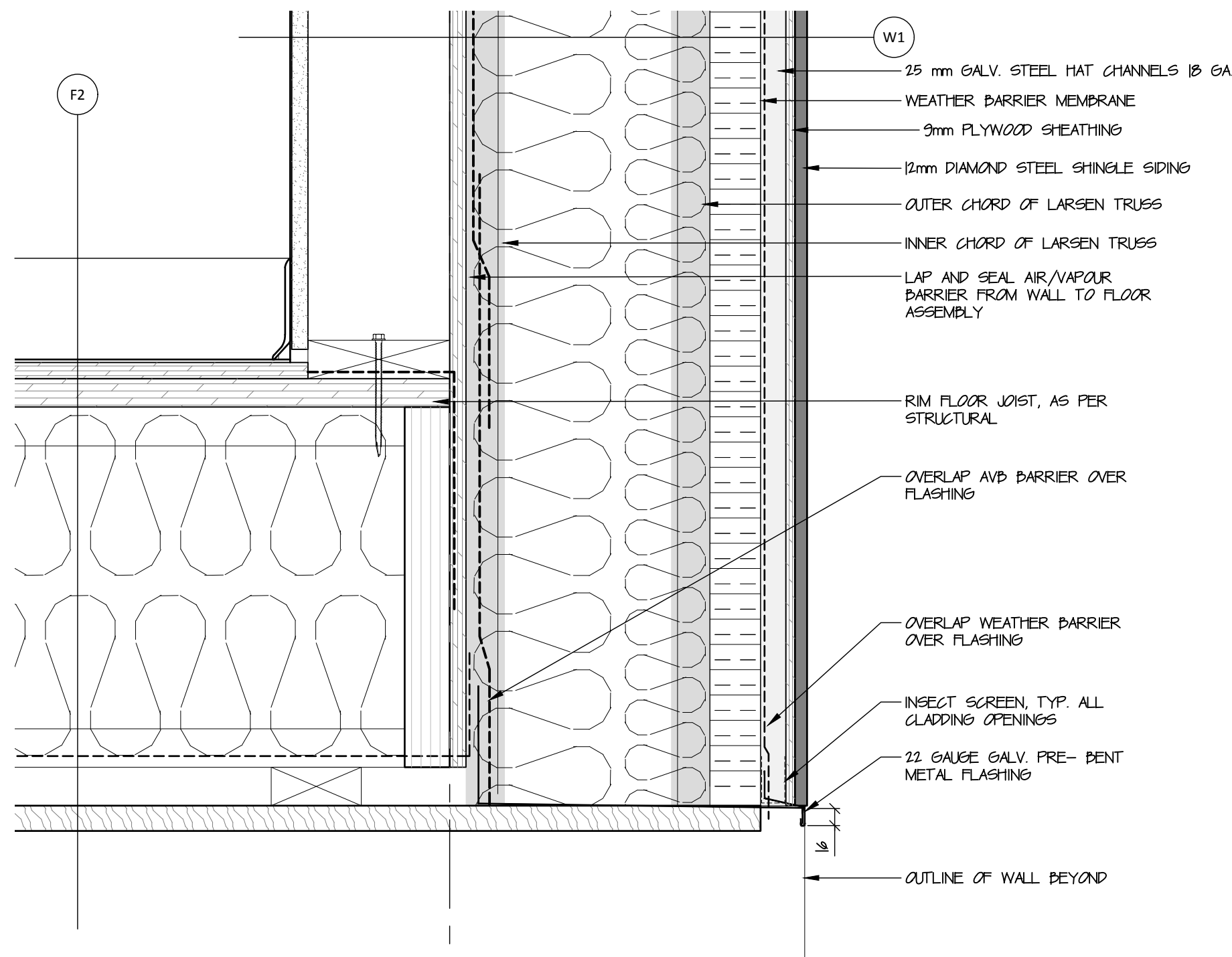
20-040

Drawing #

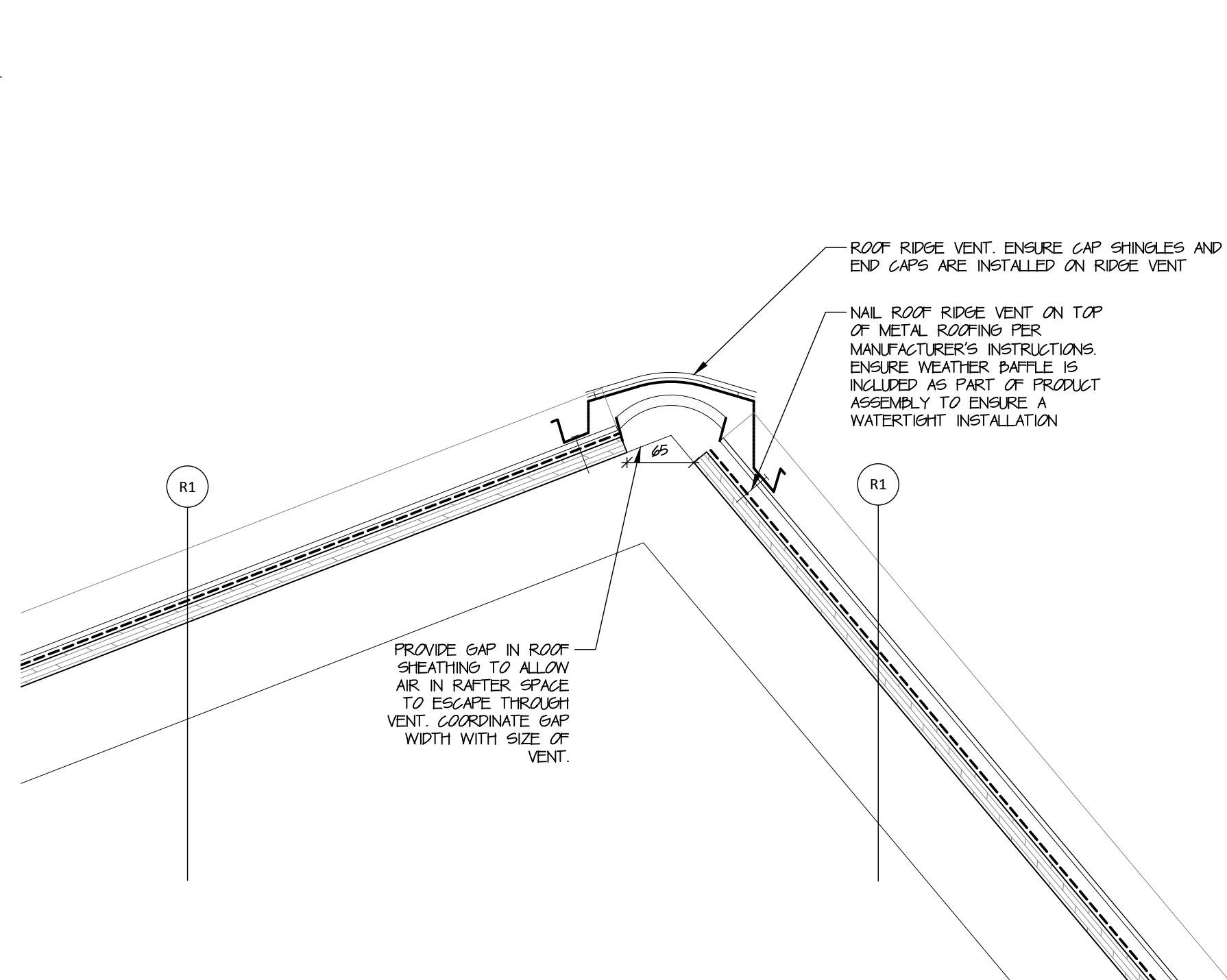
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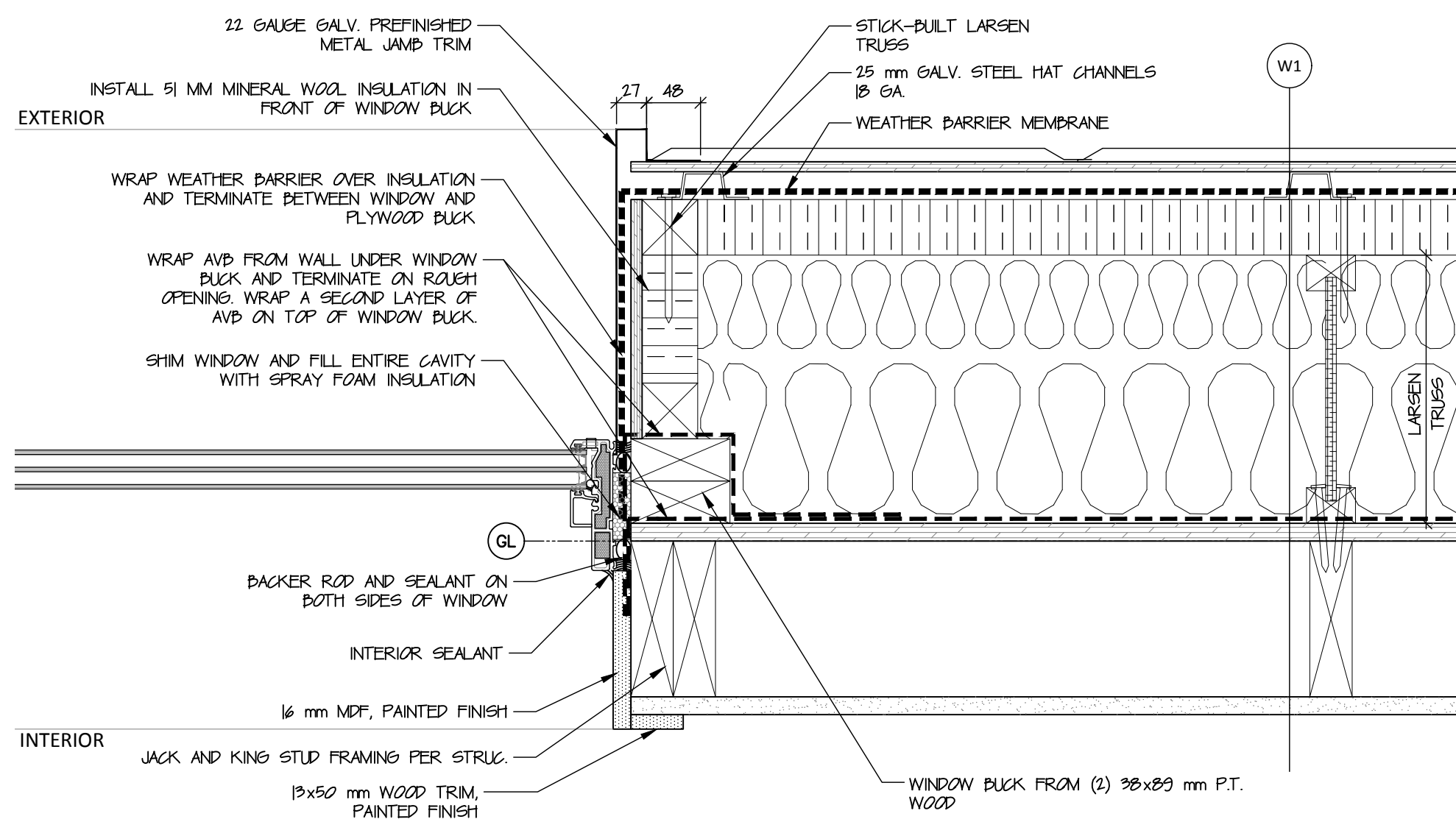
**1 Window Head Detail**  
A603/ scale 1:5



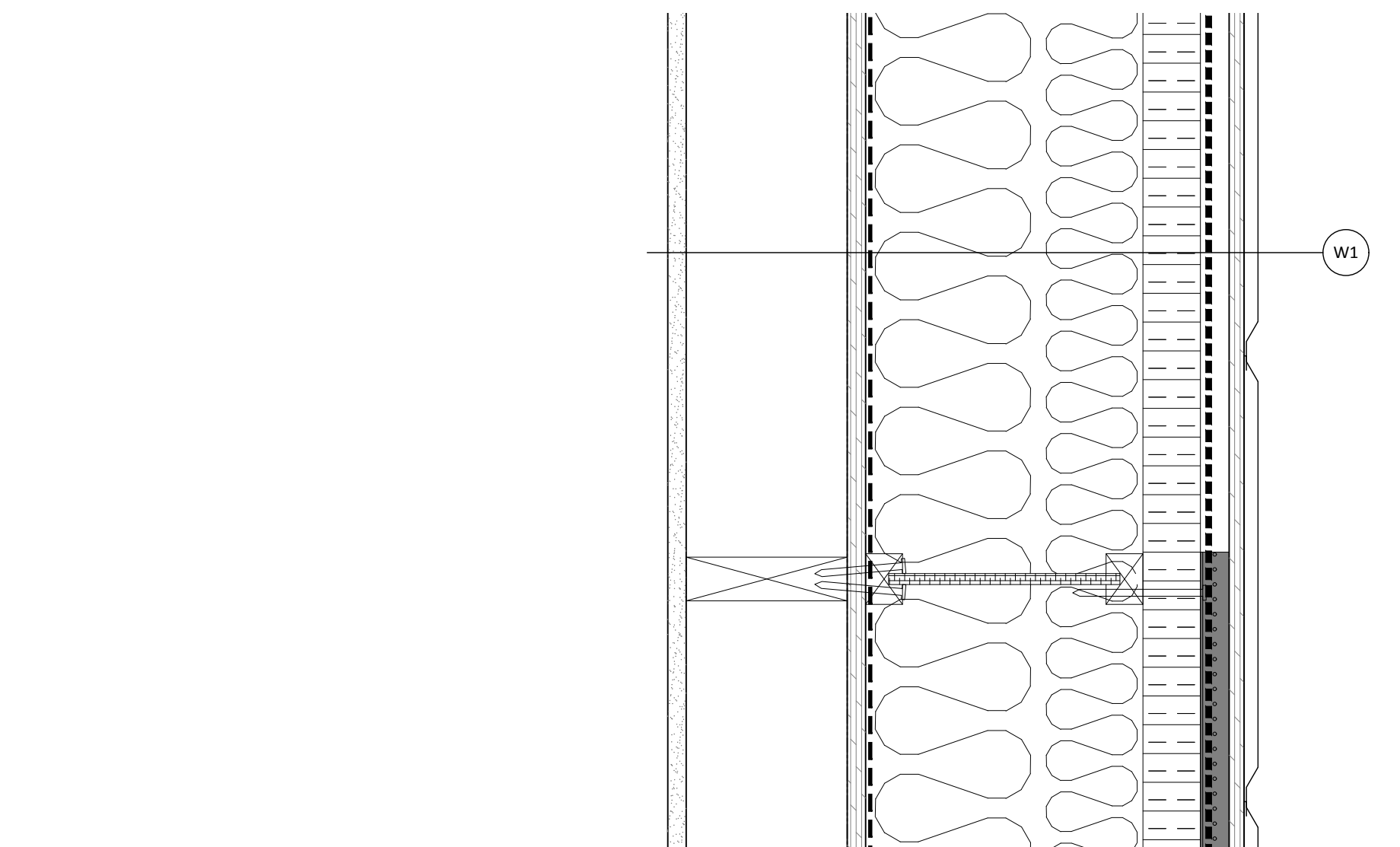
**4 Wall-Floor Detail at Building Entrance**  
A603/ scale 1:5



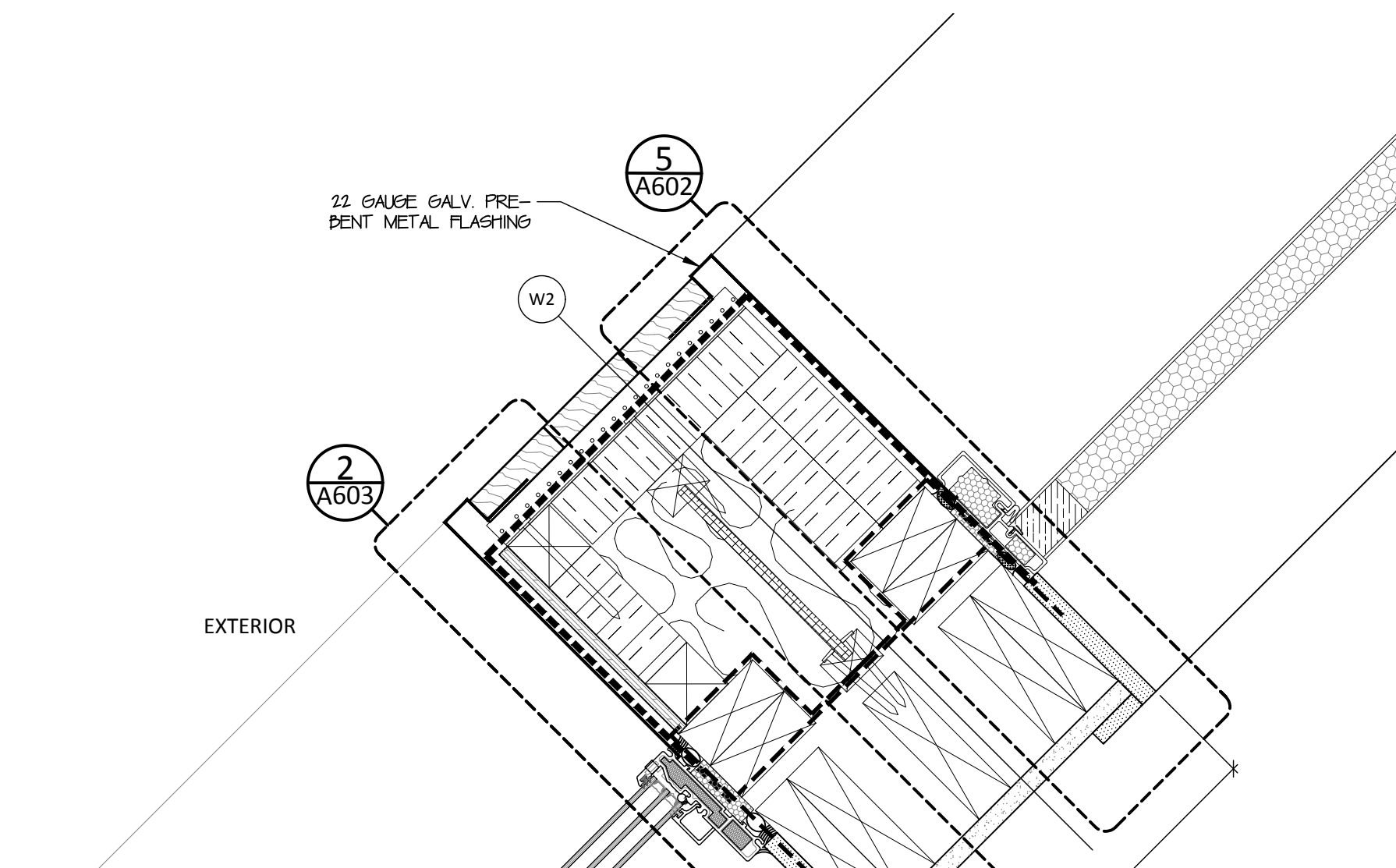
**6 Roof Ridge Vent Detail**  
A603/ scale 1:5



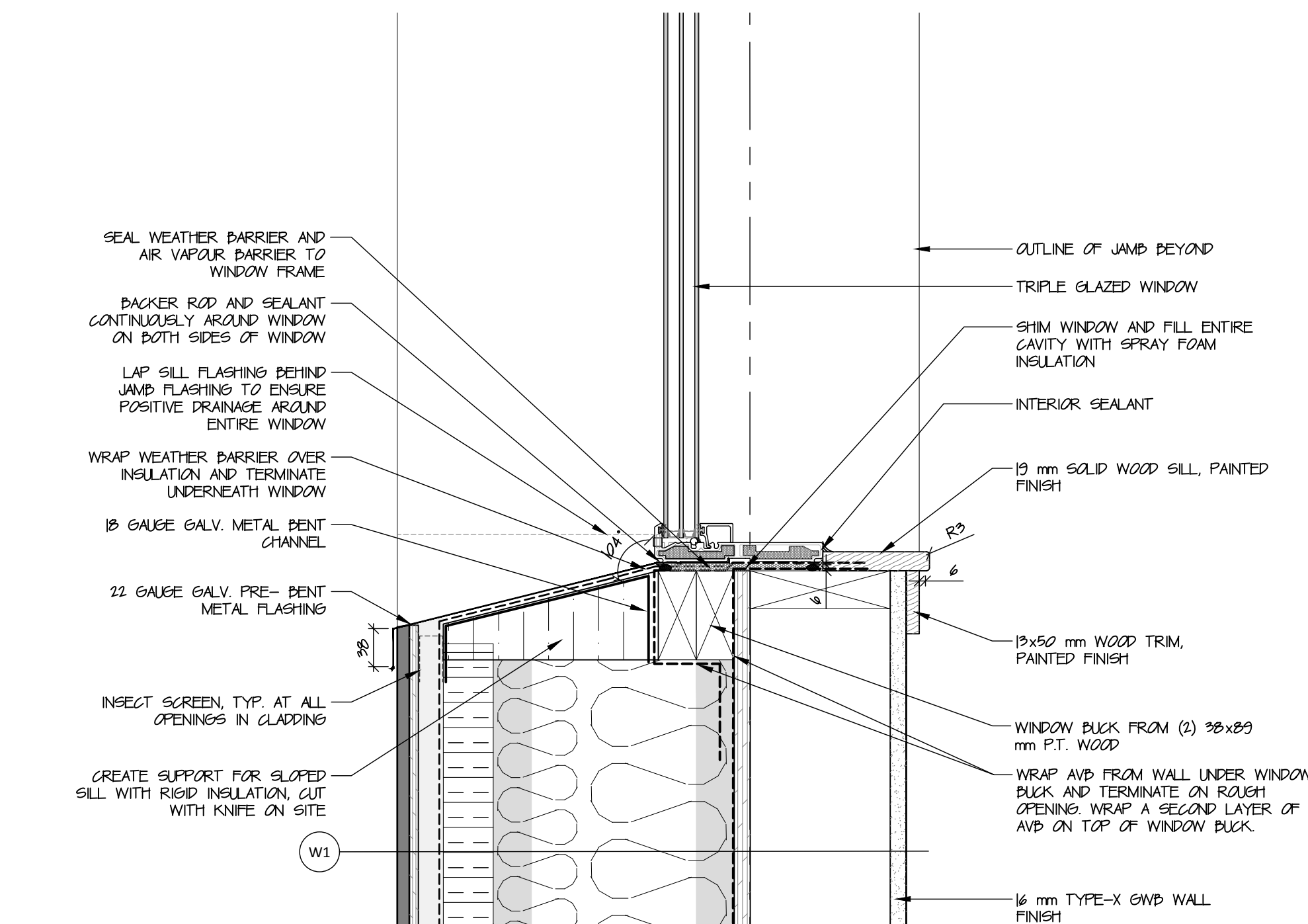
**2 Window Jamb Detail**  
A603/ scale 1:5



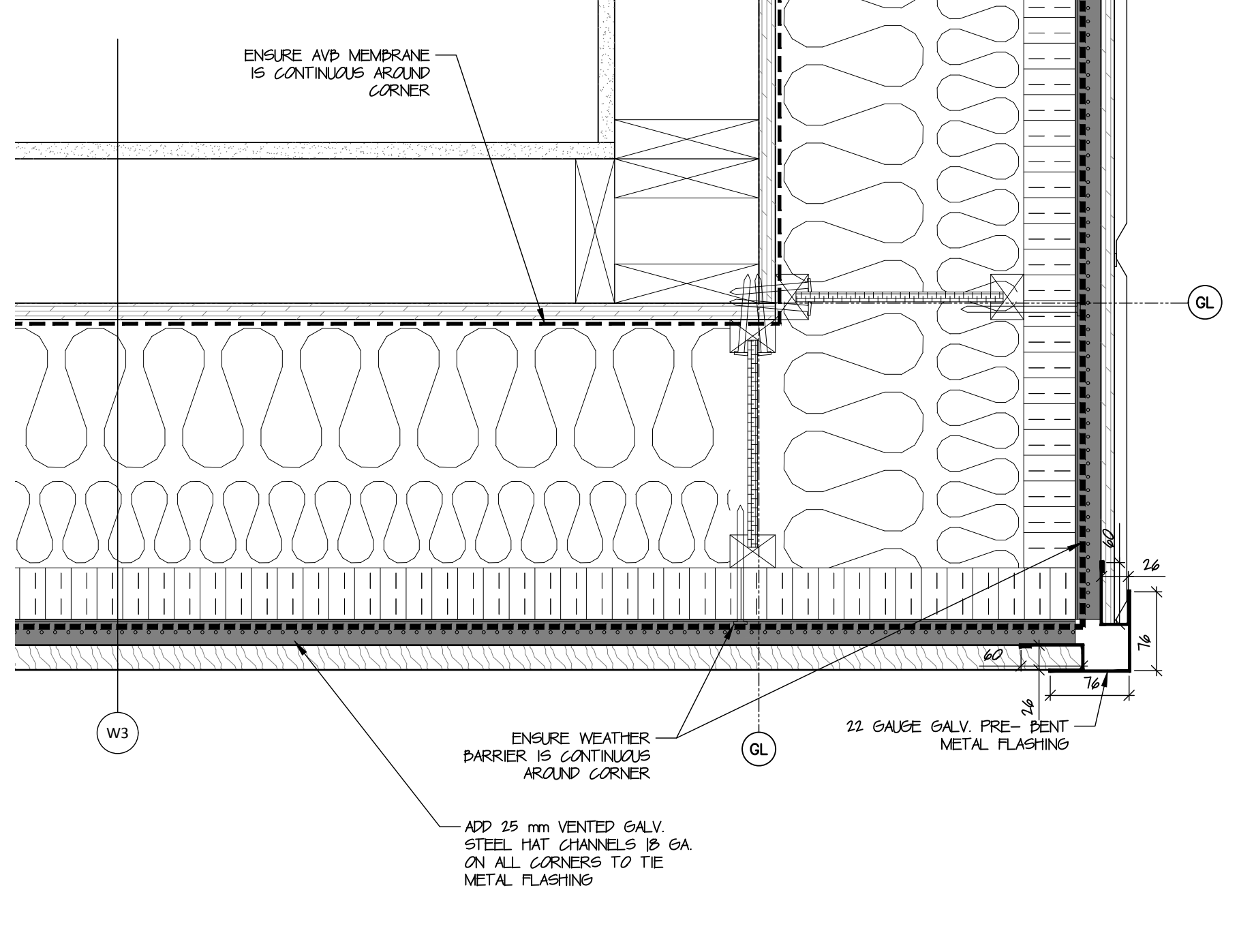
**5 Corner Wall Details**  
A603/ scale 1:5



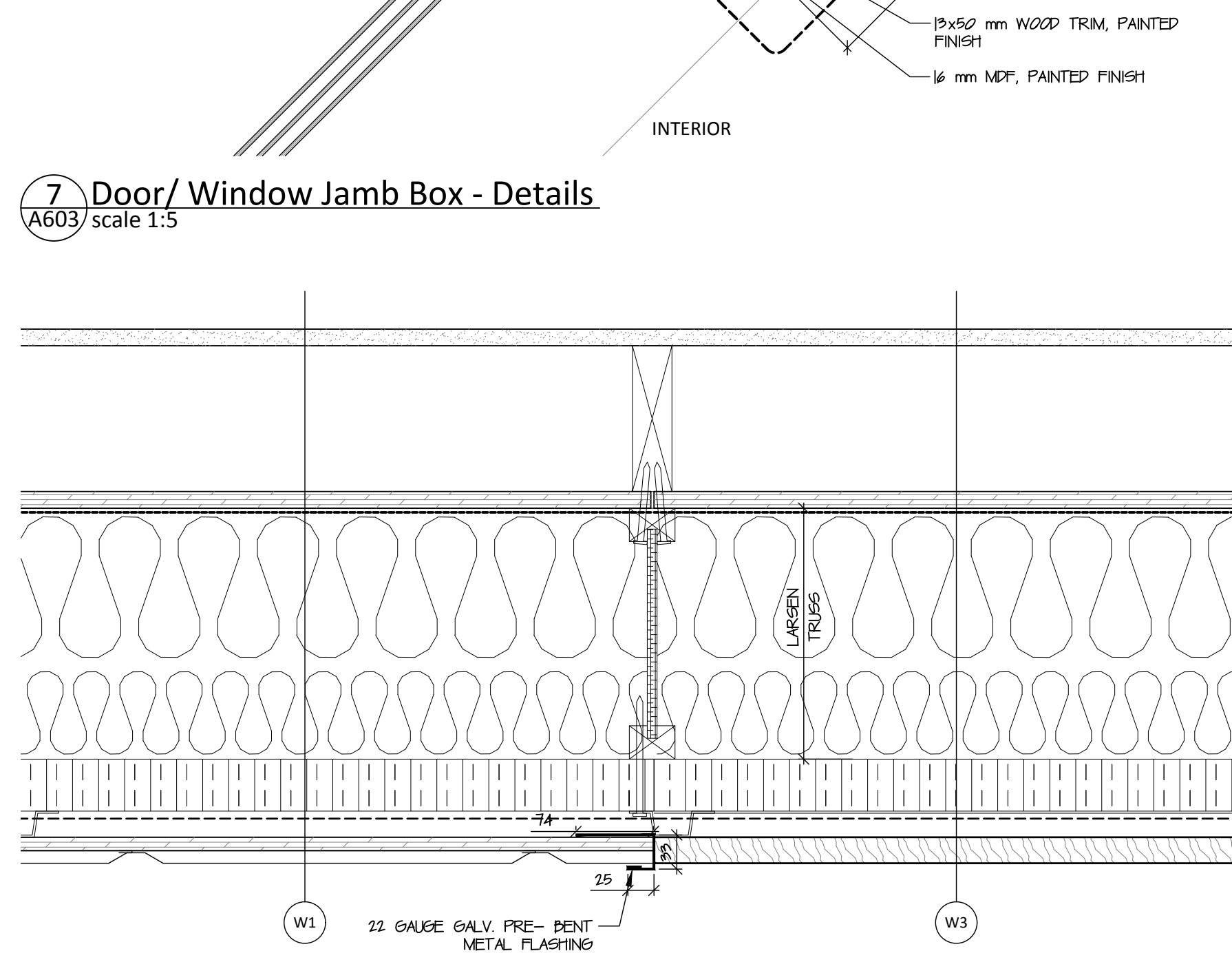
**7 Door/ Window Jamb Box - Details**  
A603/ scale 1:5



**3 Window Sill Detail**  
A603/ scale 1:5



**8 Transition Between Exterior Walls - Cladding**  
A603/ scale 1:5



**8 Transition Between Exterior Walls - Cladding**  
A603/ scale 1:5

**NOT FOR CONSTRUCTION**  
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Revisions  
Date: March 8, 2021

Project: JEJE ZHO TH MEN'S SHELTER

Dawson City, YT

project north true north

Drawing by: H.A.

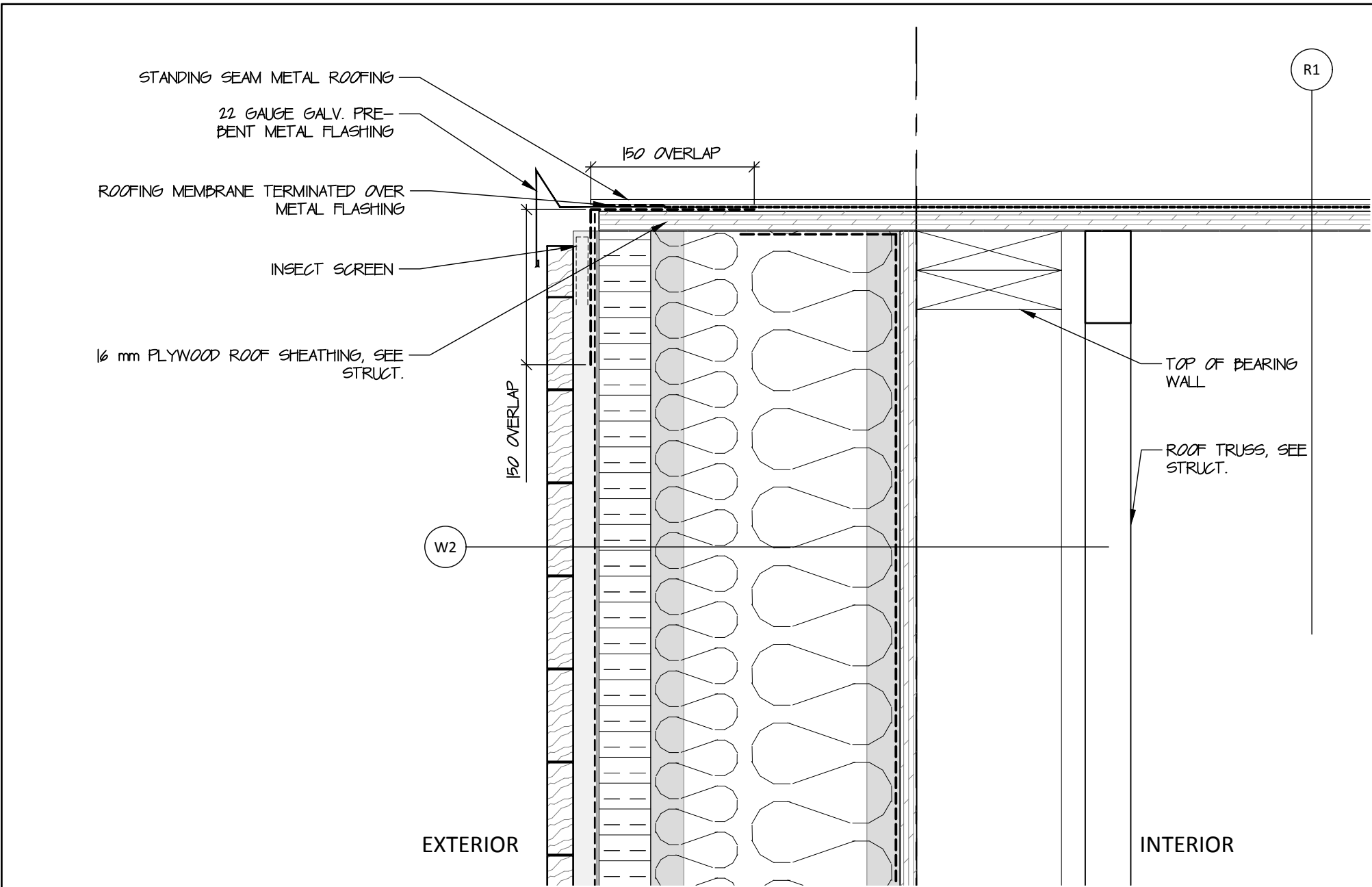
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Scale: As Noted/ 1:10

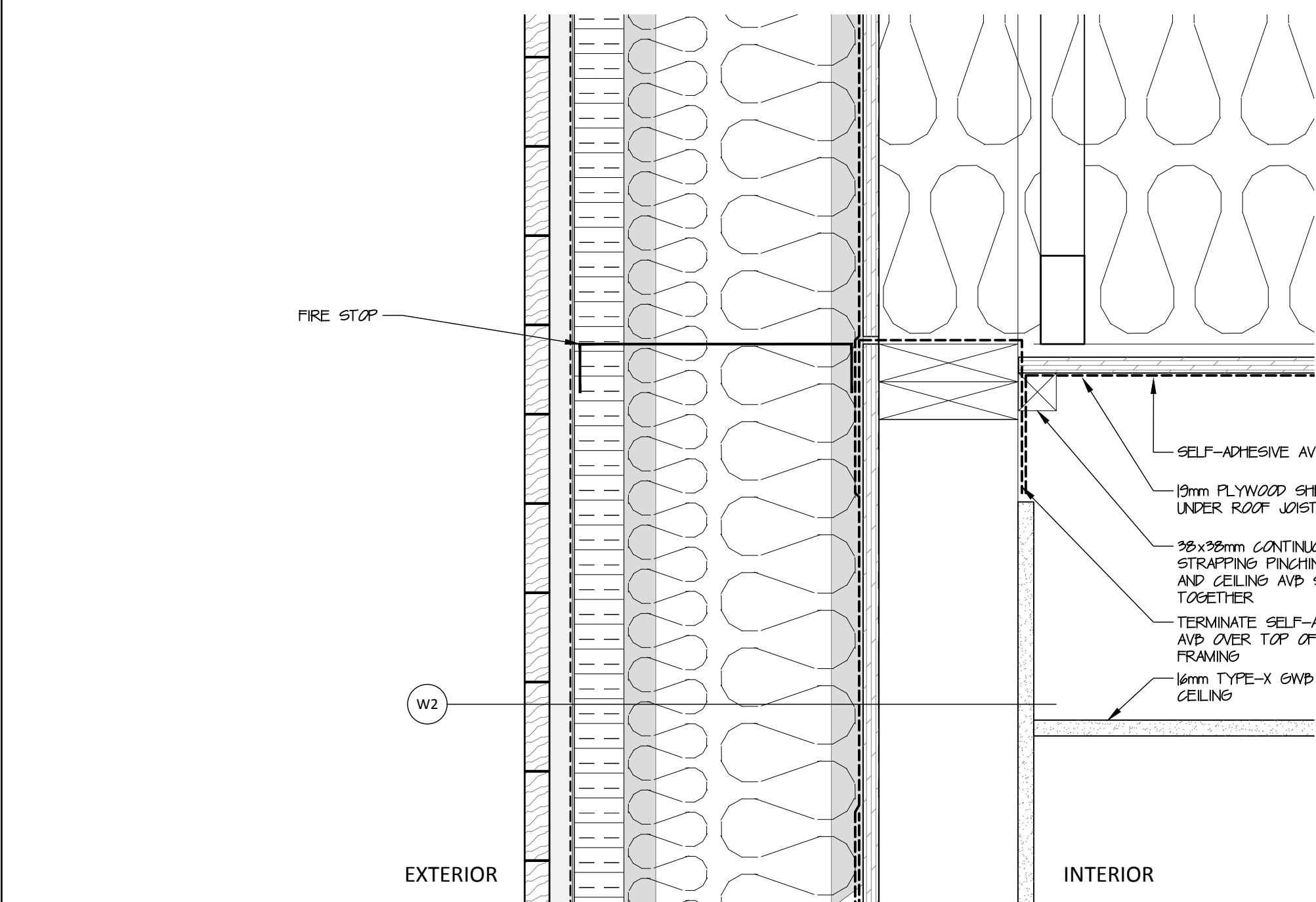
Sheet name: Envelope Details - Doors and Windows

Project # 20-040

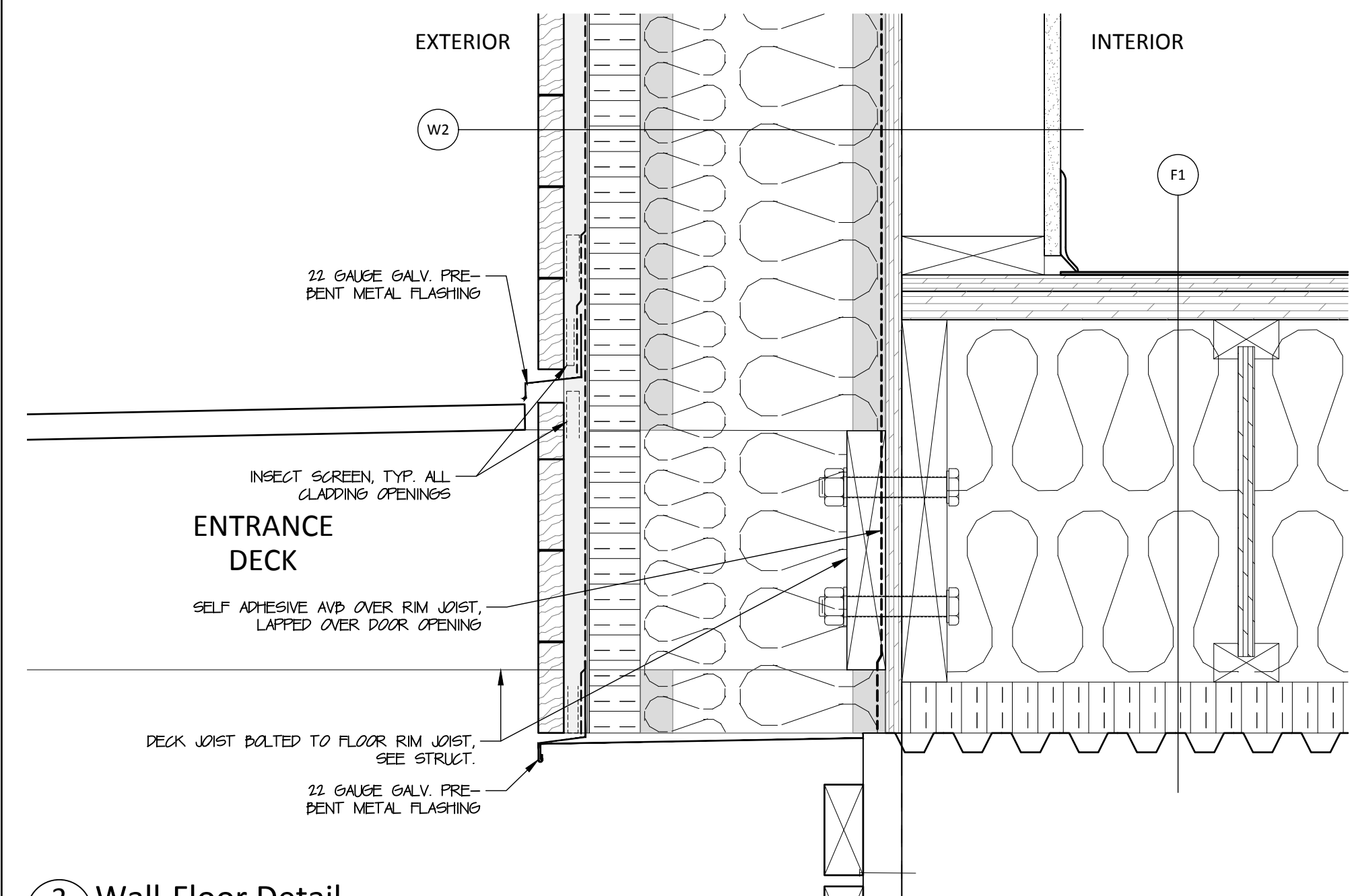
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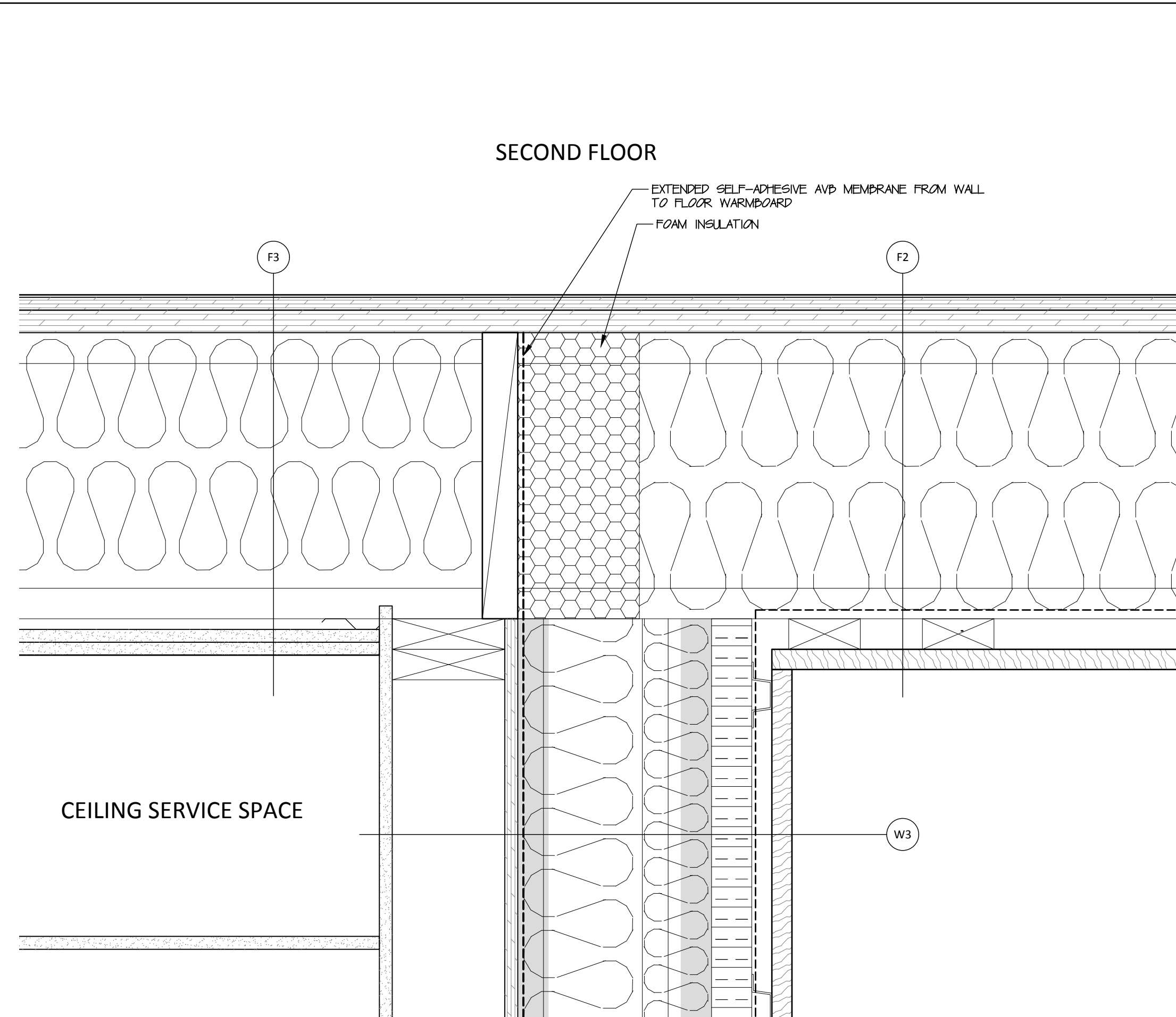
1 Roof-Wall Detail  
A604/ scale 1:5



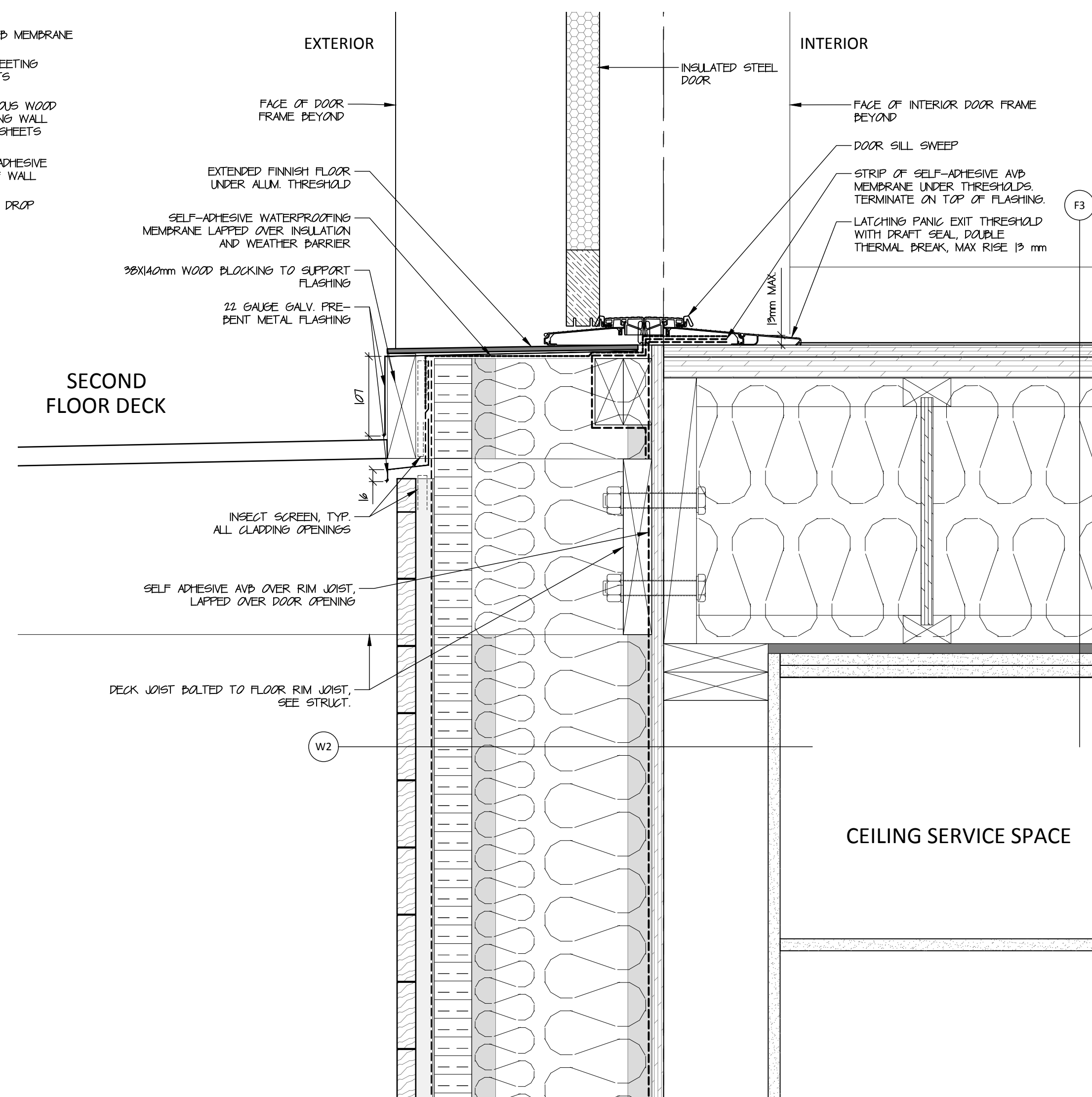
2 Wall-Ceiling Detail  
A604/ scale 1:5



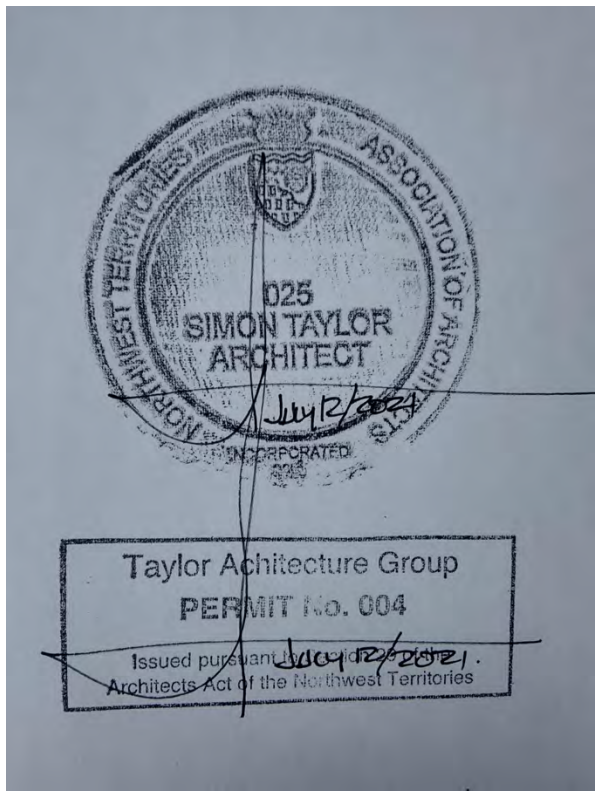
3 Wall-Floor Detail  
A604/ scale 1:5



4 Second Floor Details  
A604/ scale 1:5



5 Second Floor Door - Details  
A604/ scale 1:5



**NOT FOR CONSTRUCTION**  
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1	21-Mar-30	Issued for Design Development
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Revisions  
Date: March 8, 2021

Project: JEJE ZHO TH MEN'S SHELTER

Dawson City, YT

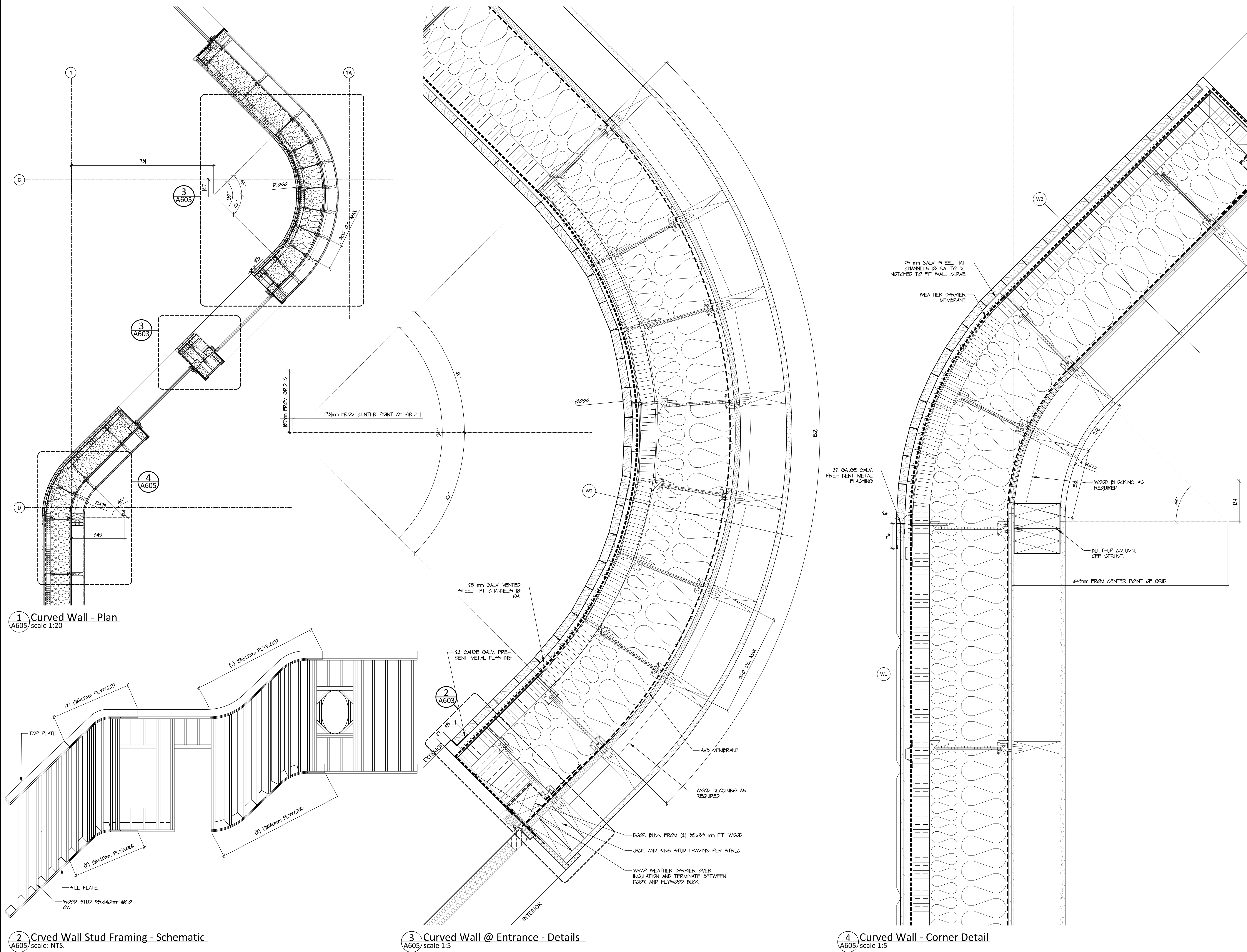
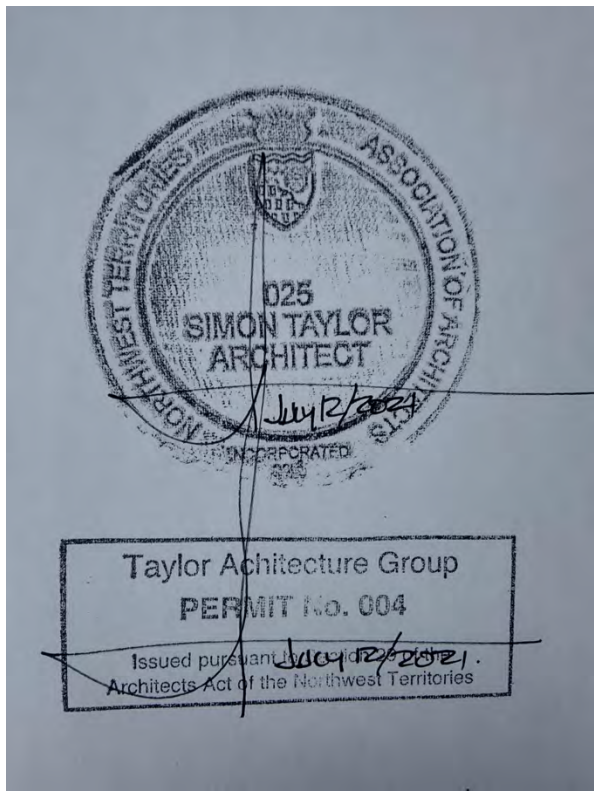
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Drawing by: H.A.  
Checked by: S.T.  
Scale: As Noted/ 1:5

Sheet name:

Envelope Details

Project # 20-040

Drawing # A604



**NOT FOR CONSTRUCTION**  
ALL DIMENSIONS TO BE SITE VERIFIED BY CONTRACTOR

#	Date	Description
2	21-July-12	Issued for Tender
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#	Date	Description

Revisions  
Date: March 8, 2021

Project:  
**JEJE ZHO TH MEN'S SHELTER**

Dawson City, YT

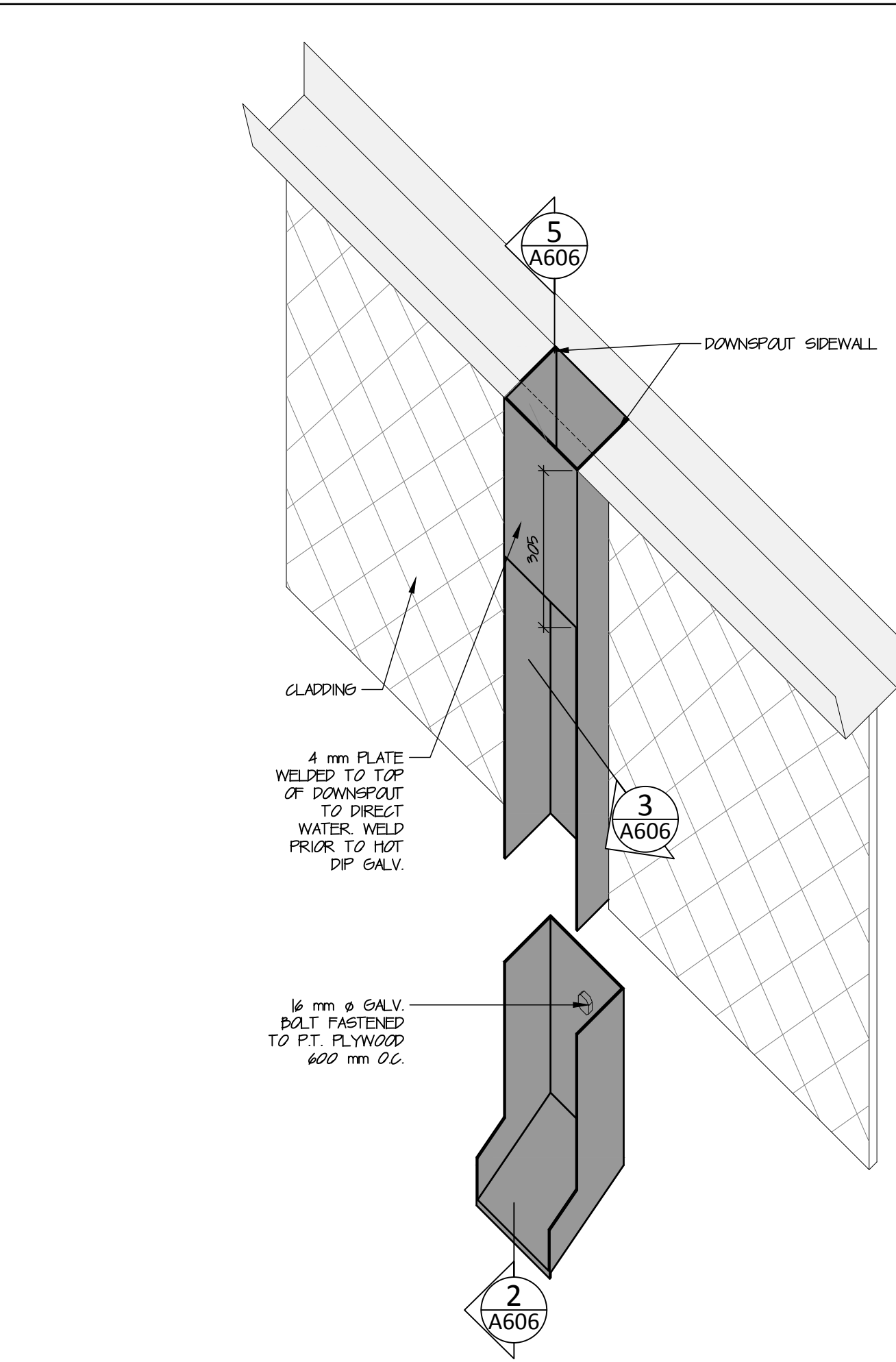
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	Checked by: S.T.
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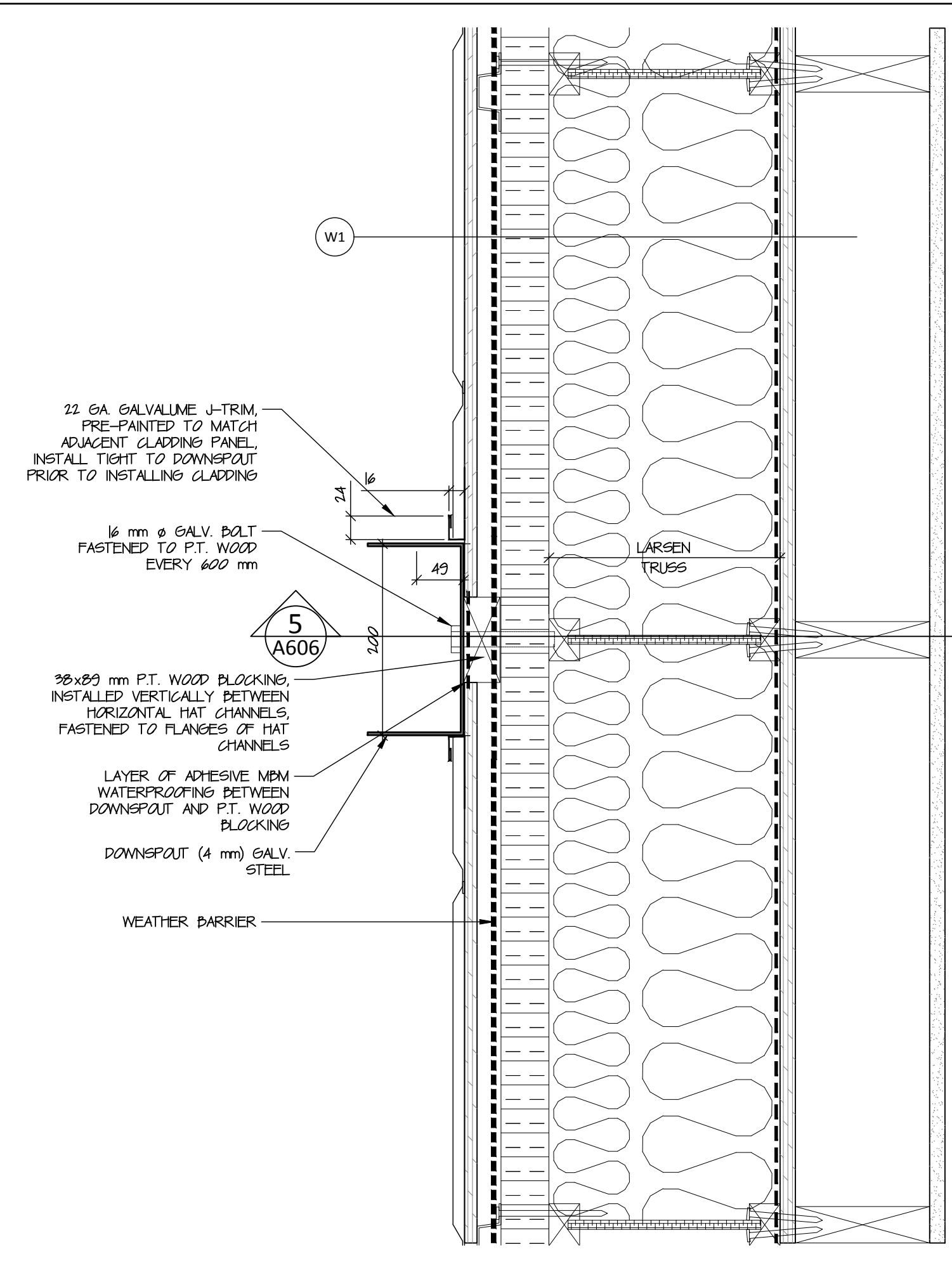
**Envelope Details - Exterior Curved Wall**

Project #  
**20-040**

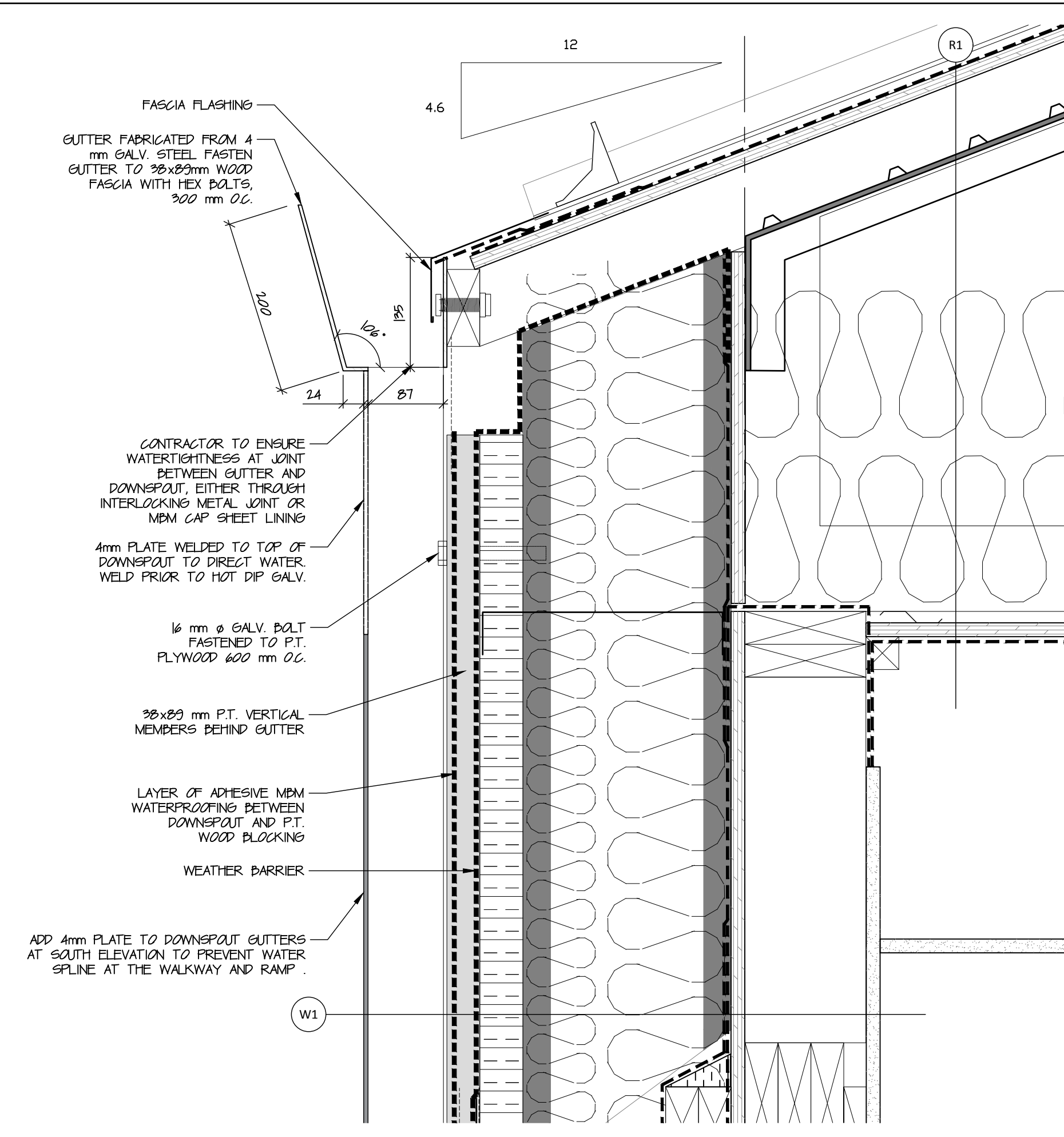
Drawing #  
**A605**



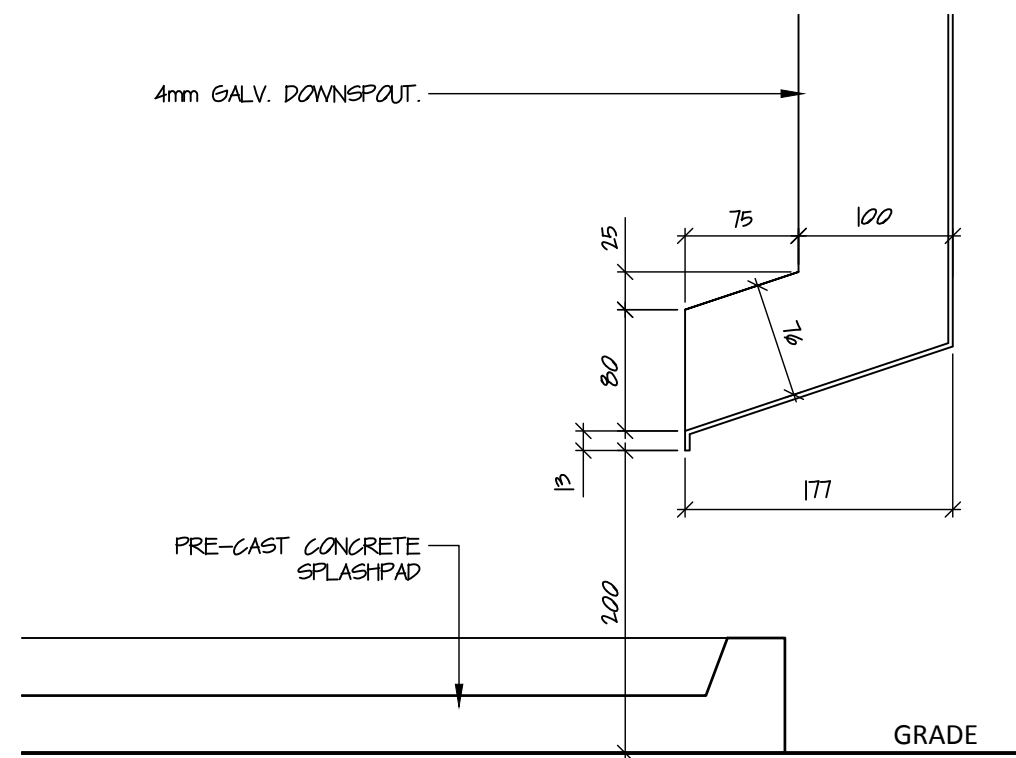
1 Downspout - Axonometric  
A606/ 1:10



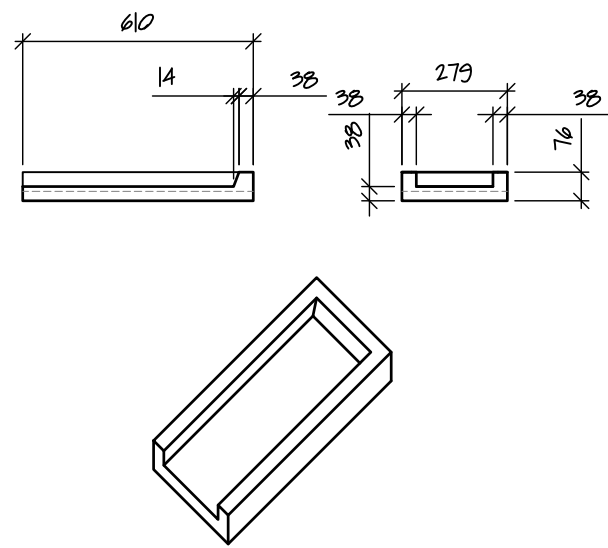
3 Downspout Detail - Plan  
A606/ scale 1:5



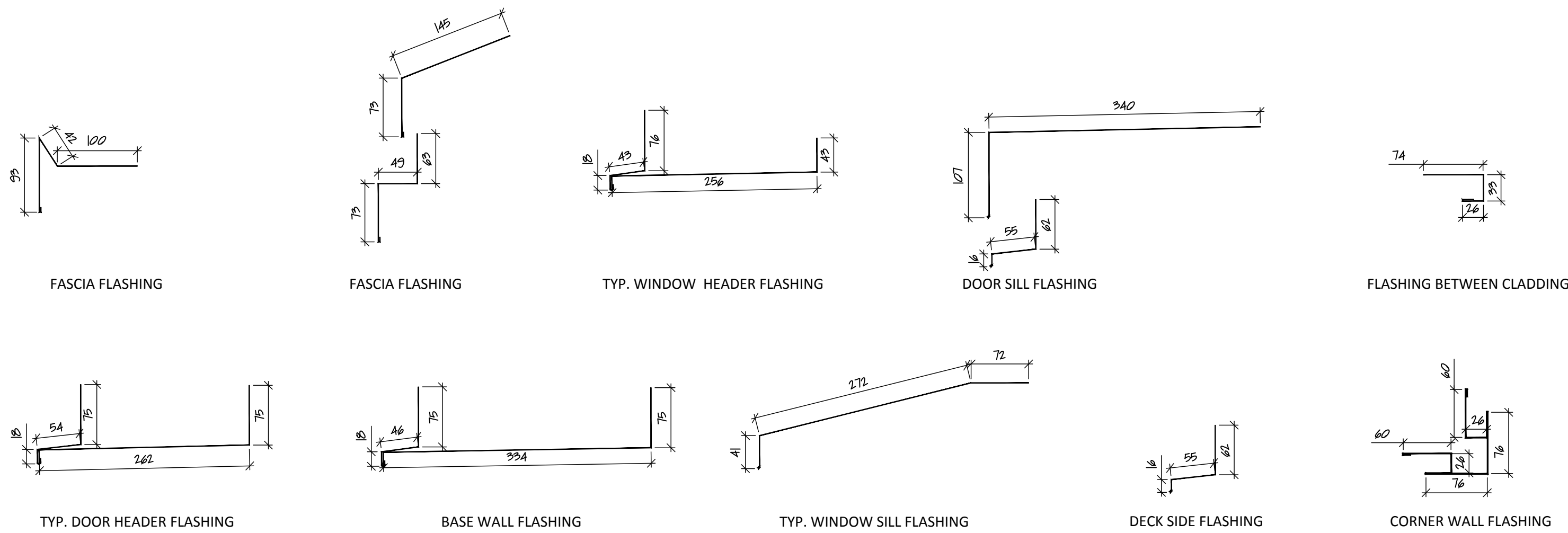
5 Gutter Detail at Downspout  
A606/ scale 1:5



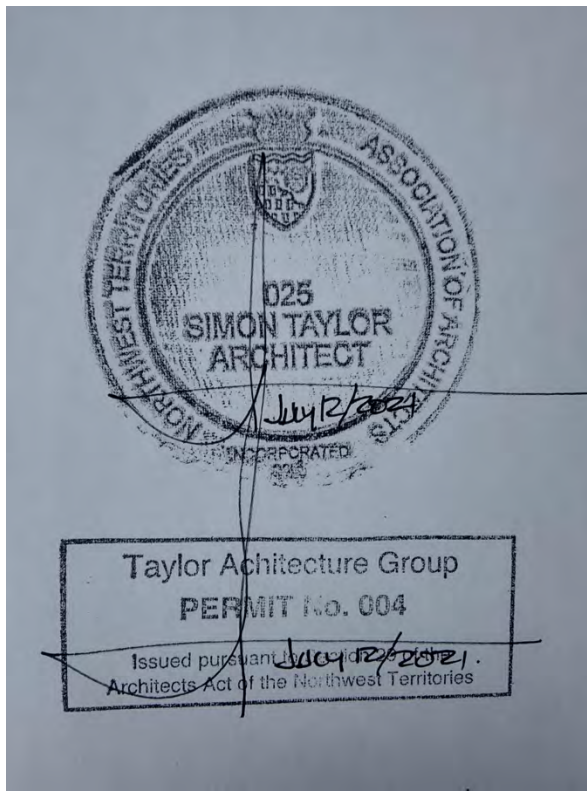
2 Downspout Detail - Section  
A606/ scale 1:5



4 Concrete Splashpad  
A606/ scale 1:20



6 Major Flashing Types  
A606/ scale 1:5



**NOT FOR CONSTRUCTION**  
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Revisions  
Date: March 8, 2021

Project: JEJE ZHO TH MEN'S SHELTER

Dawson City, YT

project north true north	Drawing by: T.F.
	Checked by: S.T.
	Scale: As Noted/ 1:10

Sheet name:

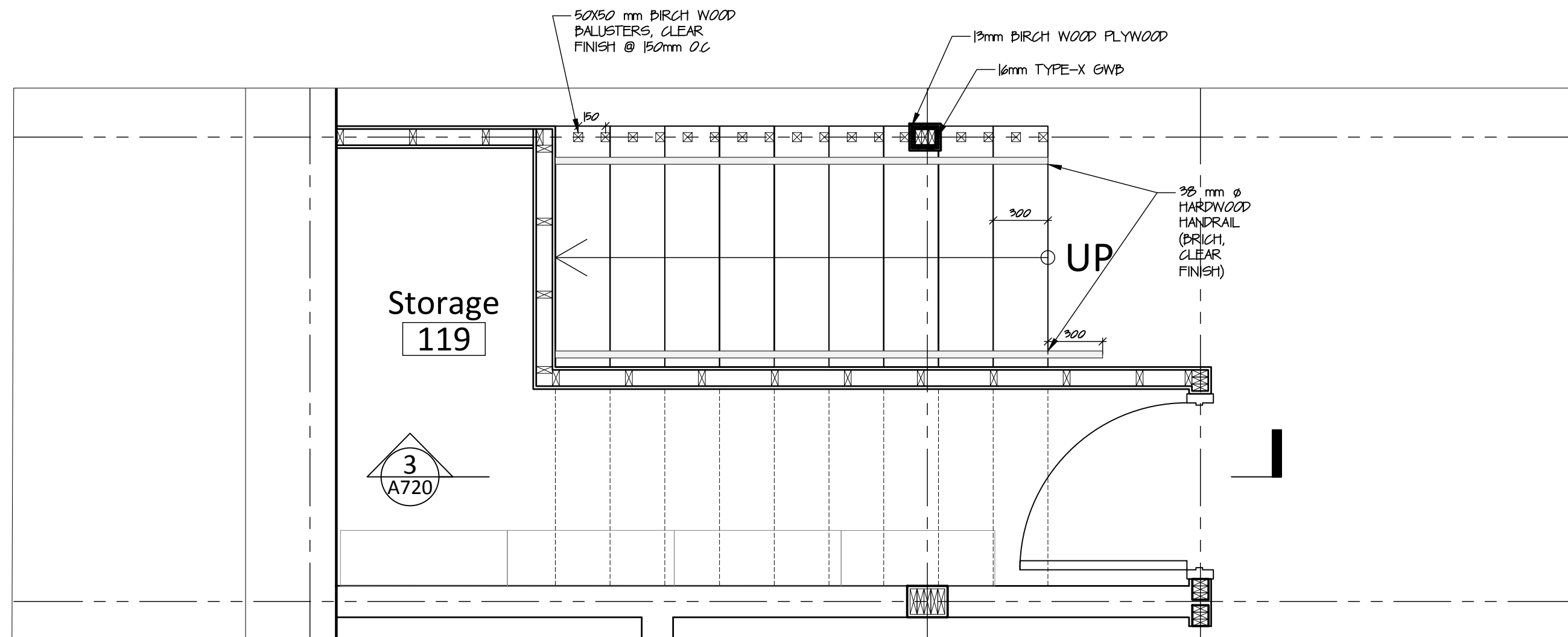
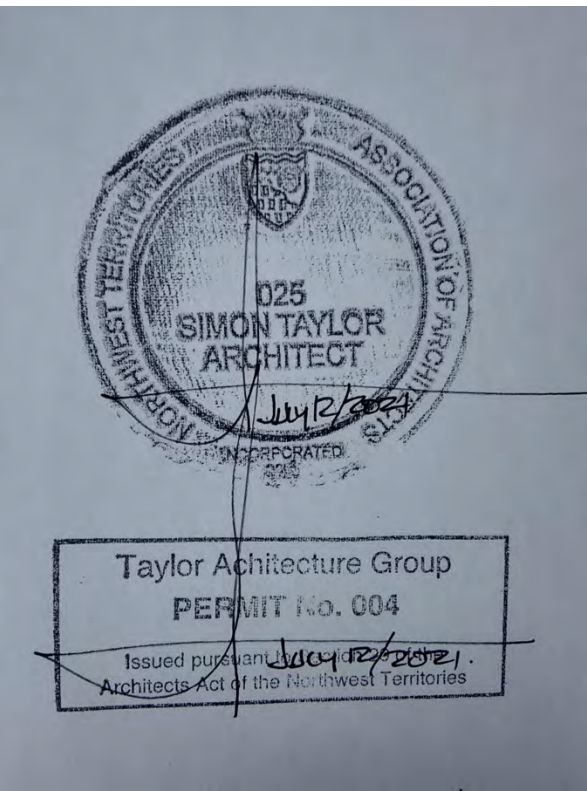
Downspout and MISC.  
Details

Project #

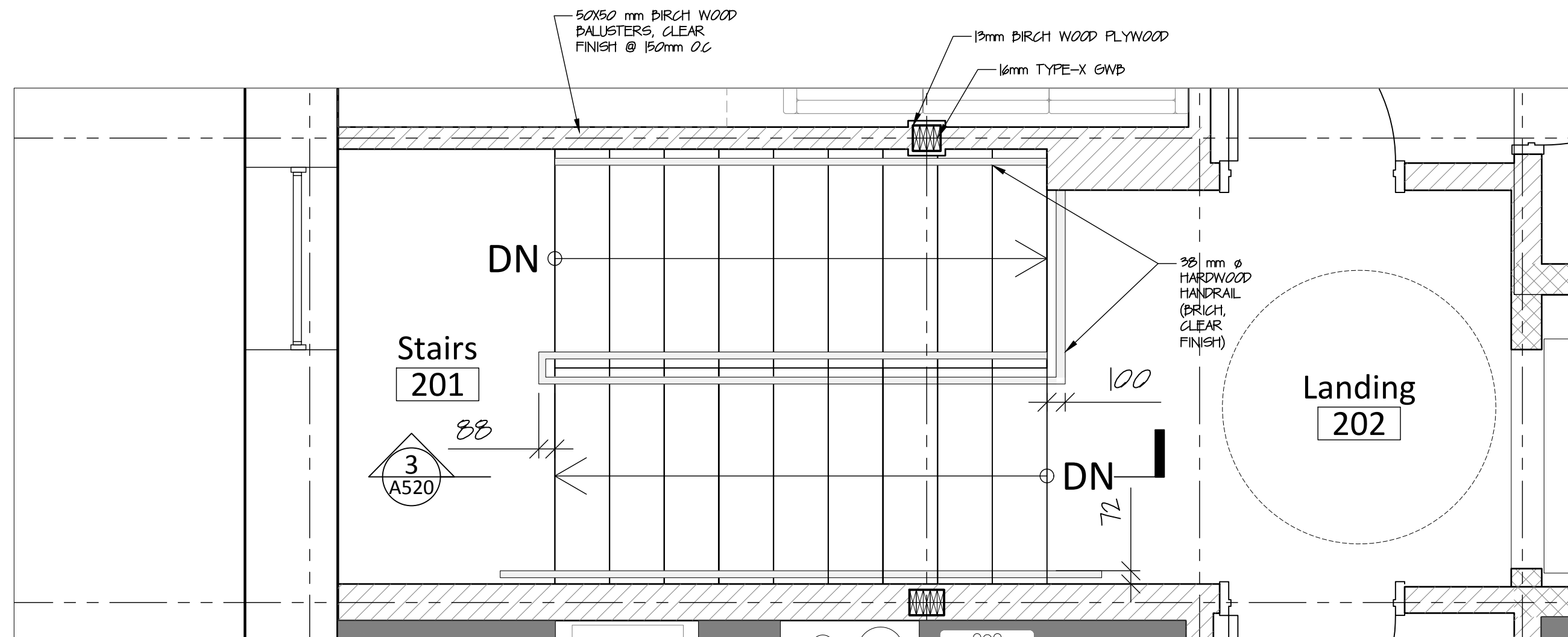
20-040

Drawing #

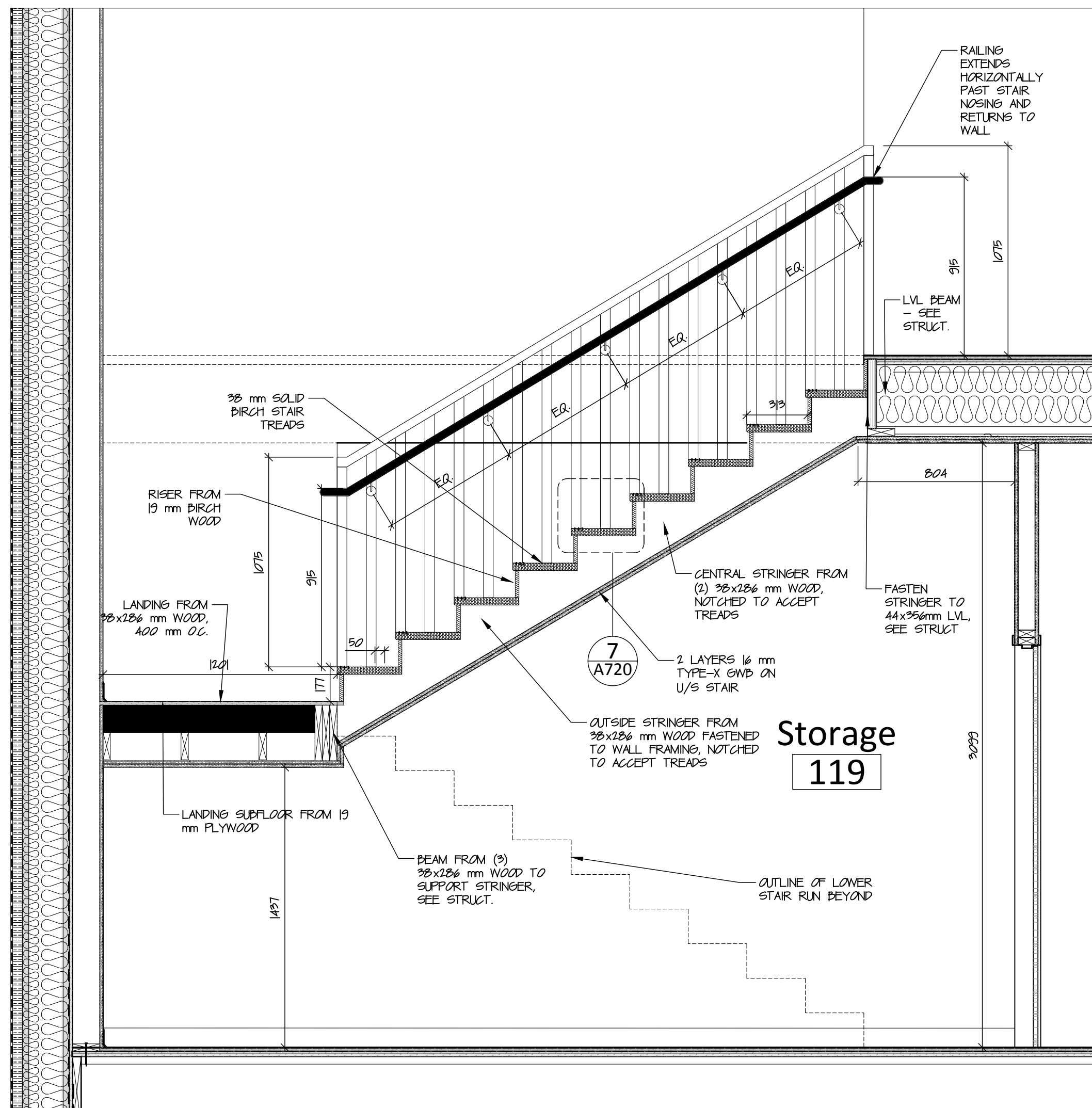
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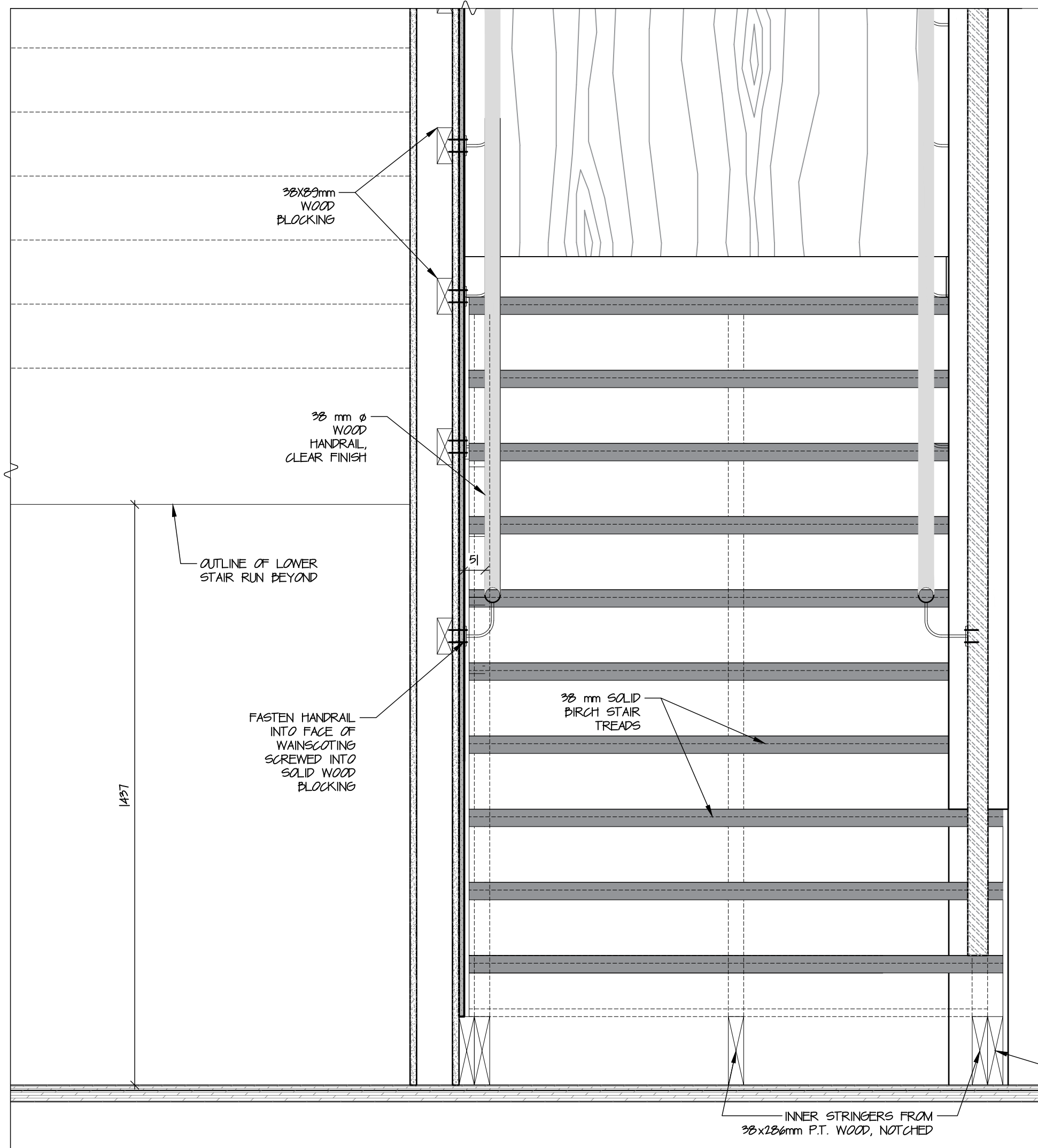
1 STAIRS PLAN - 1ST FLOOR  
A720 scale 1:25



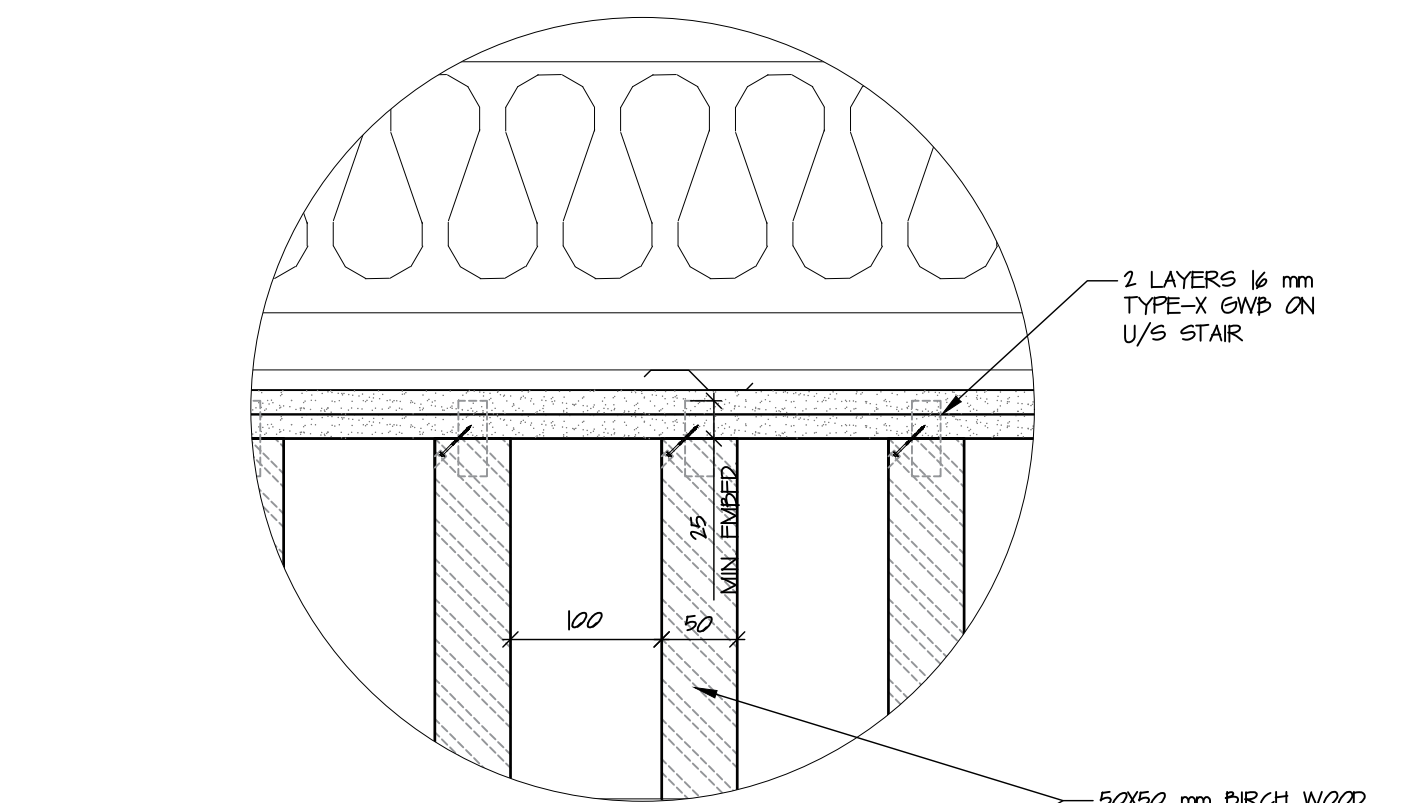
2 STAIRS PLAN - 2ND FLOOR  
A720 scale 1:25



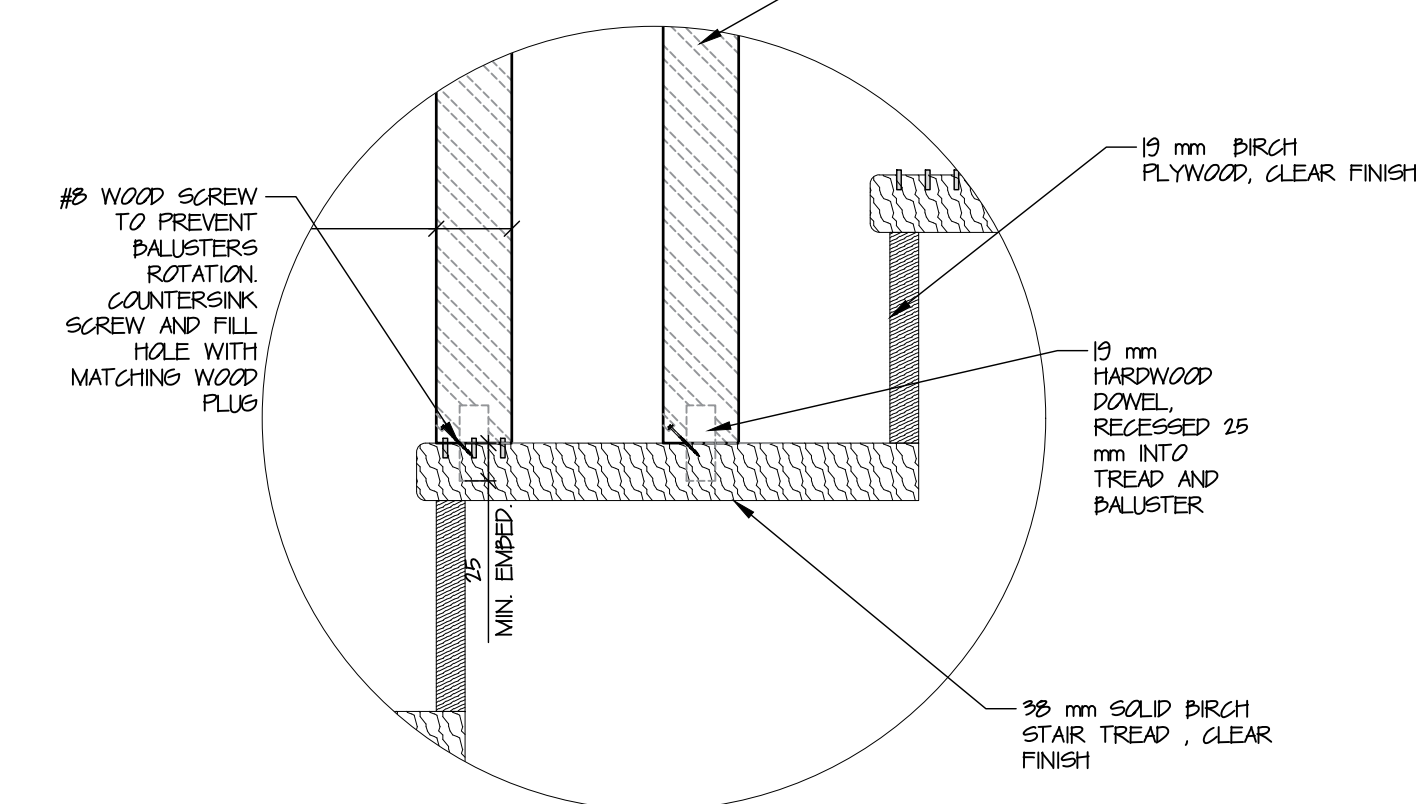
3 STAIRS SECTION DETAILS  
A720 scale 1:20



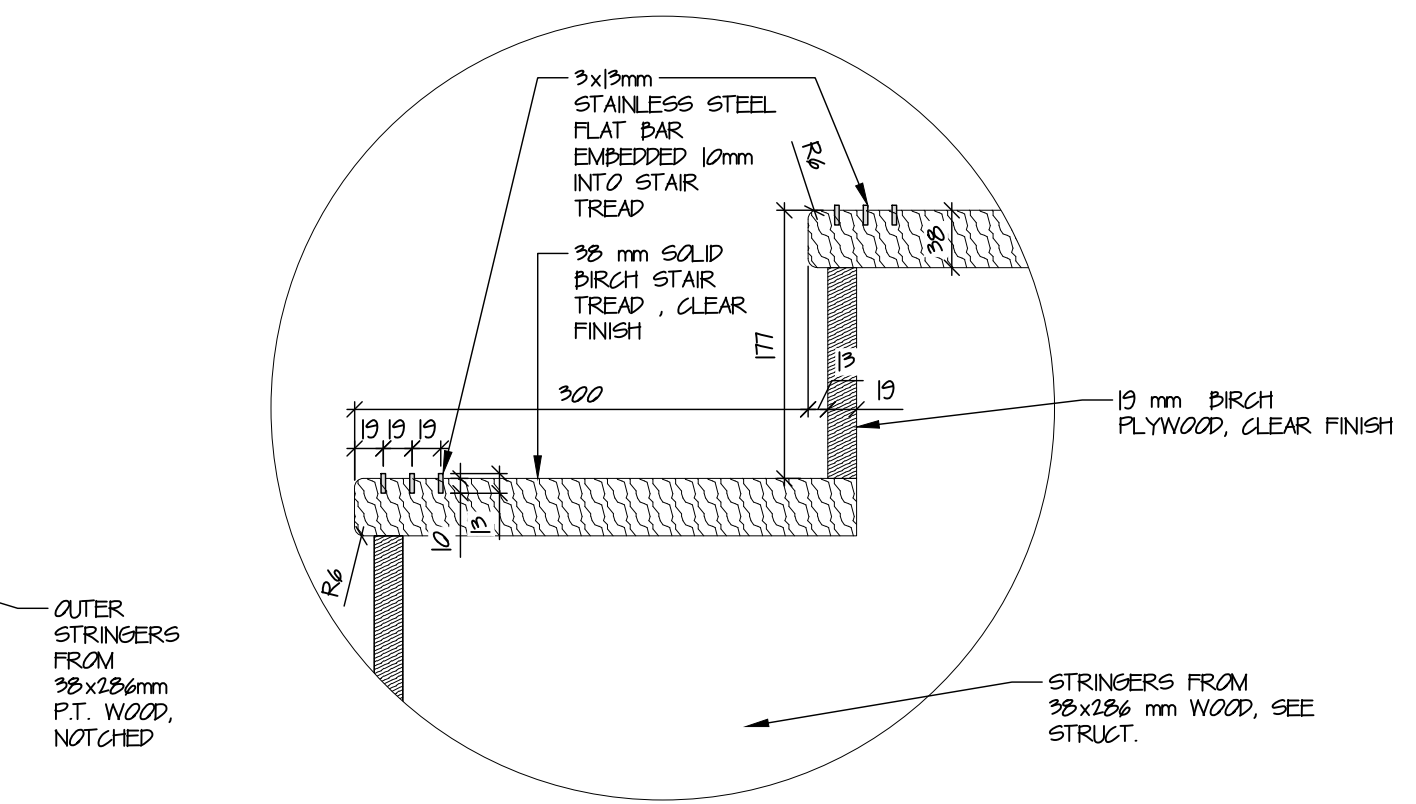
4 STAIRS SECTION DETAILS  
A720 scale 1:10



5 BALUSTER INSTALLATION DETAIL  
A720 scale 1:5



6 BALUSTER INSTALLATION DETAIL  
A720 scale 1:5



7 STAIRS TREAD DETAIL  
A720 scale 1:5

**NOT FOR CONSTRUCTION**  
ALL DIMENSIONS TO BE SITE VERIFIED BY CONTRACTOR

#	Date	Description
2	21-Jul-12	Issued for Tender
1	21-Jun-16	Issued for 100% Construction Documents

Revisions  
Date: May 20, 2021

Project:  
**JEJE ZHO TH MEN'S SHELTER**

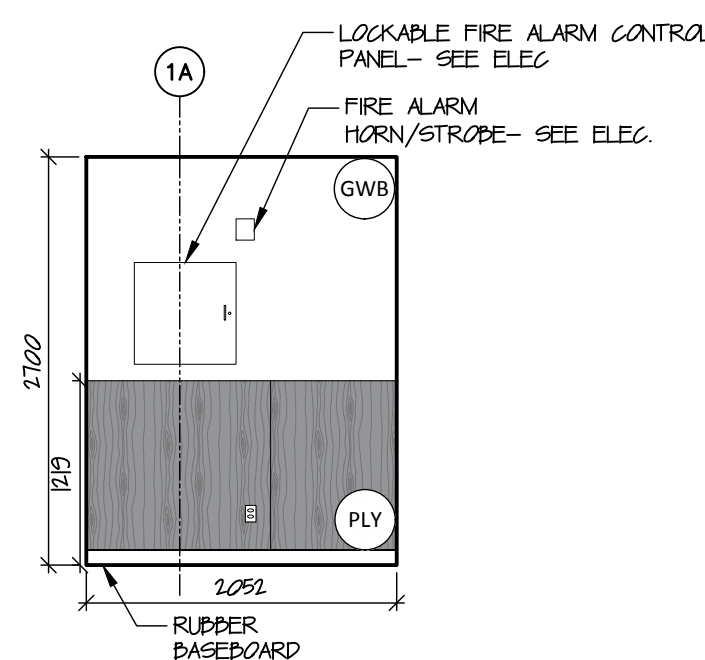
Dawson City, YT

project north  
true north  
Drawing by: R.L.  
Checked by: S.T.  
Scale: As Noted

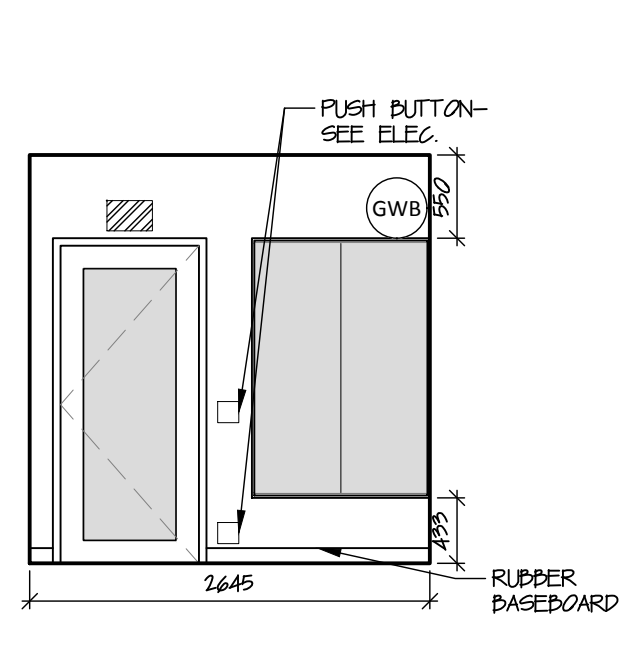
Sheet name:  
**Interior Stairs Details**

Project #  
**20-040**

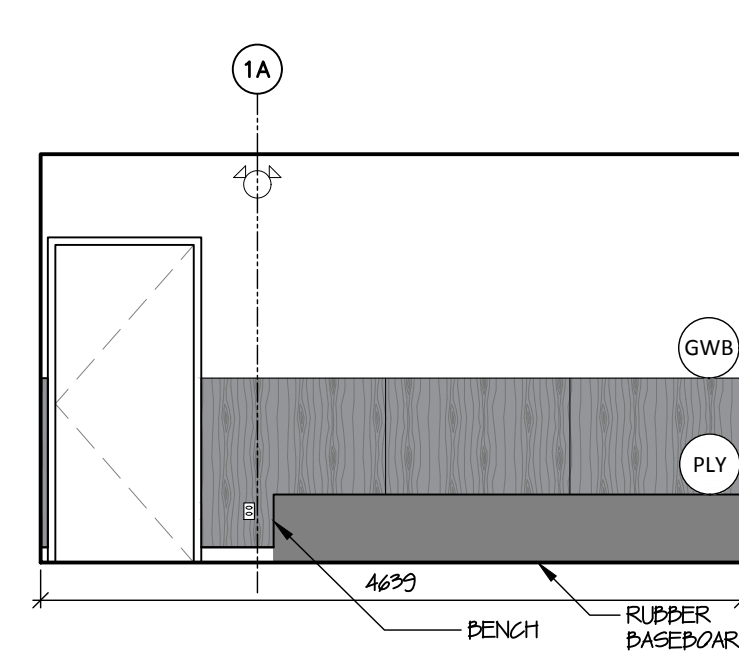
Drawing #  
**A720**



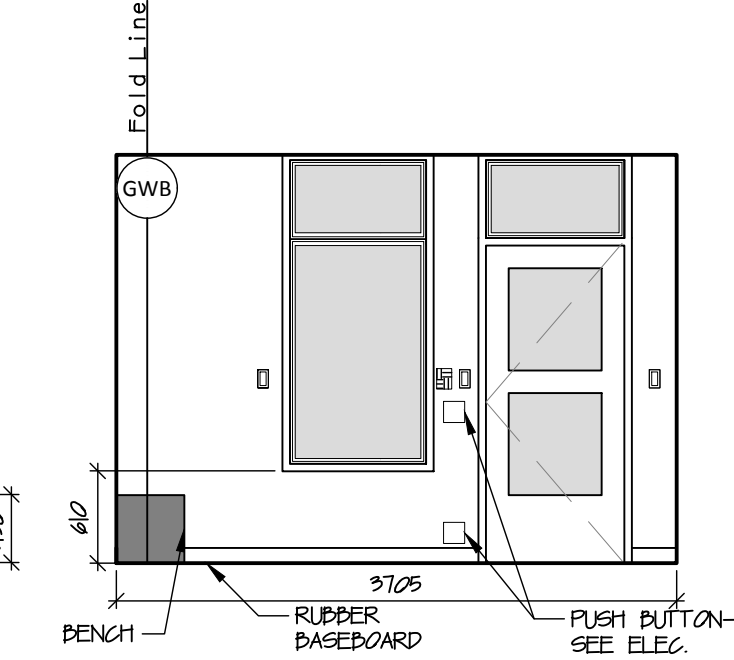
1 RM 101-Entrance Vestibule North  
A801 scale 1:50



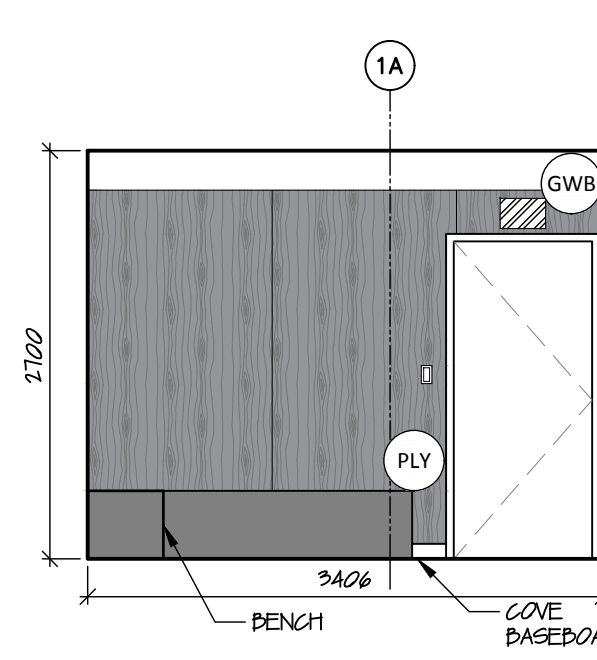
2 RM 101-Entrance Vestibule East  
A801 scale 1:50



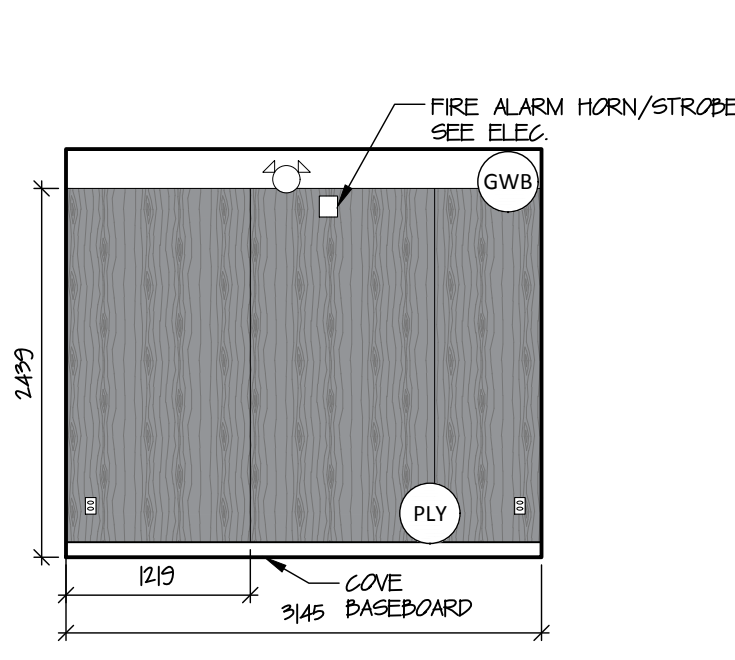
3 RM 101-Entrance Vestibule South  
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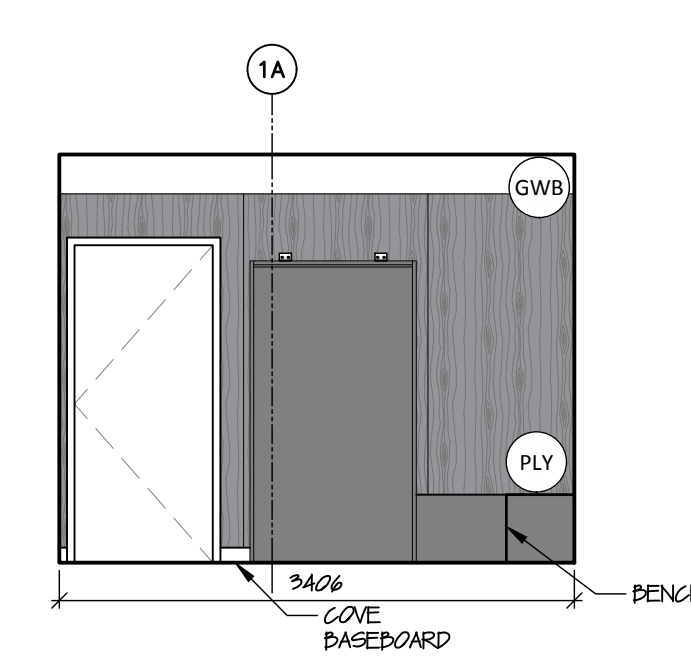
4 RM 101-Entrance Vestibule West  
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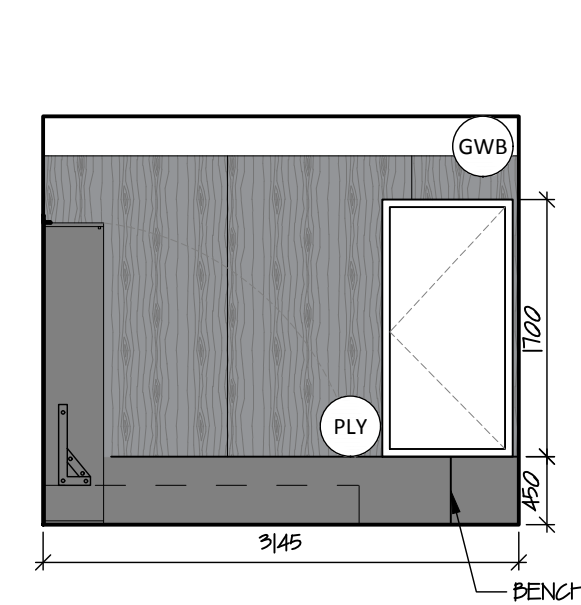
5 RM 102-Warm Up/ Dry Room North  
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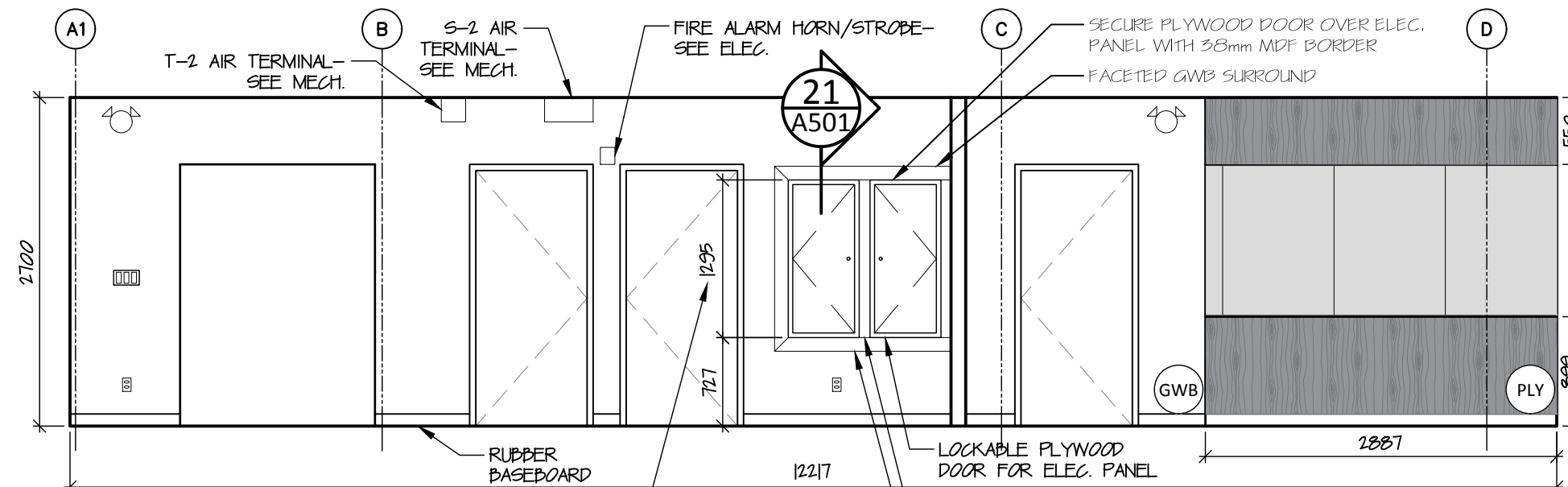
6 RM 102-Warm Up/ Dry Room East  
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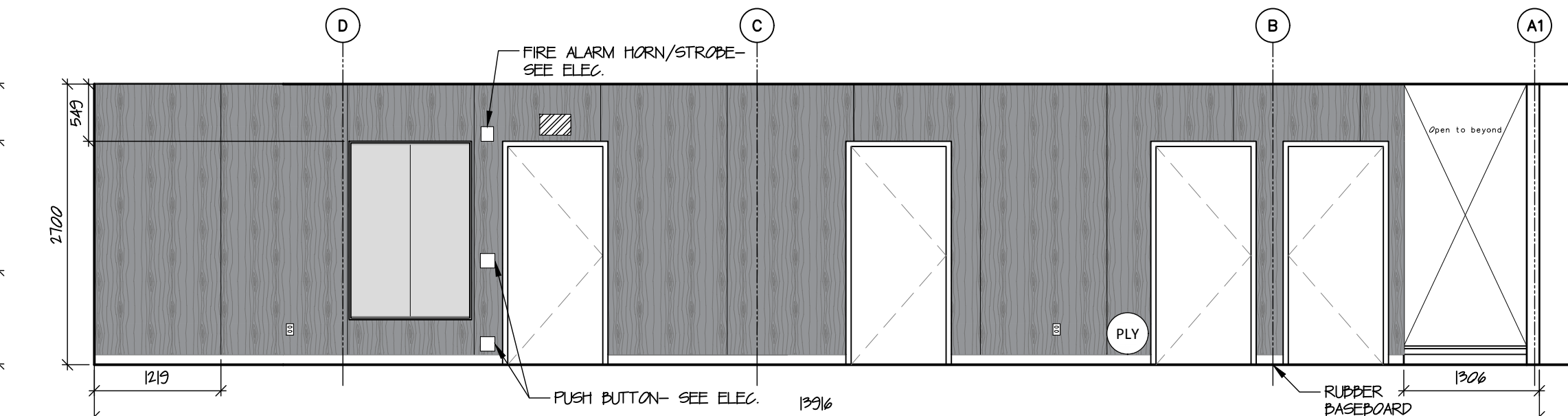
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A801 scale 1:50



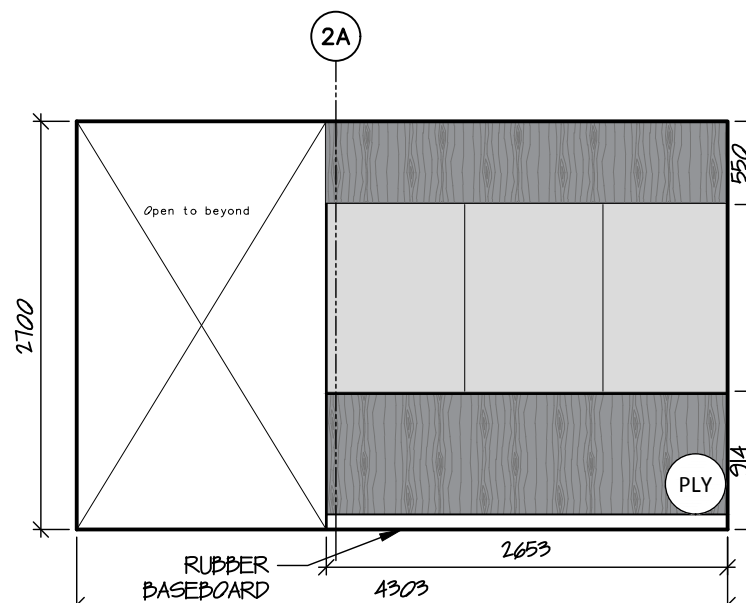
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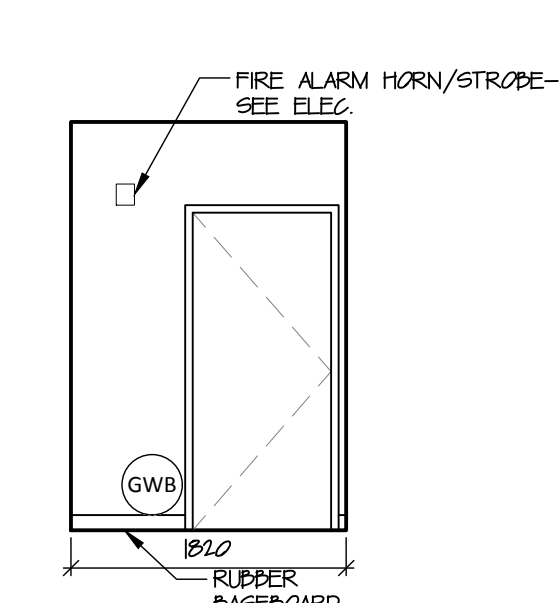
9 Corridor 104 & 111 East  
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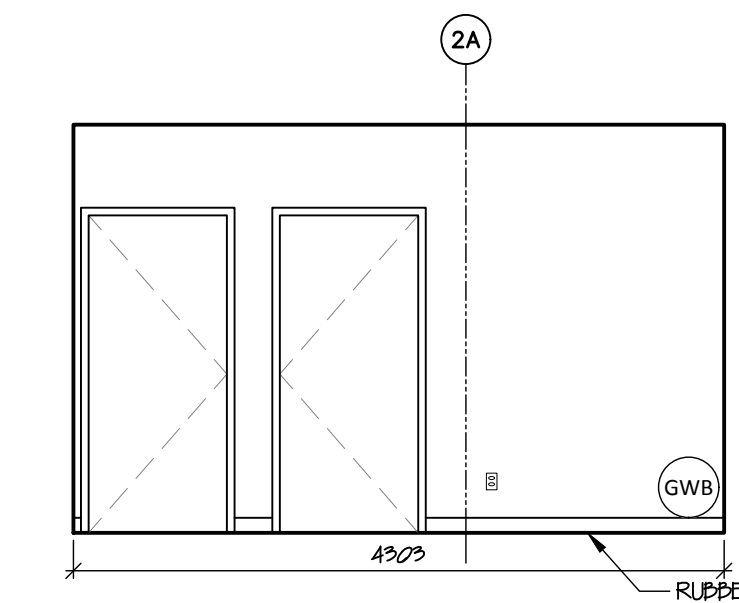
10 Corridor 104 & 111 West  
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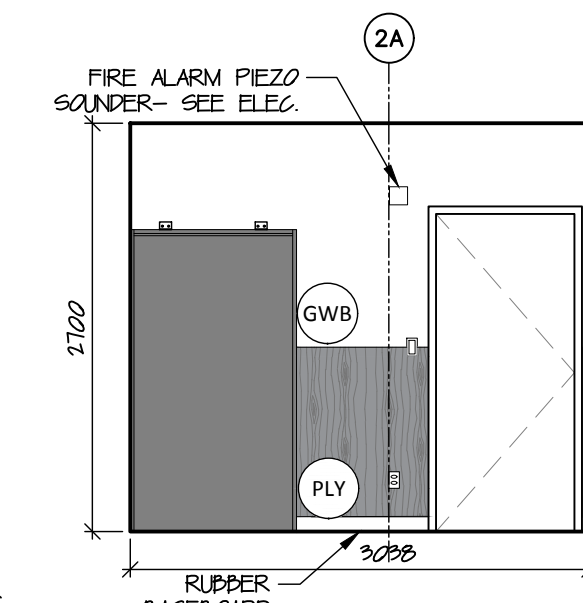
11 RM 105-Intake/ Waiting North  
A801 scale 1:50



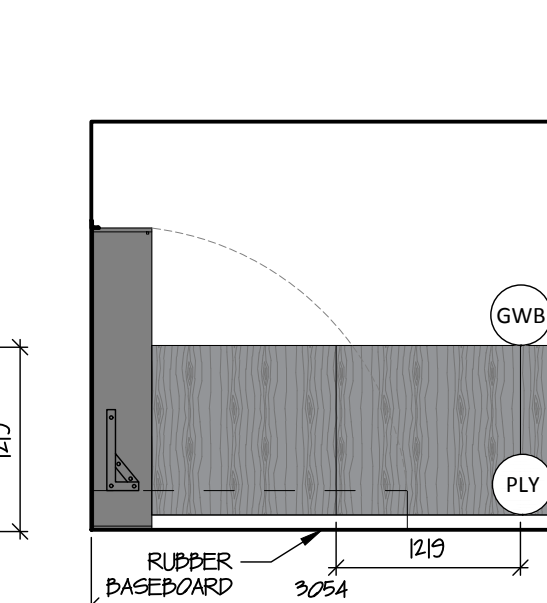
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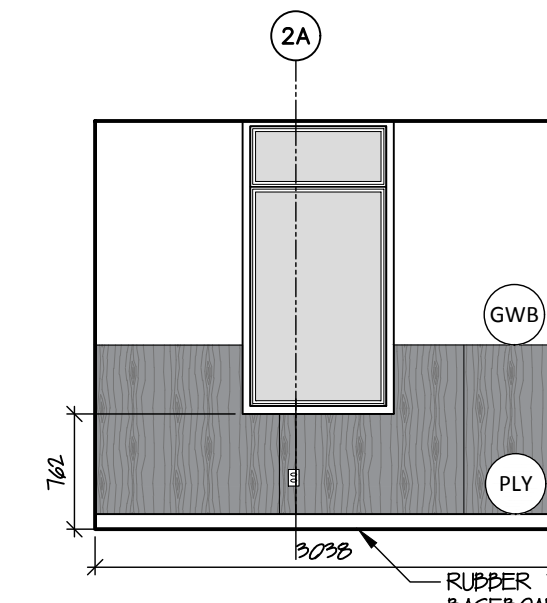
13 RM 105-Intake/ Waiting South  
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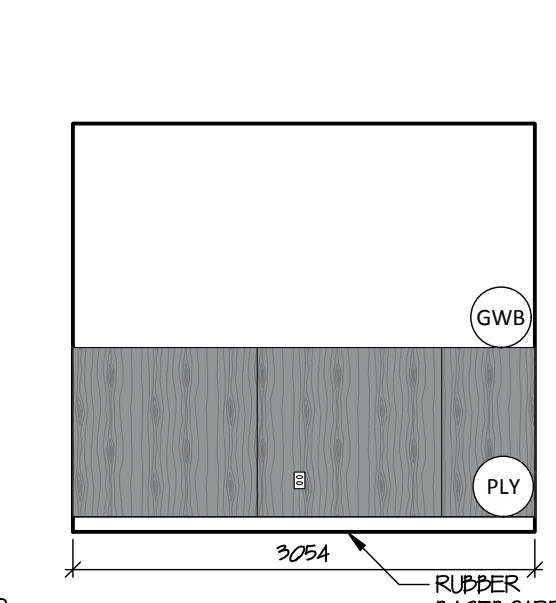
14 RM 106-Intake North  
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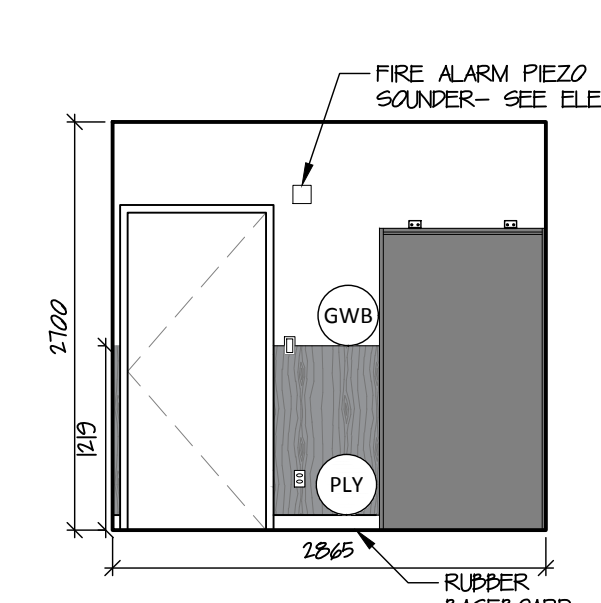
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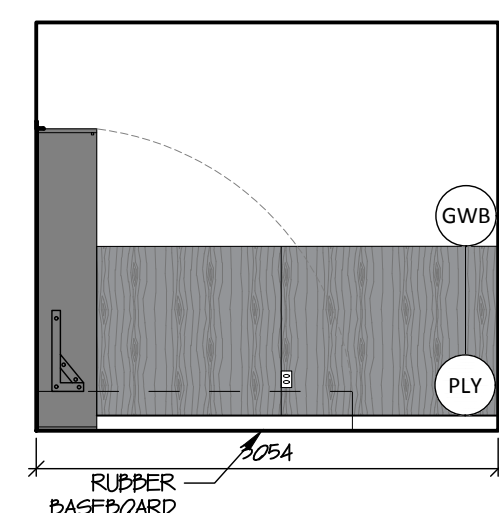
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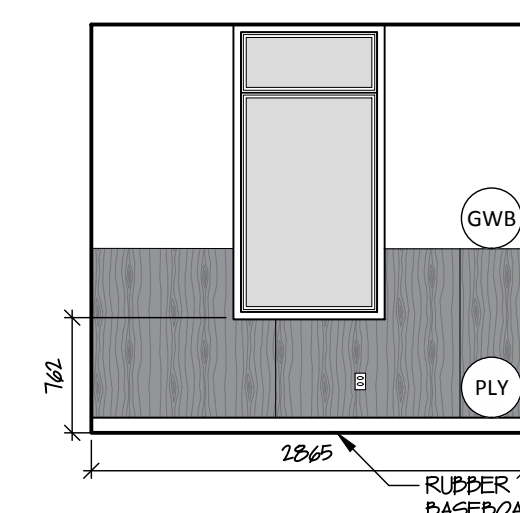
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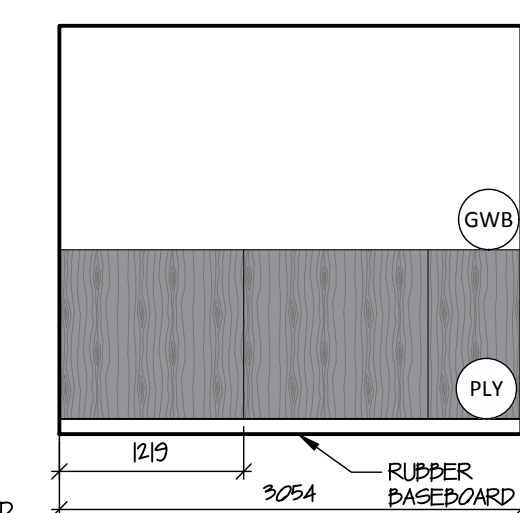
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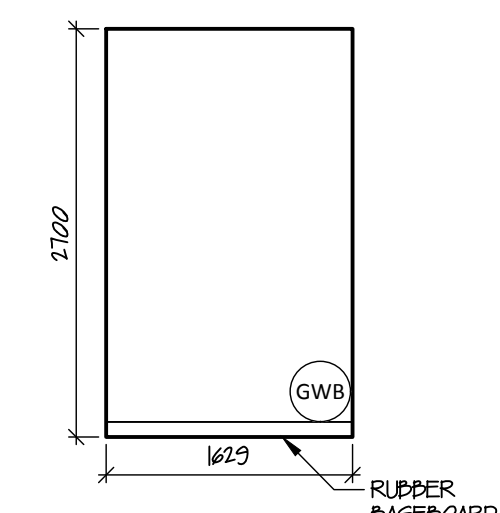
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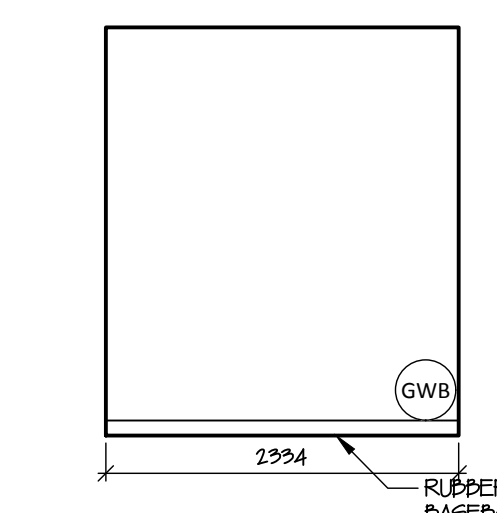
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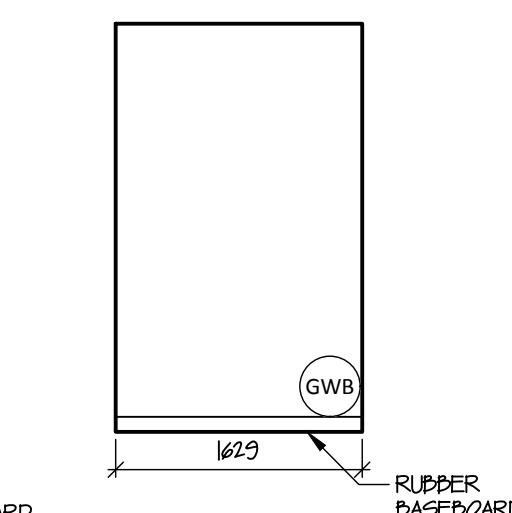
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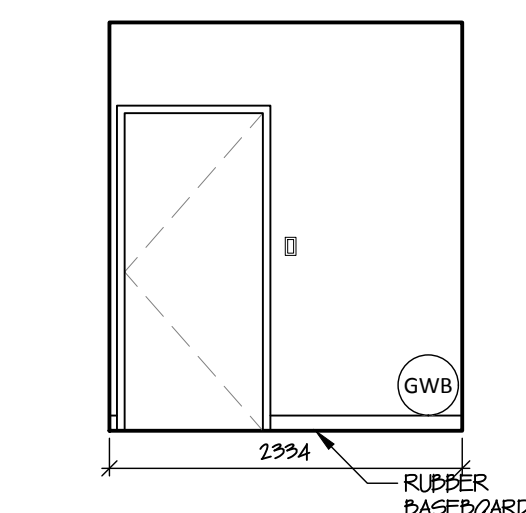
22 RM 108-Storage North  
A801 scale 1:50



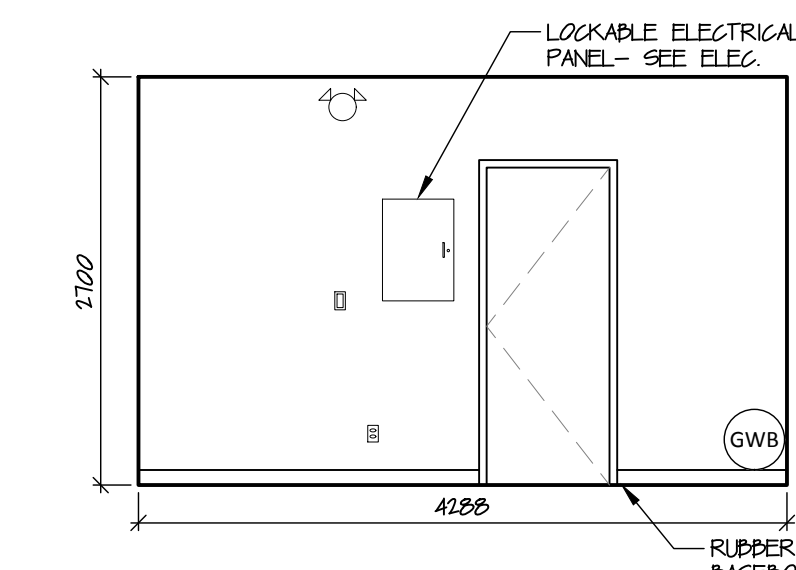
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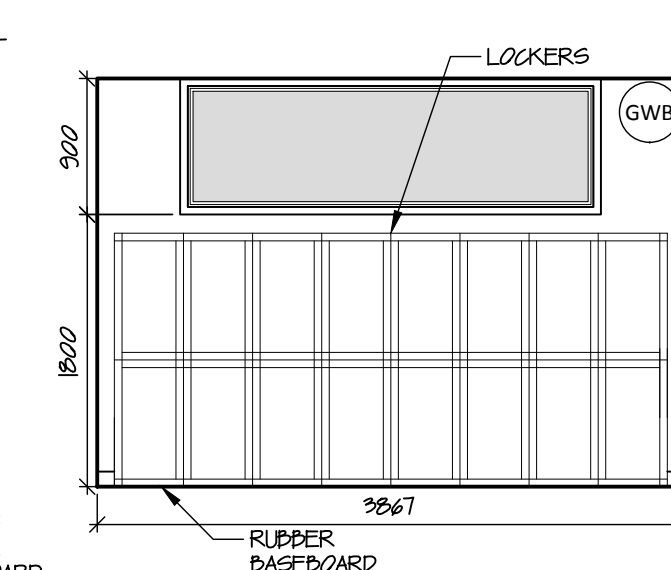
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A801 scale 1:50



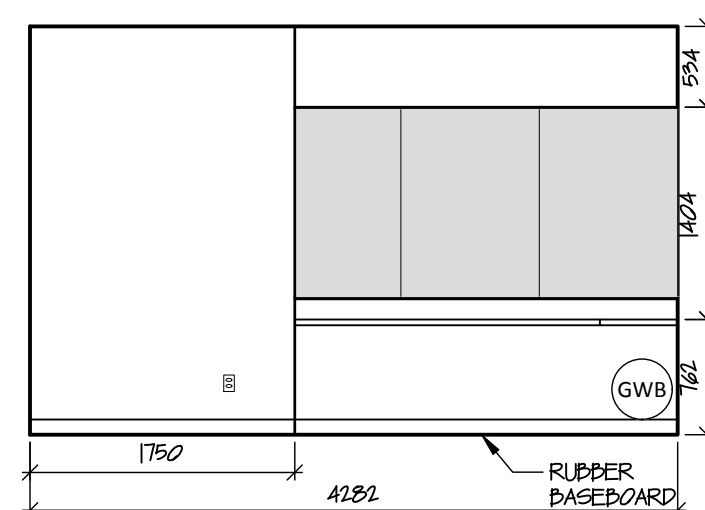
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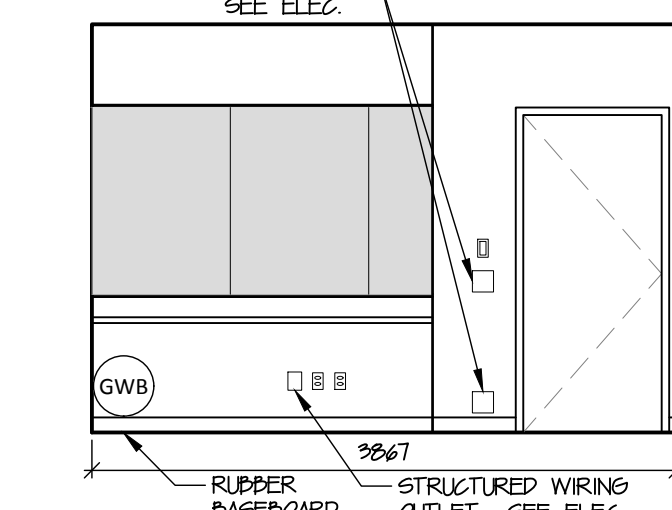
26 RM 109-Front Desk North  
A801 scale 1:50



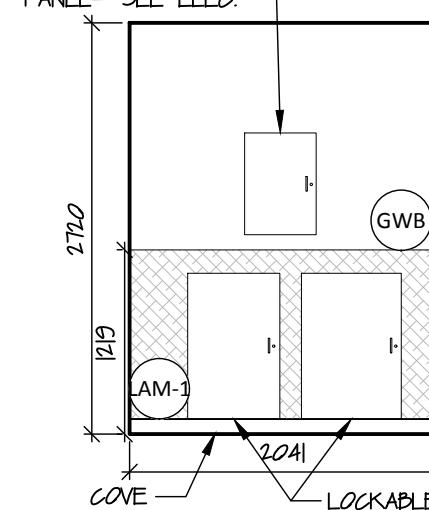
27 RM 109-Front Desk East  
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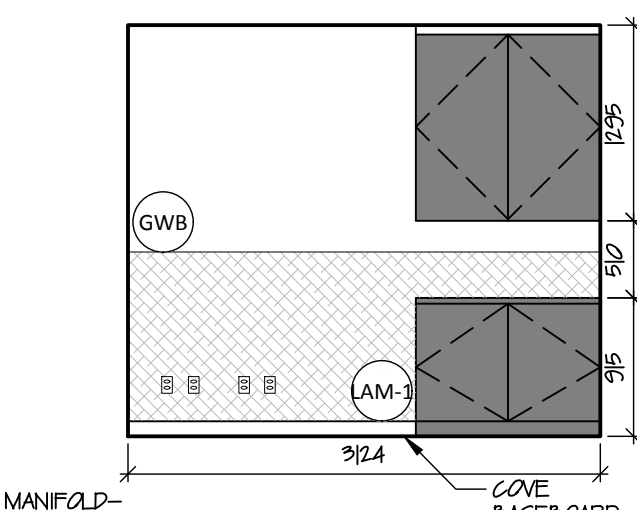
28 RM 109-Front Desk South  
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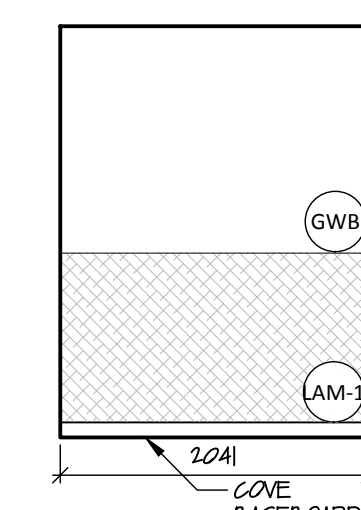
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A801 scale 1:50



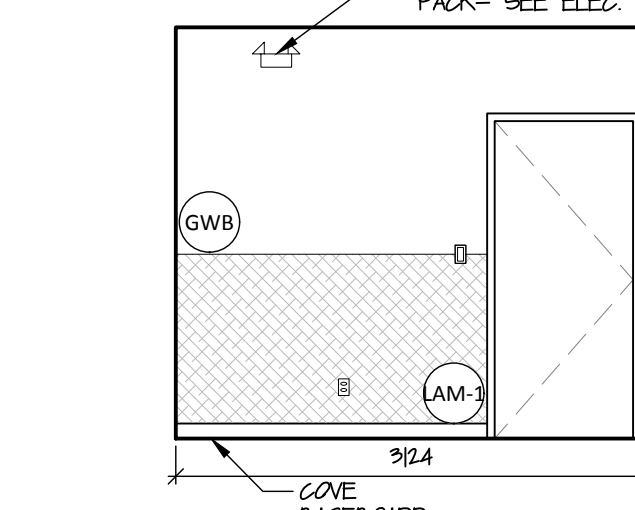
30 RM 113-Laundry North  
A801 scale 1:50



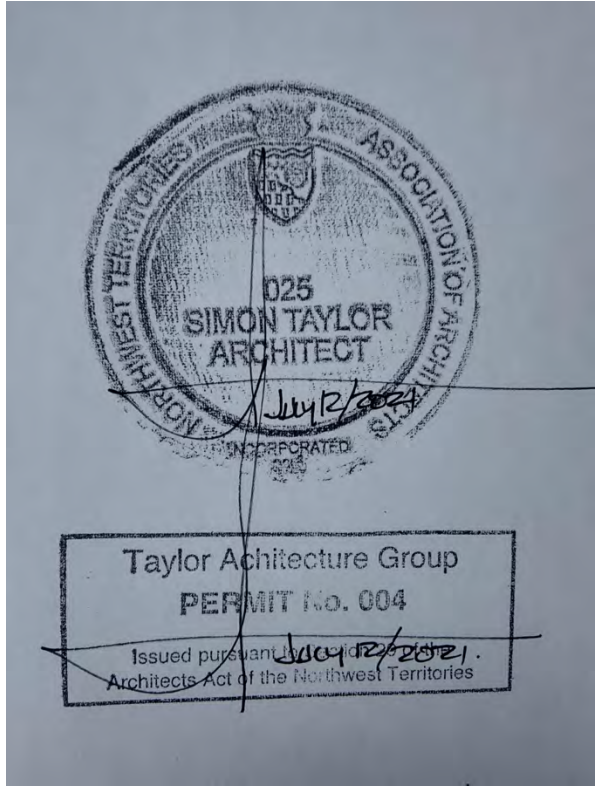
31 RM 113-Laundry East  
A801 scale 1:50



32 RM 113-Laundry South  
A801 scale 1:50



33 RM 113-Laundry West  
A801 scale 1:50



- HDPL LAMINATE
- LAMINATED SHEET METAL
- PLYWOOD
- GLASS
- MILLWORK
- RECEPTACLE- SEE ELEC.
- REMOTE EMERGENCY HEAD- SEE ELEC.
- LIGHT SWITCH- SEE ELEC.
- EMERGENCY EXIT SIGN- SEE ELEC.
- MANUAL PULL STATION- SEE ELEC.

PLY SELECT WHITE BIRCH WITH CLEAR FINISH

GWB PAINTED GYPSUM WALL BOARD

AM-3 HDPL LAMINATE

AM-2 LAMINATED SHEET METAL

LOG QUARTER SPRUCE LOG, MILLED, TONGUE + GROOVE, STAIN TBD

**NOT FOR CONSTRUCTION**  
ALL DIMENSIONS TO BE SITE VERIFIED BY CONTRACTOR

#	Date	Description
2	21-Jul-12	Issued for Tender
1	21-Jun-16	Issued for 100% Construction Documents

Revisions  
Date: May 20, 2021

Project:  
**JEJE ZOH TH MEN'S SHELTER**

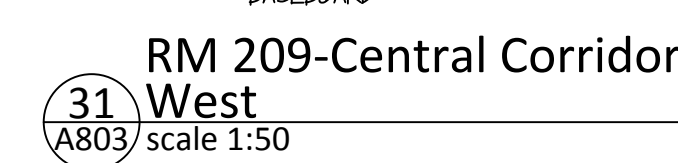
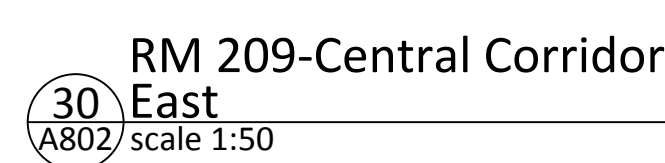
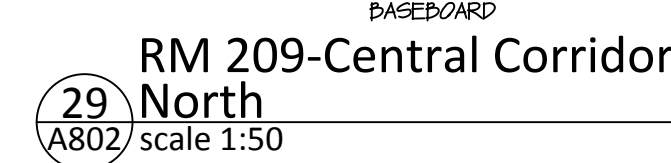
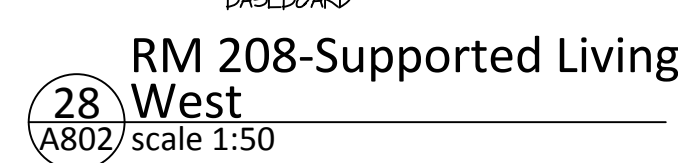
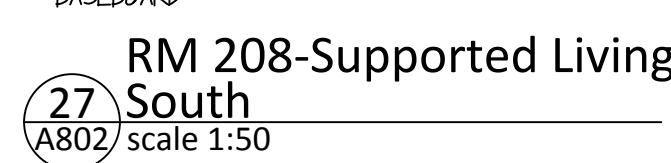
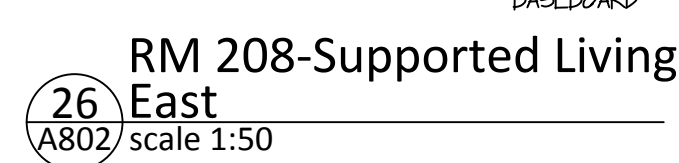
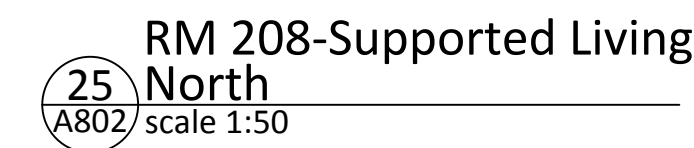
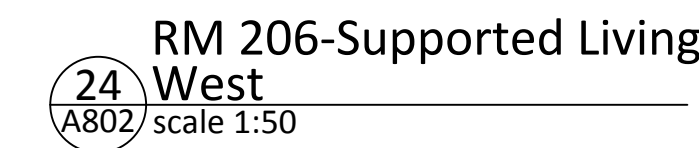
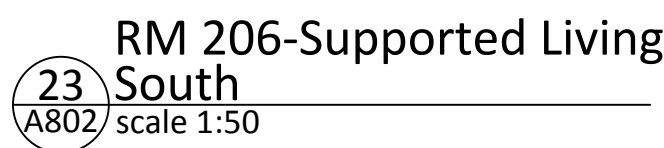
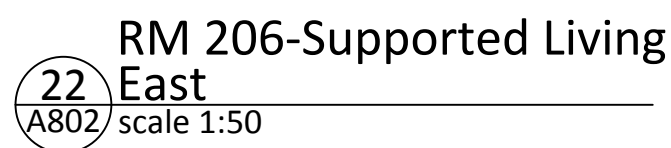
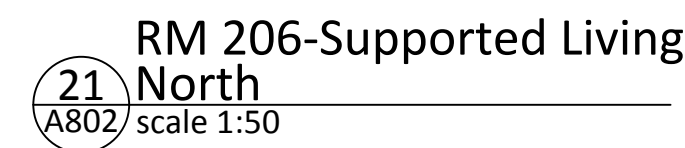
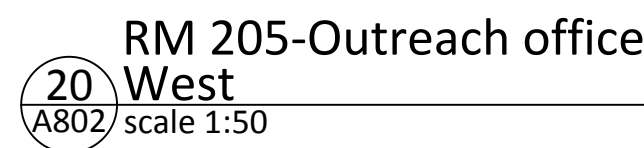
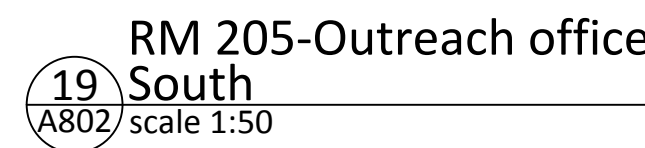
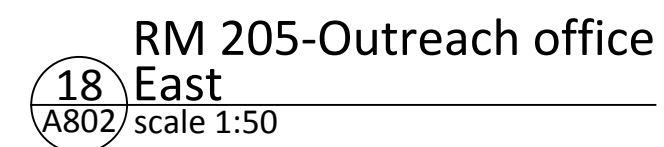
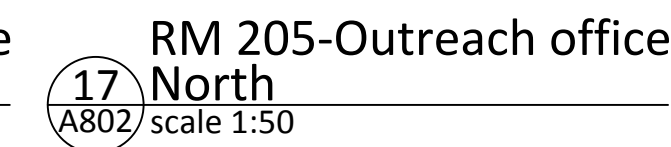
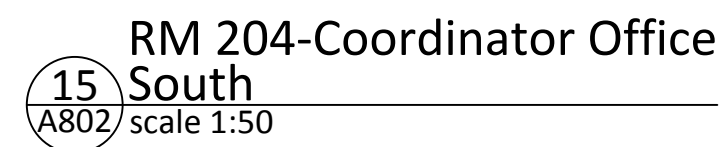
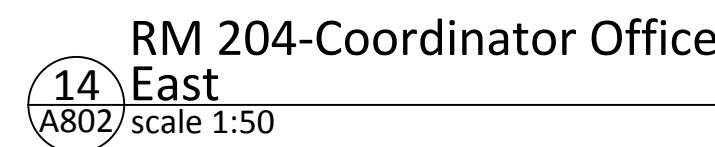
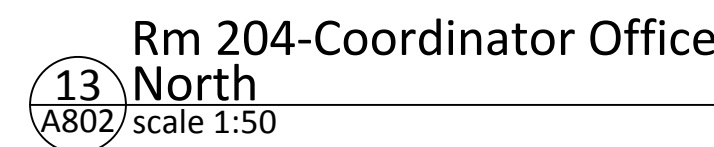
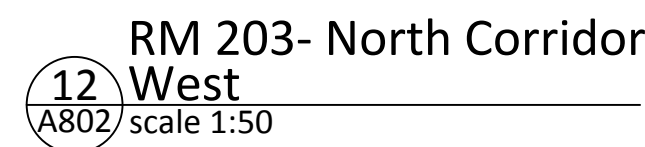
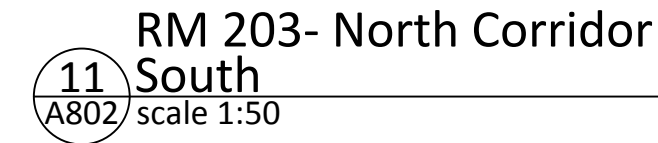
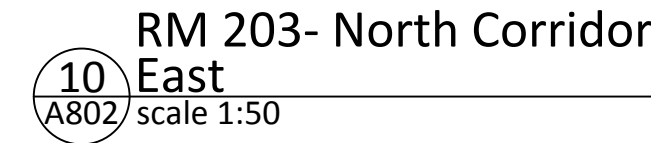
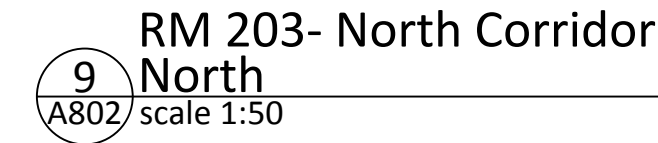
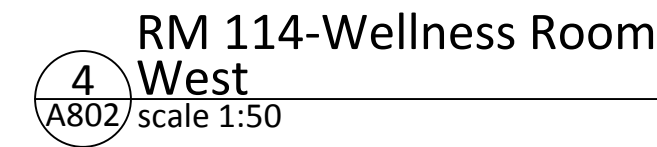
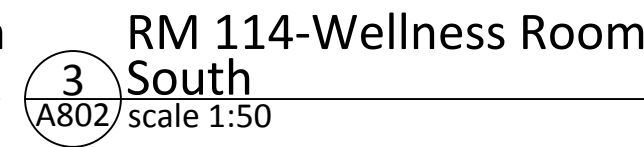
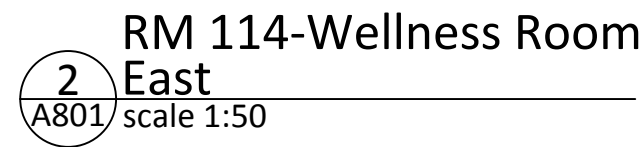
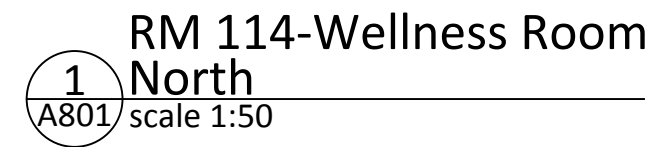
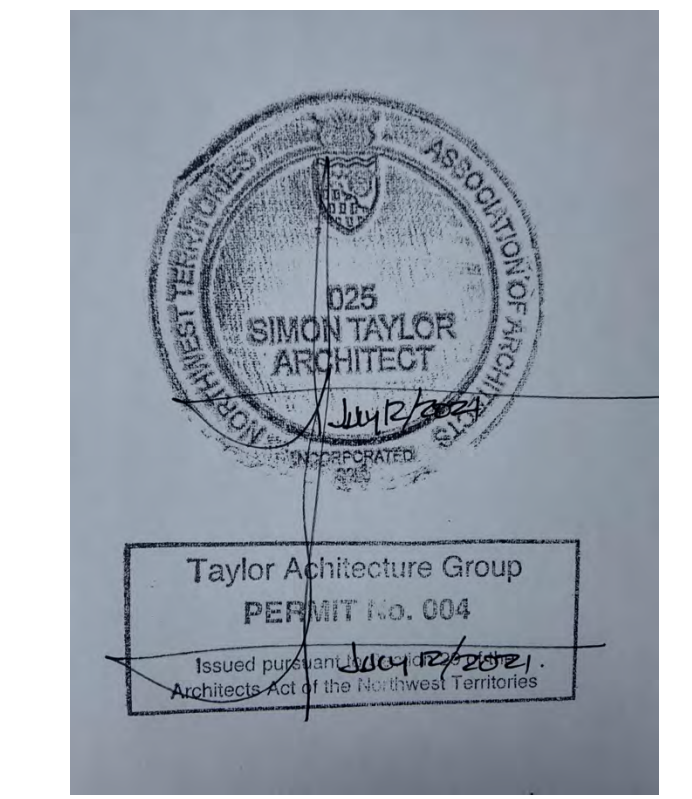
Dawson City, YT

project north  
true north  
Drawing by: R.L.  
Checked by: S.T.  
Scale: As Noted

Sheet name:  
**Interior Elevations**

Project #  
**20-040**

Drawing #  
**A801**



- NOTES:
1. SIGNAGE ENGRAVED INTO PLYWOOD SHEET. ROOM NAMING TO BE CONFIRMED DURING DRAWING REVIEW.

- NOT FOR CONSTRUCTION**  
ALL DIMENSIONS TO BE SITE VERIFIED BY CONTRACTOR

Revisions

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Date:

May 20, 2021

Project:

Dawson City, YT

Sheet name:

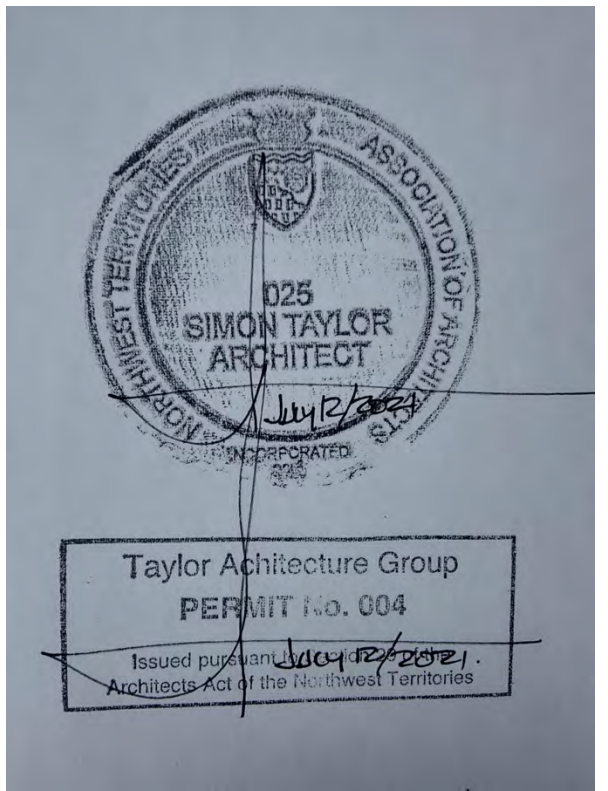
## Interior Elevations

Project #

20-040

Drawing #

A802



- HDPL LAMINATE
- LAMINATED SHEET METAL
- PLYWOOD
- GLASS
- MILLWORK
- RECEPTACLE- SEE ELEC.
- REMOTE EMERGENCY HEAD- SEE ELEC.
- LIGHT SWITCH- SEE ELEC.
- EMERGENCY EXIT SIGN- SEE ELEC.
- MANUAL PULL STATION- SEE ELEC.

- PLY SELECT WHITE BIRCH WITH CLEAR FINISH
- GWB PAINTED GYPSUM WALL BOARD
- AM-3 HDPL LAMINATE
- AM-3 LAMINATED SHEET METAL
- LOG QUARTER SPRUCE LOG, MILLED, TONGUE + GROOVE, STAIN TBD

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Revisions  
Date: May 20, 2021

Project: JEJE ZOH TH MEN'S SHELTER

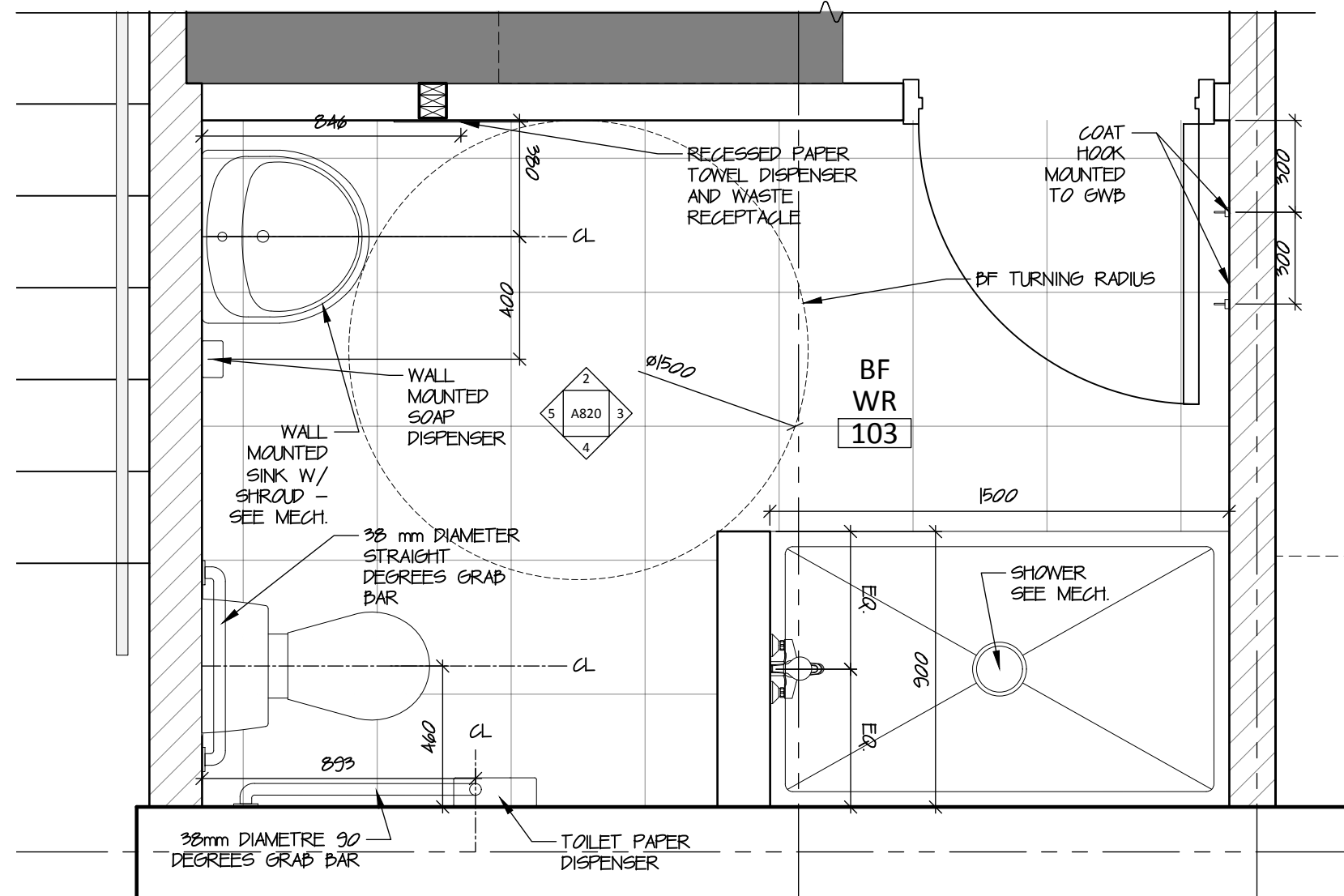
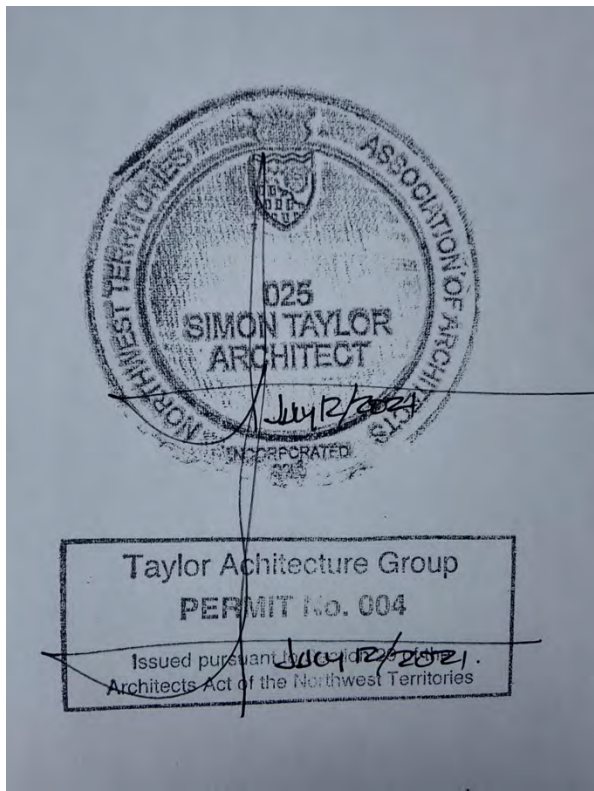
Dawson City, YT

project north true north  
Drawing by: R.L.  
Checked by: S.T.  
Scale: As Noted

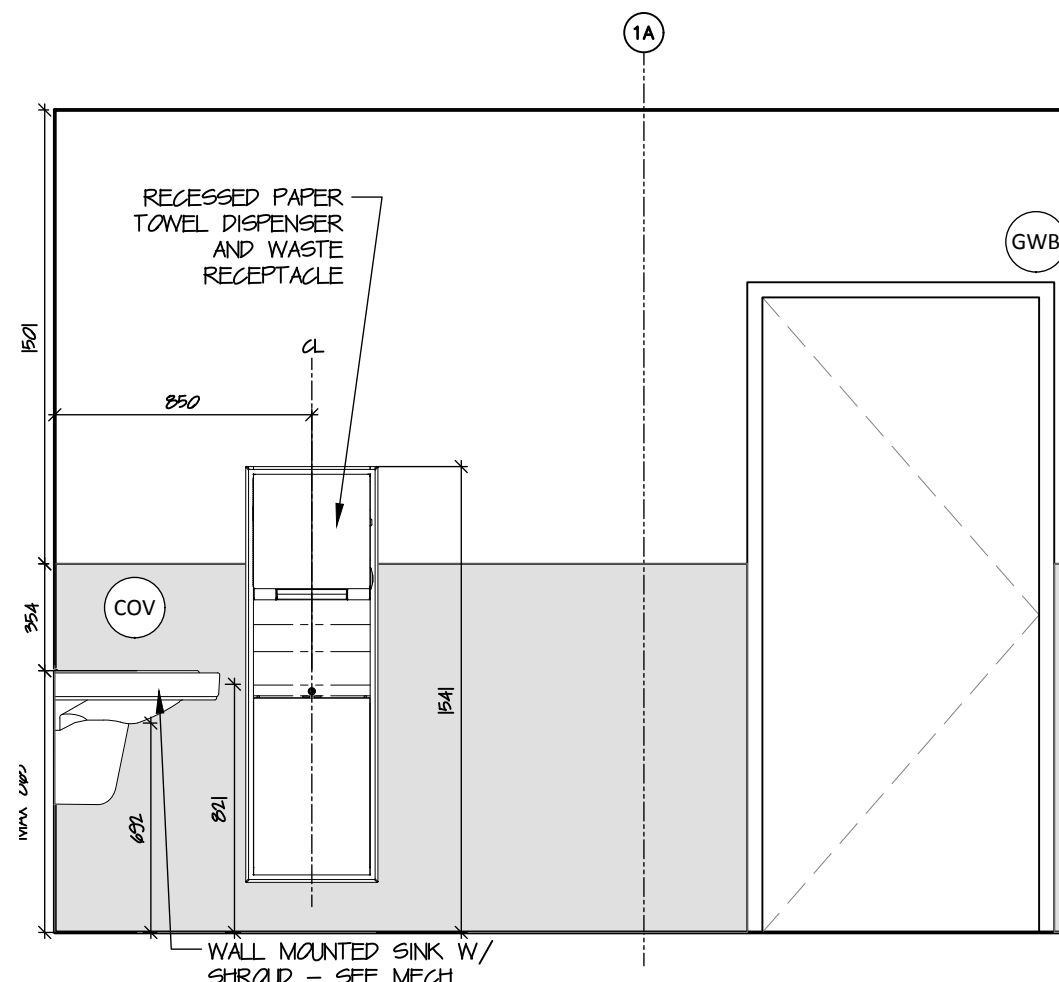
Sheet name: Interior Elevations

Project # 20-040

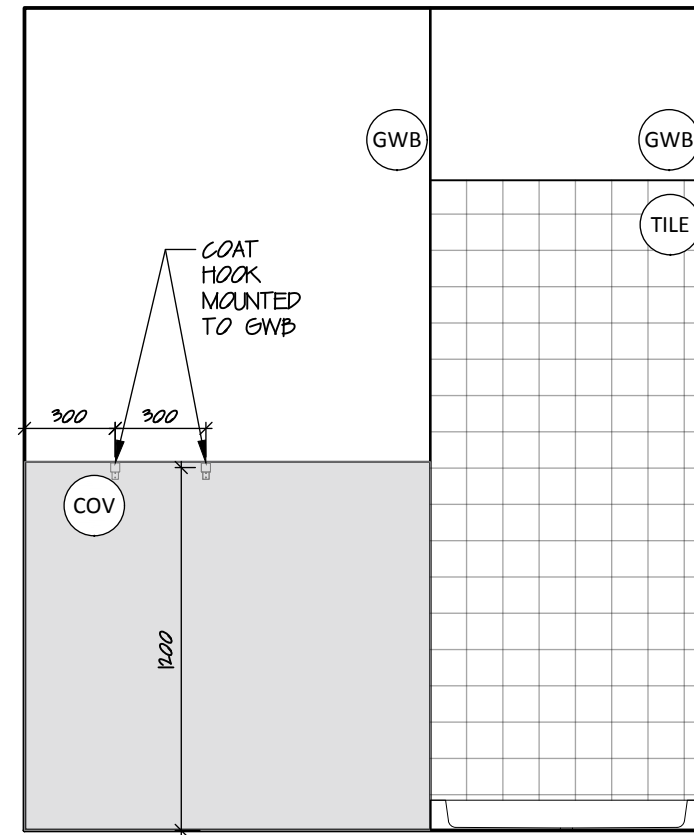
Drawing # A803



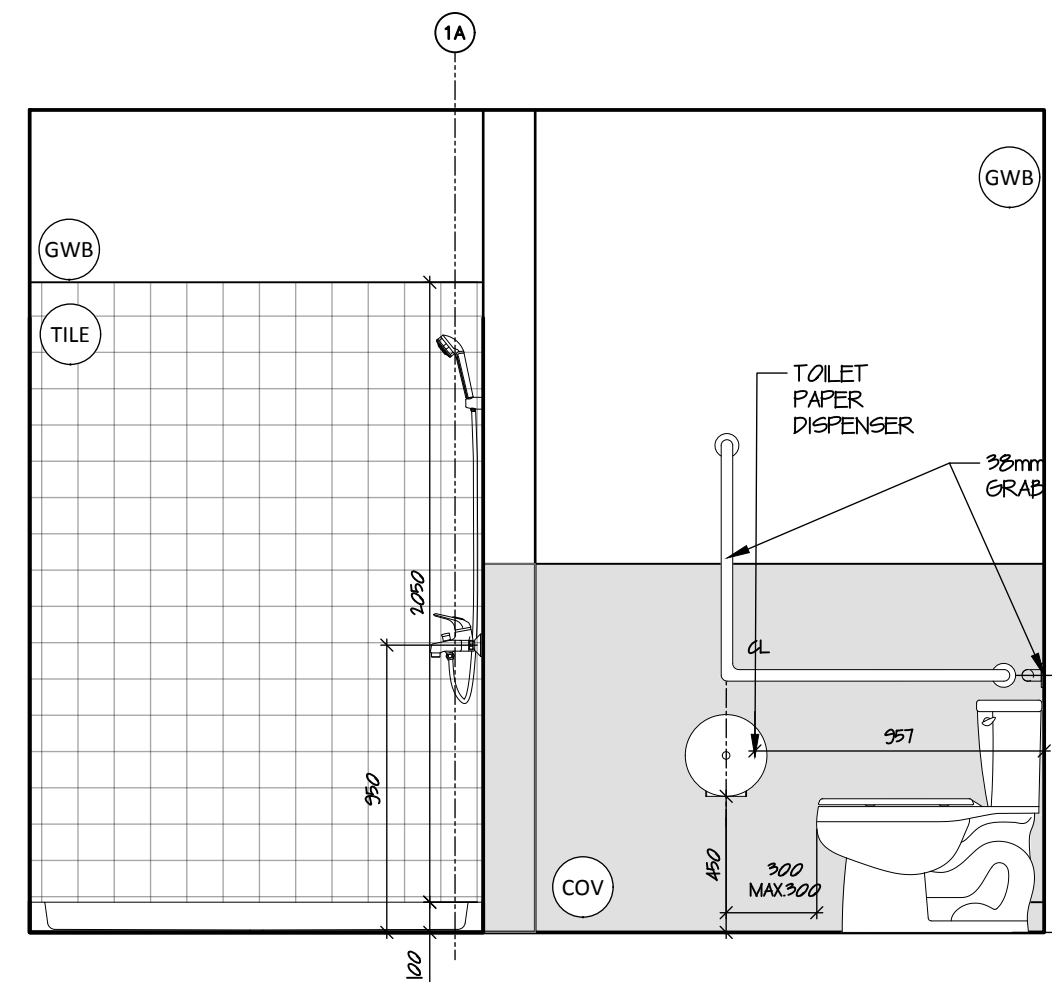
1 BF WASHROOM 103 - PLAN  
A820/ scale 1:20



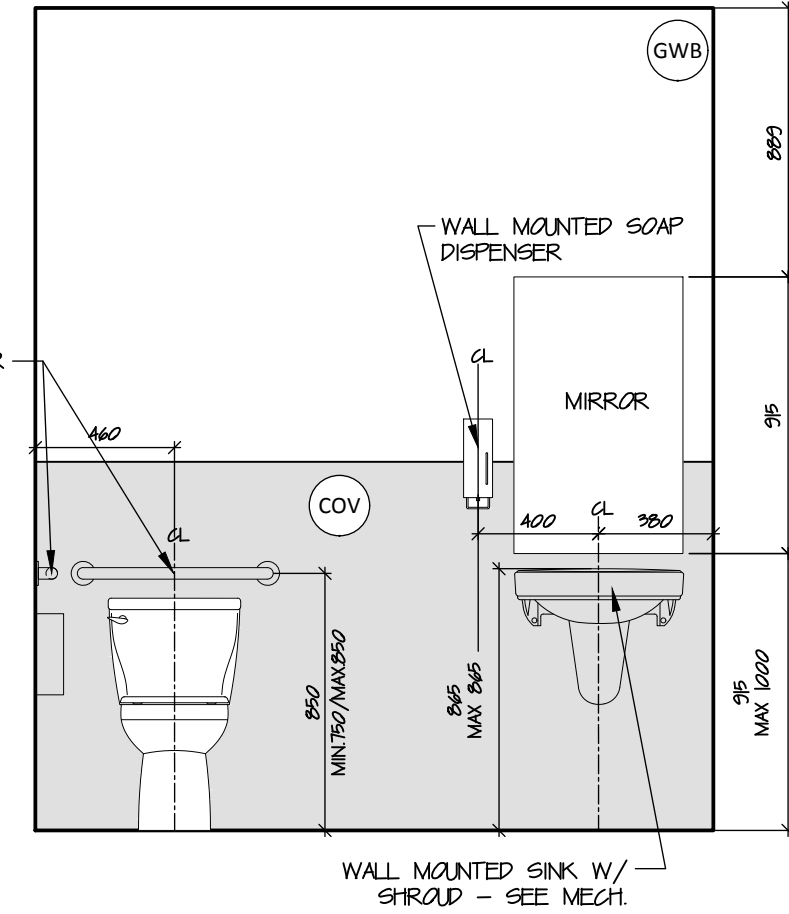
2 BF WASHROOM 103 - NORTH  
A820/ scale 1:25



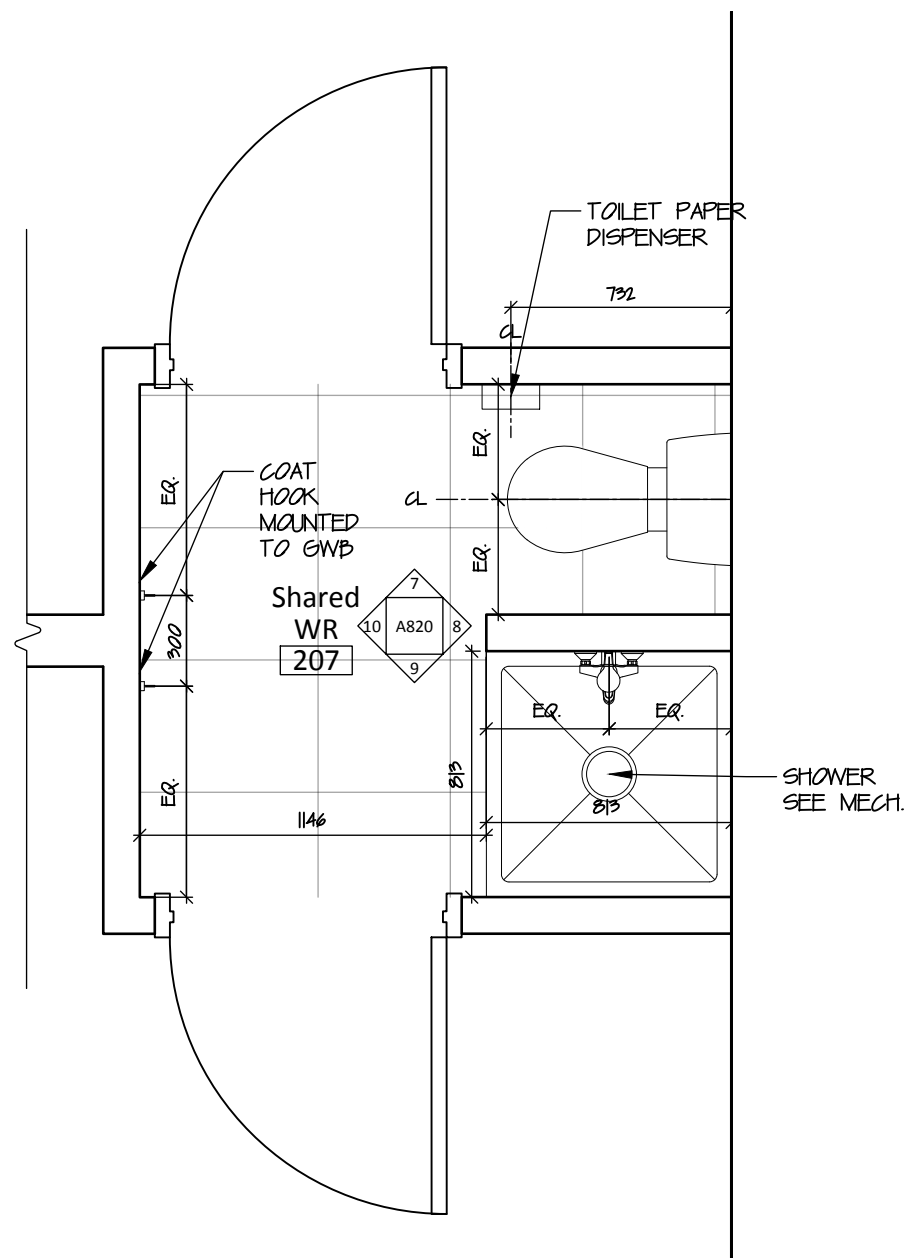
3 BF WASHROOM 103 - EAST  
A820/ scale 1:25



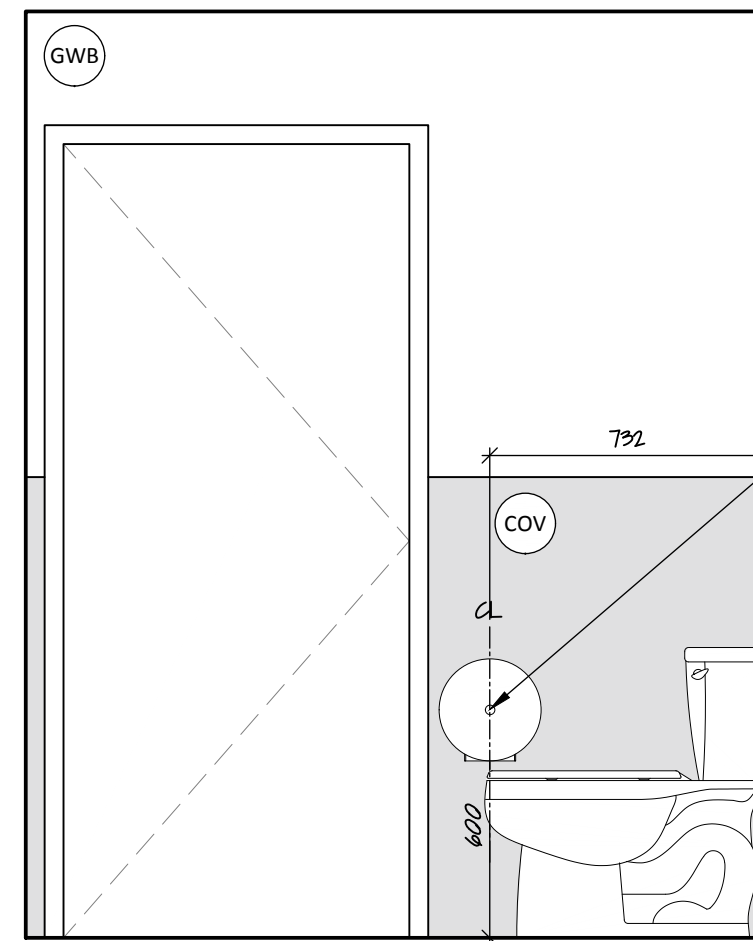
4 BF WASHROOM 103 - SOUTH  
A820/ scale 1:25



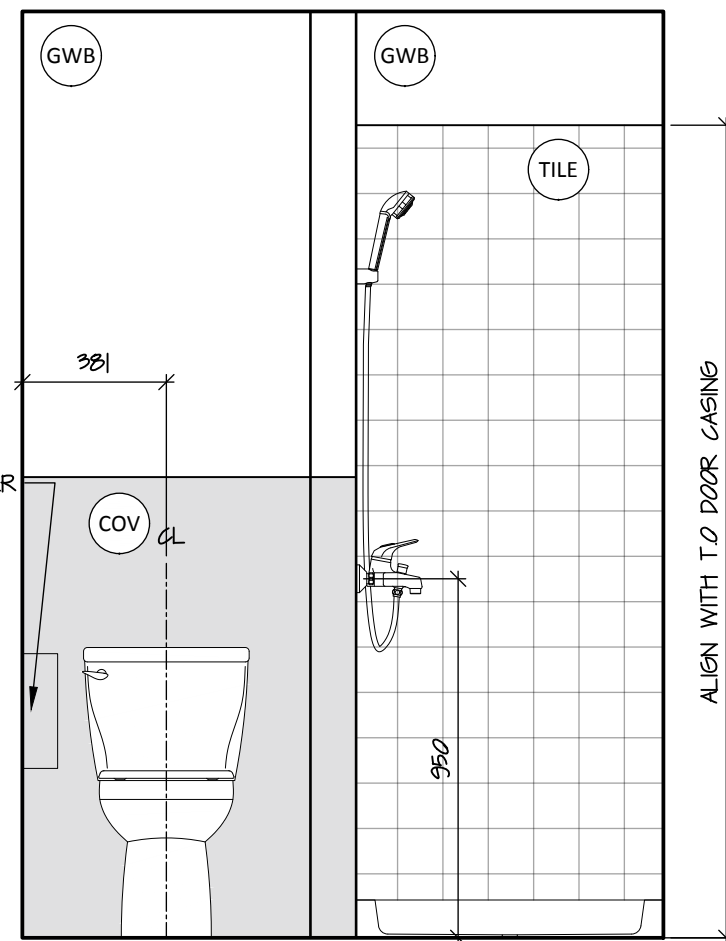
5 BF WASHROOM 103 - WEST  
A820/ scale 1:25



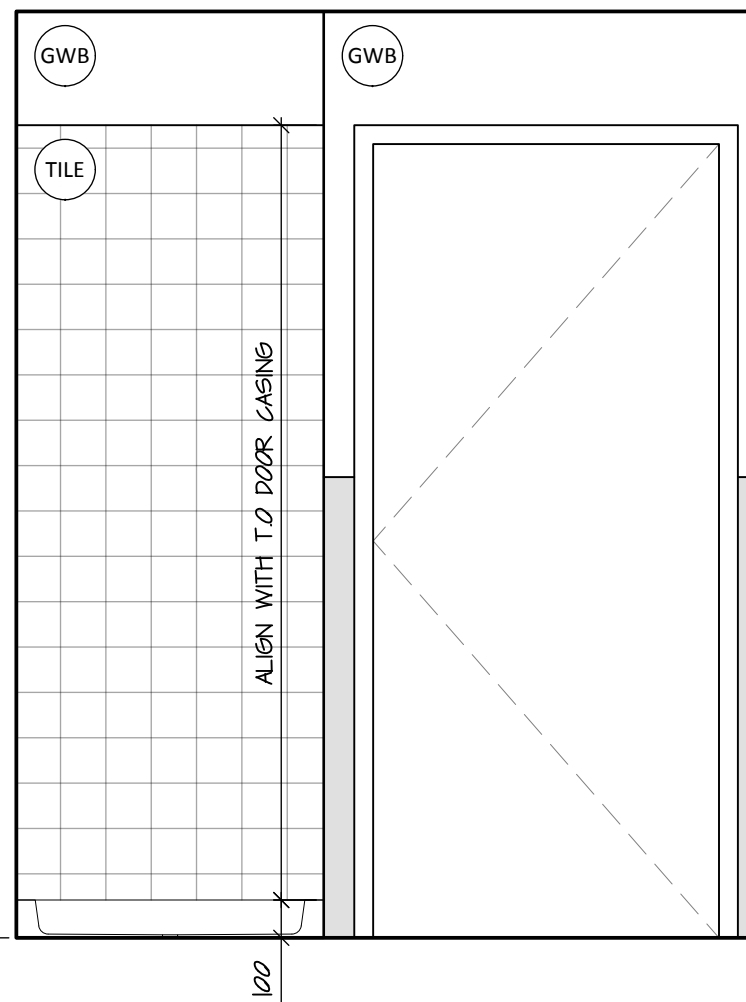
6 WASHROOM 207 - PLAN  
A820/ scale 1:25



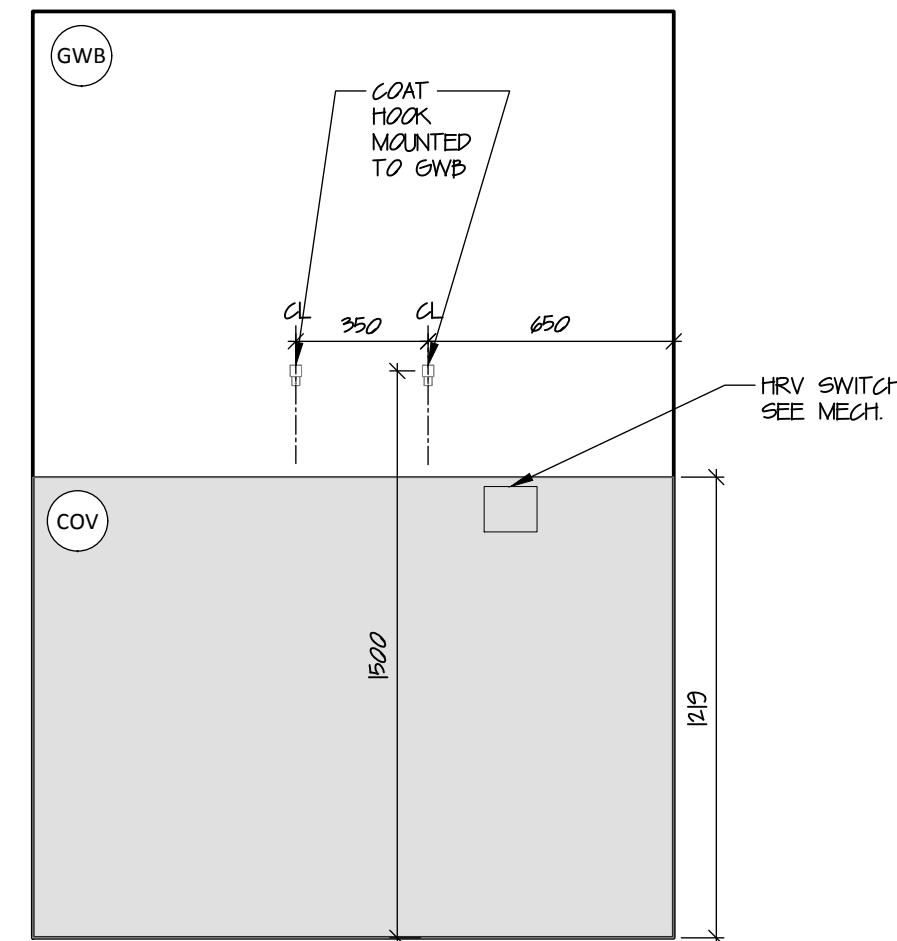
7 WASHROOM 207 - NORTH  
A820/ scale 1:20



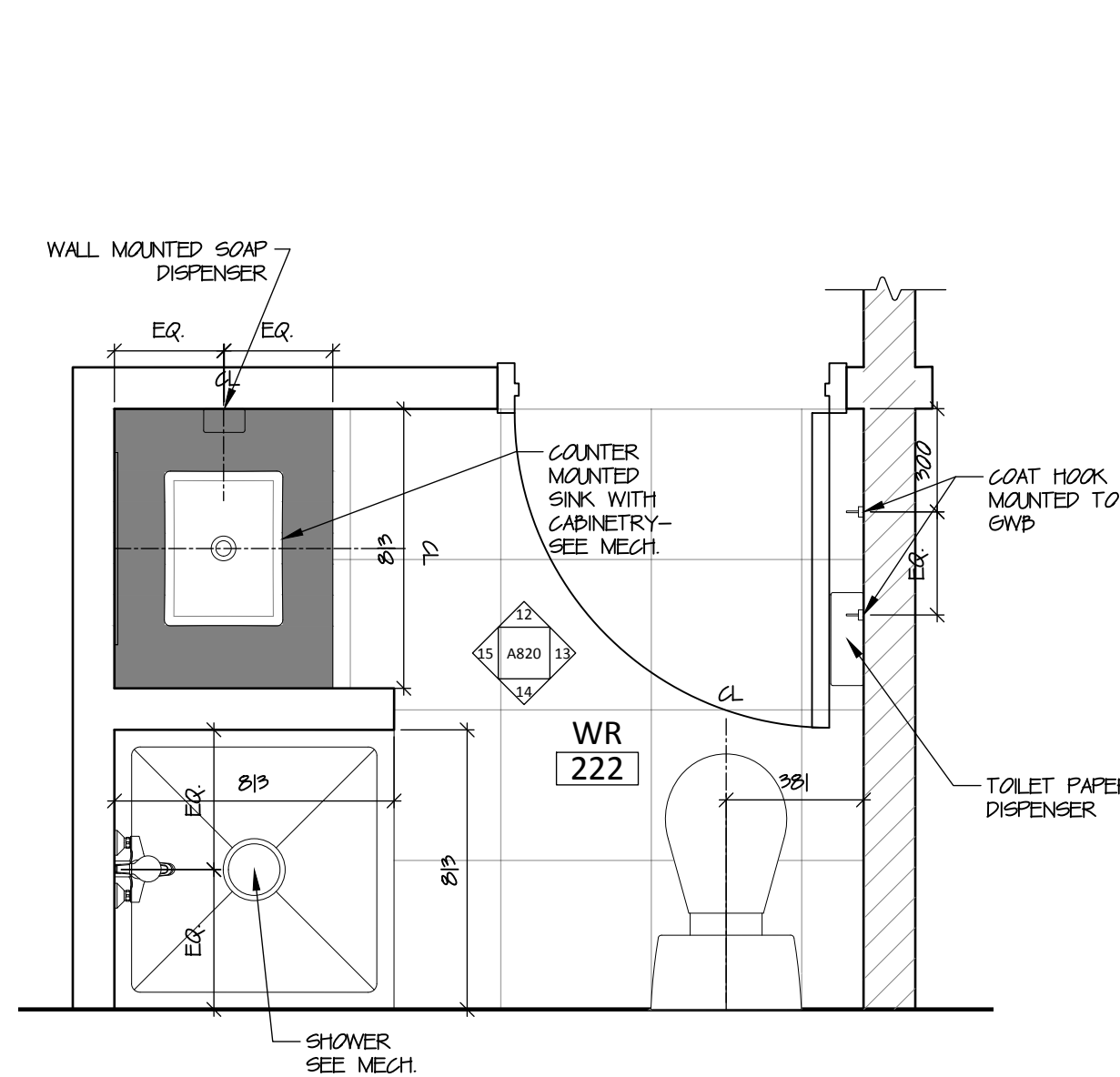
8 WASHROOM 207 - EAST  
A820/ scale 1:20



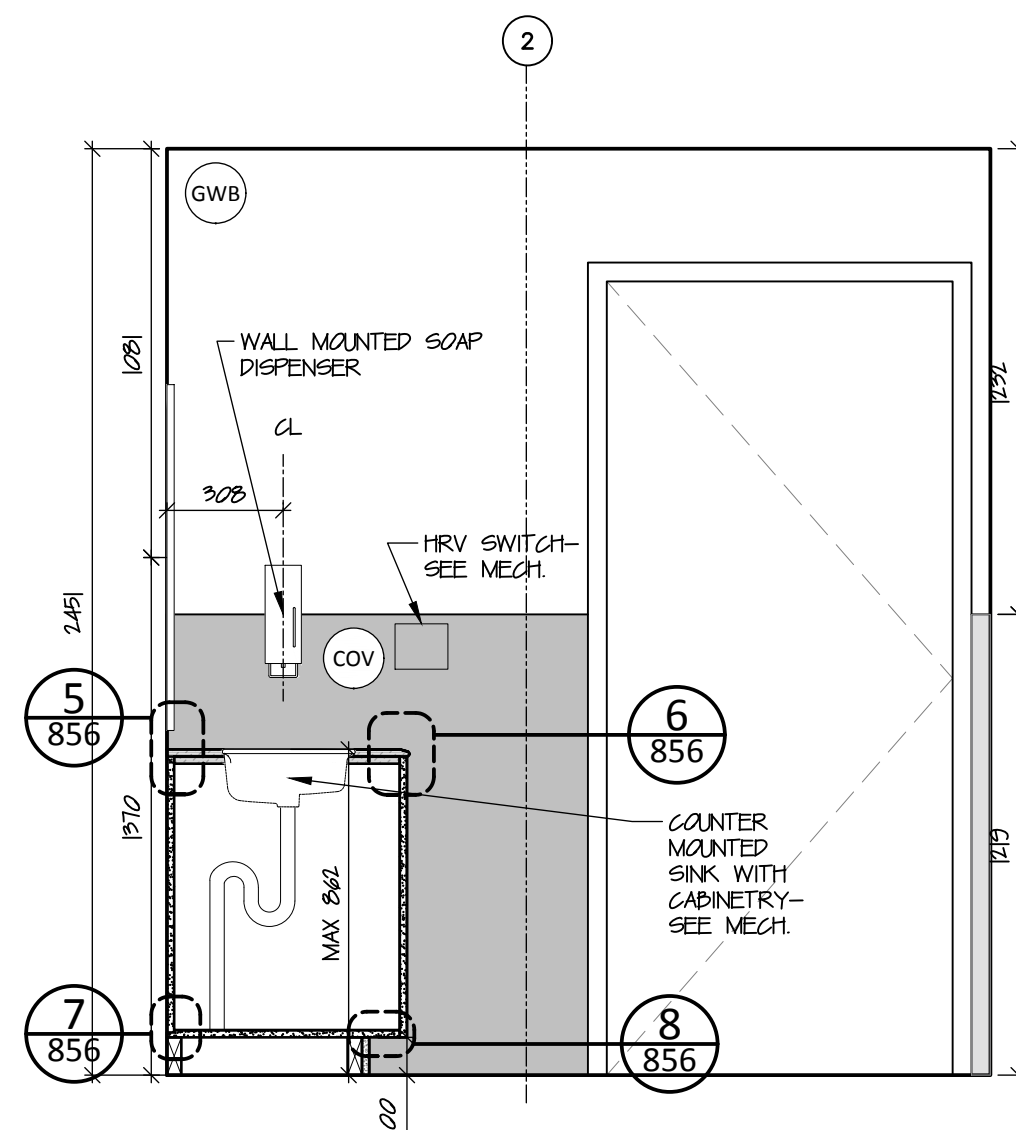
9 WASHROOM 207 - SOUTH  
A820/ scale 1:20



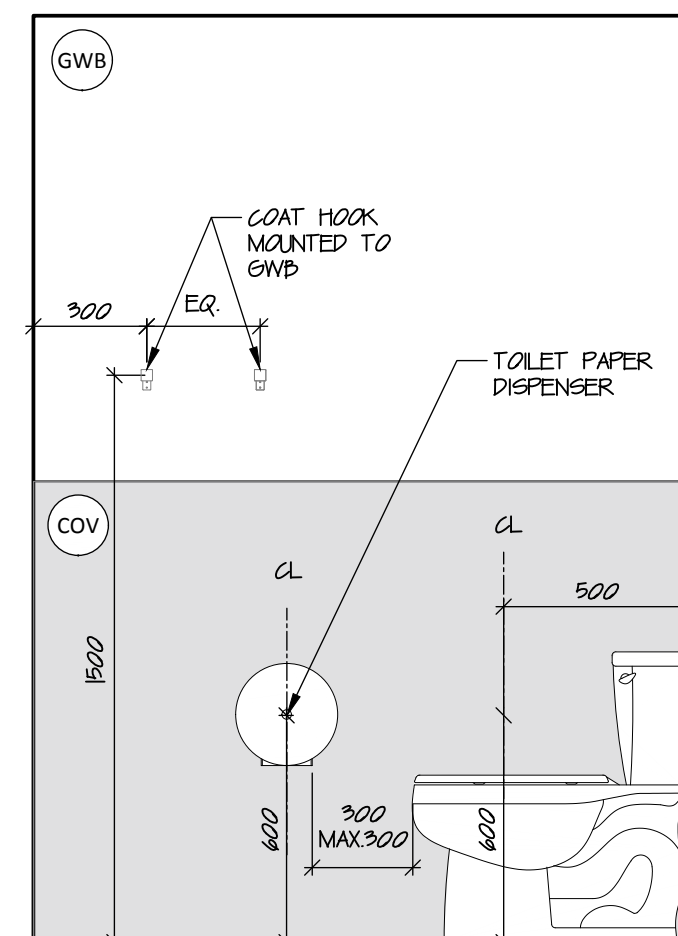
10 WASHROOM 207 - WEST  
A820/ scale 1:20



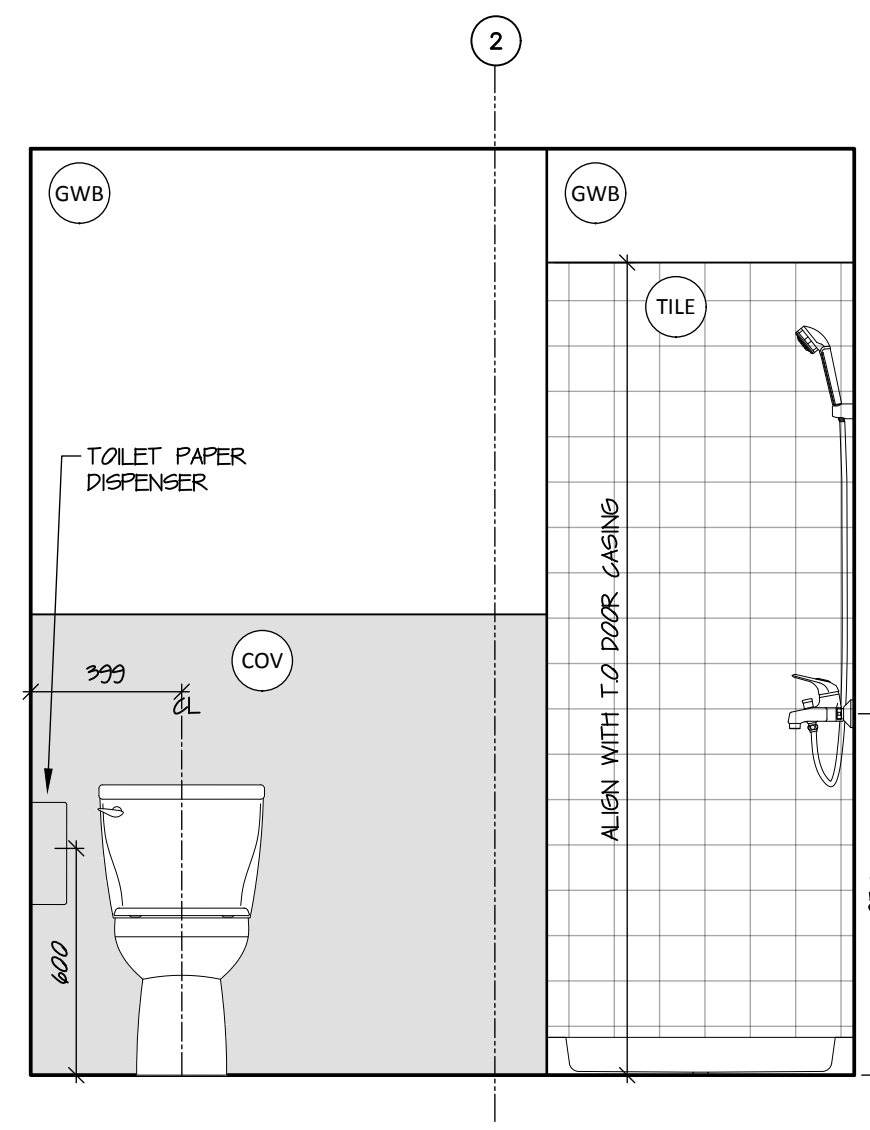
11 WASHROOM 222 - PLAN  
A820/ scale 1:20



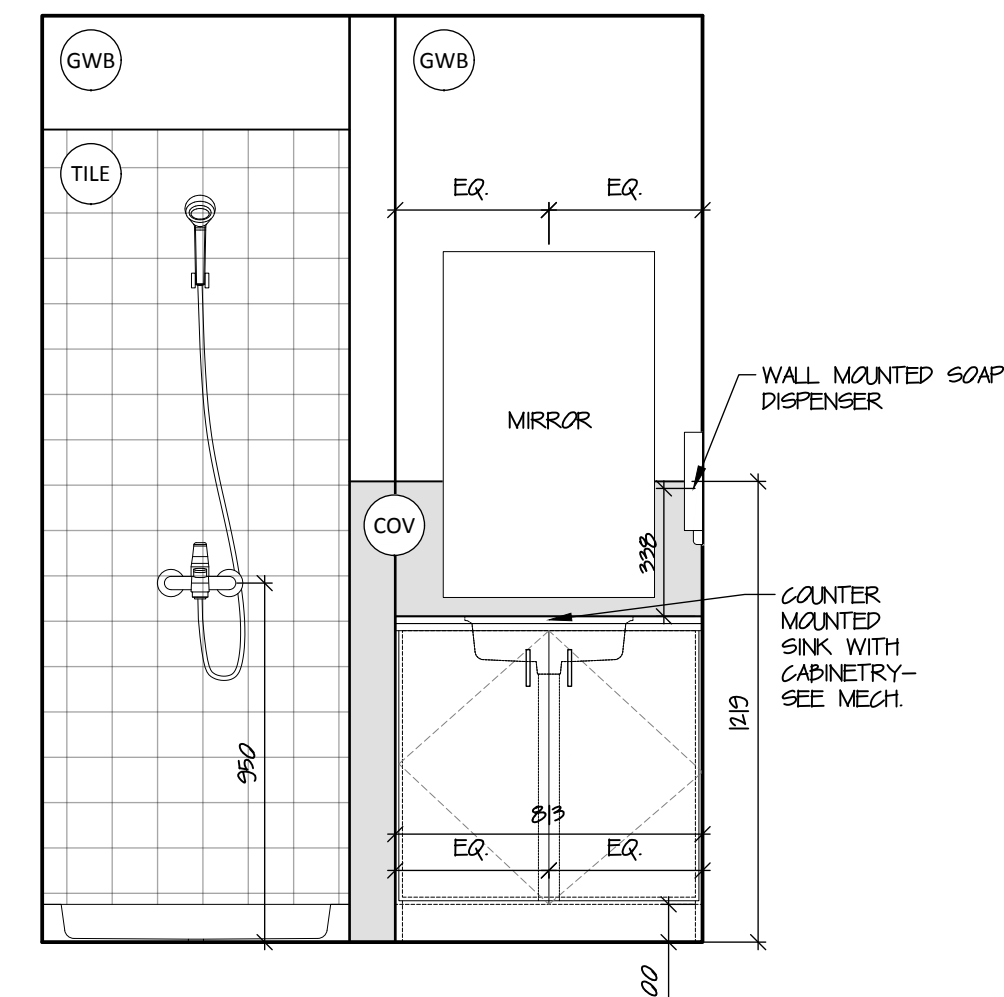
12 WASHROOM 222 - NORTH  
A820/ scale 1:20



13 WASHROOM 222 - EAST  
A820/ scale 1:20



14 WASHROOM 222 - SOUTH  
A820/ scale 1:20



15 WASHROOM 222 - WEST  
A820/ scale 1:20

MATERIAL LIST

(GWB) PAINTED GYPSUM WALL BOARD/ RESILIENT FINISH

(COV) COVE BASEBOARD SAME AS FLOOR MATERIAL

(TILE) SHOWER WALL-MOUNTED TILE

(NON-SLIP SHEET)

(MILLWORK)

NOT FOR CONSTRUCTION  
ALL DIMENSIONS TO BE SITE VERIFIED BY CONTRACTOR

2	21-Jul-12	Issued for Tender
1	21-Mar-30	Issued for Design Development
#	Date	Description
Revisions		

Date: May 20, 2021

Project: TH MEN'S SHELTER

Dawson City, YT

project north true north	Drawing by: R.L.
	Checked by: S.T.
	Scale: As Noted

Sheet name:

Washroom Details

Project #

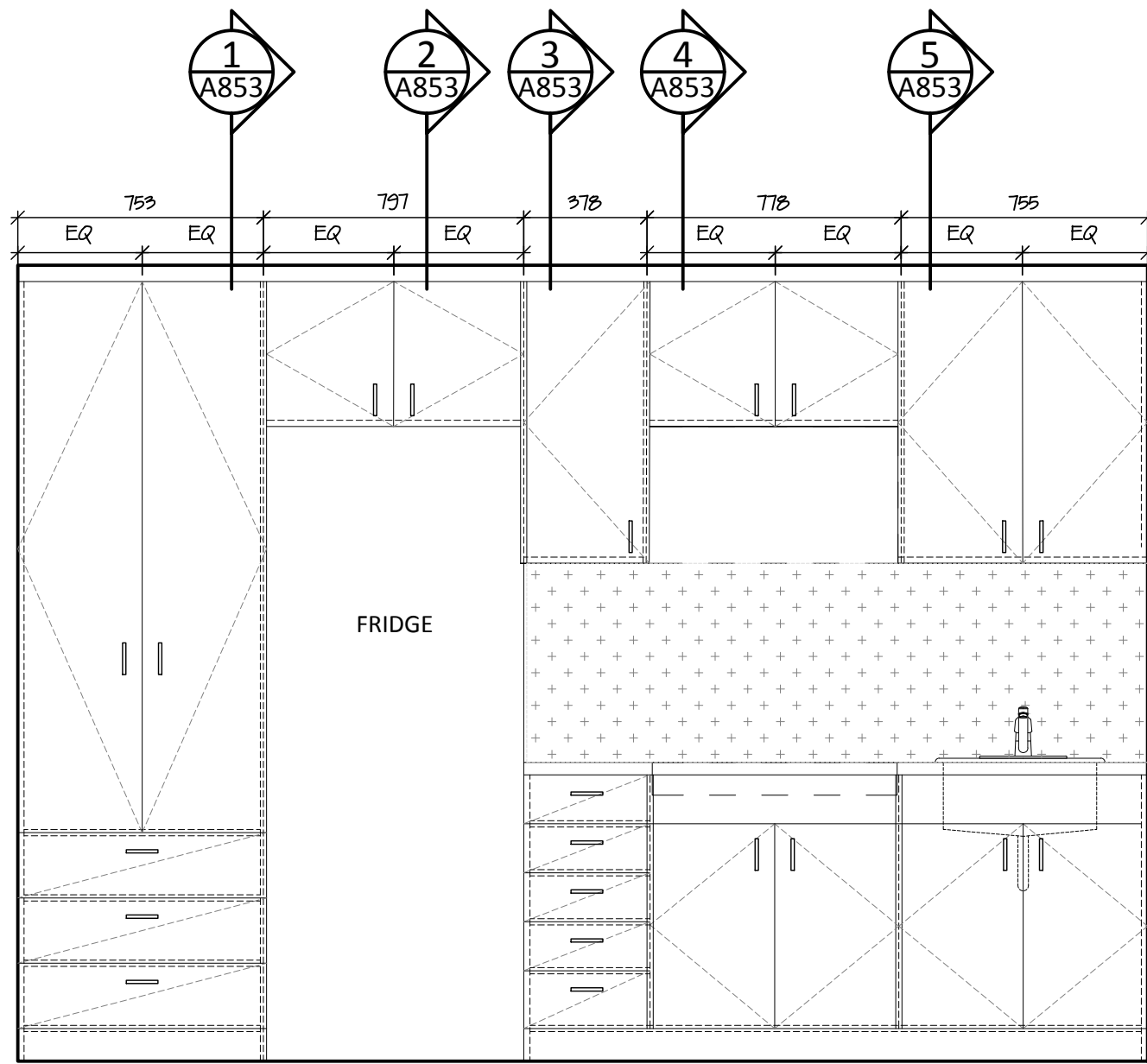
20-040

Drawing #

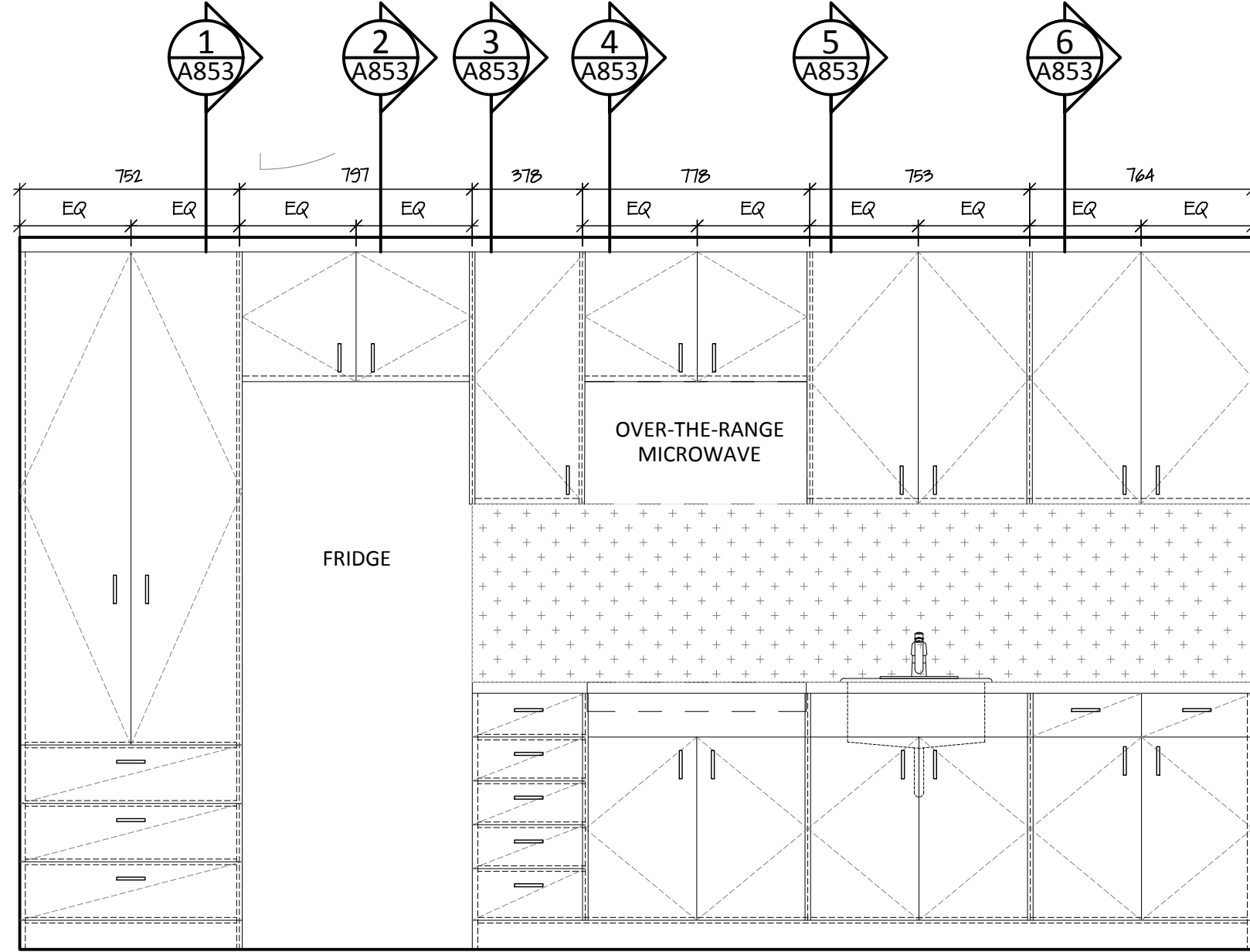
A820



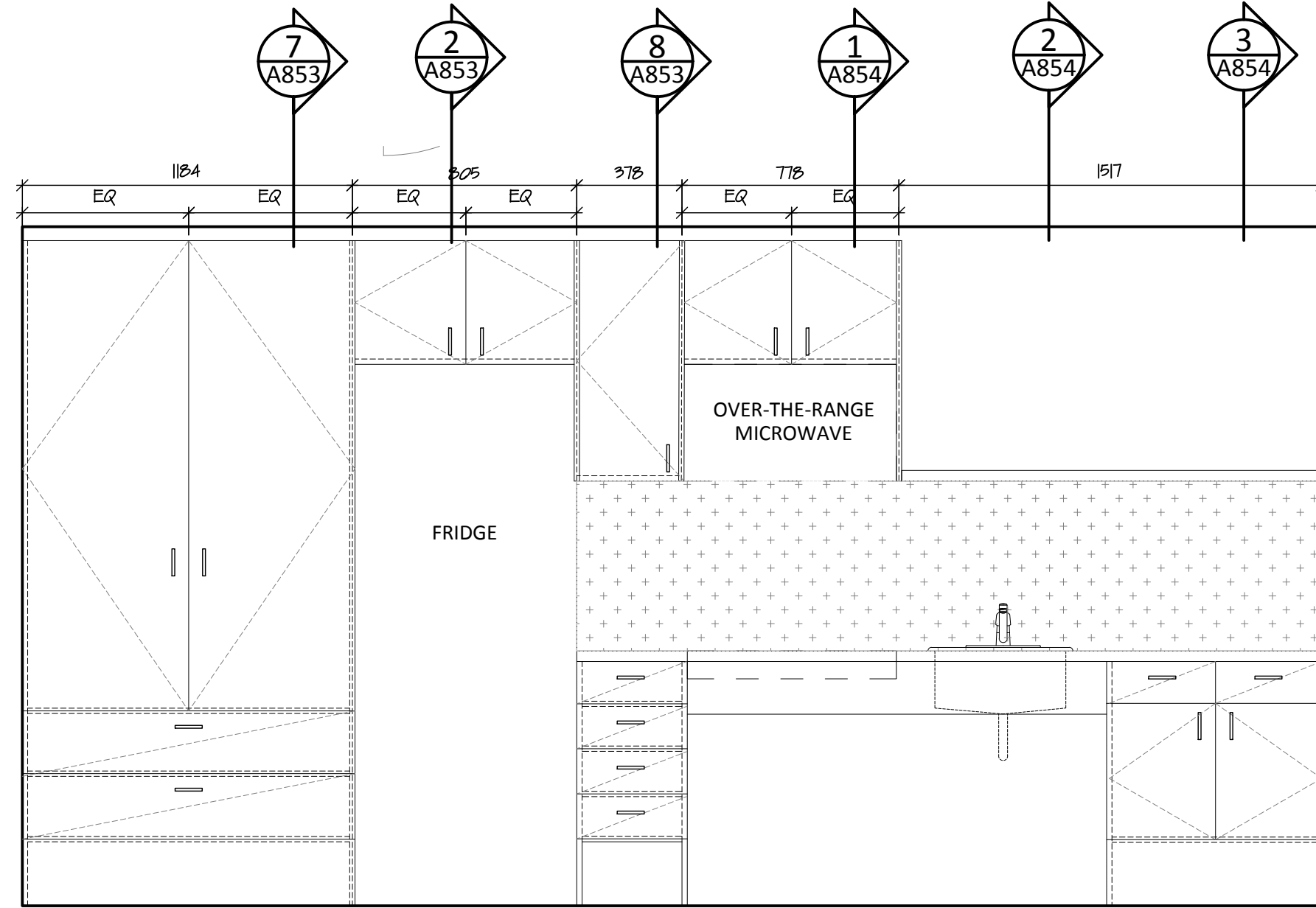
- NOTES:
- MILLWORK SUPPLIERS TO COORDINATE WITH APPLIANCE SUPPLIERS FOR ACTUAL WIDTHS.
  - CONTRACTOR TO COORDINATE WITH MILLWORK INSTALLATIONS FOR BACKING TO WALL



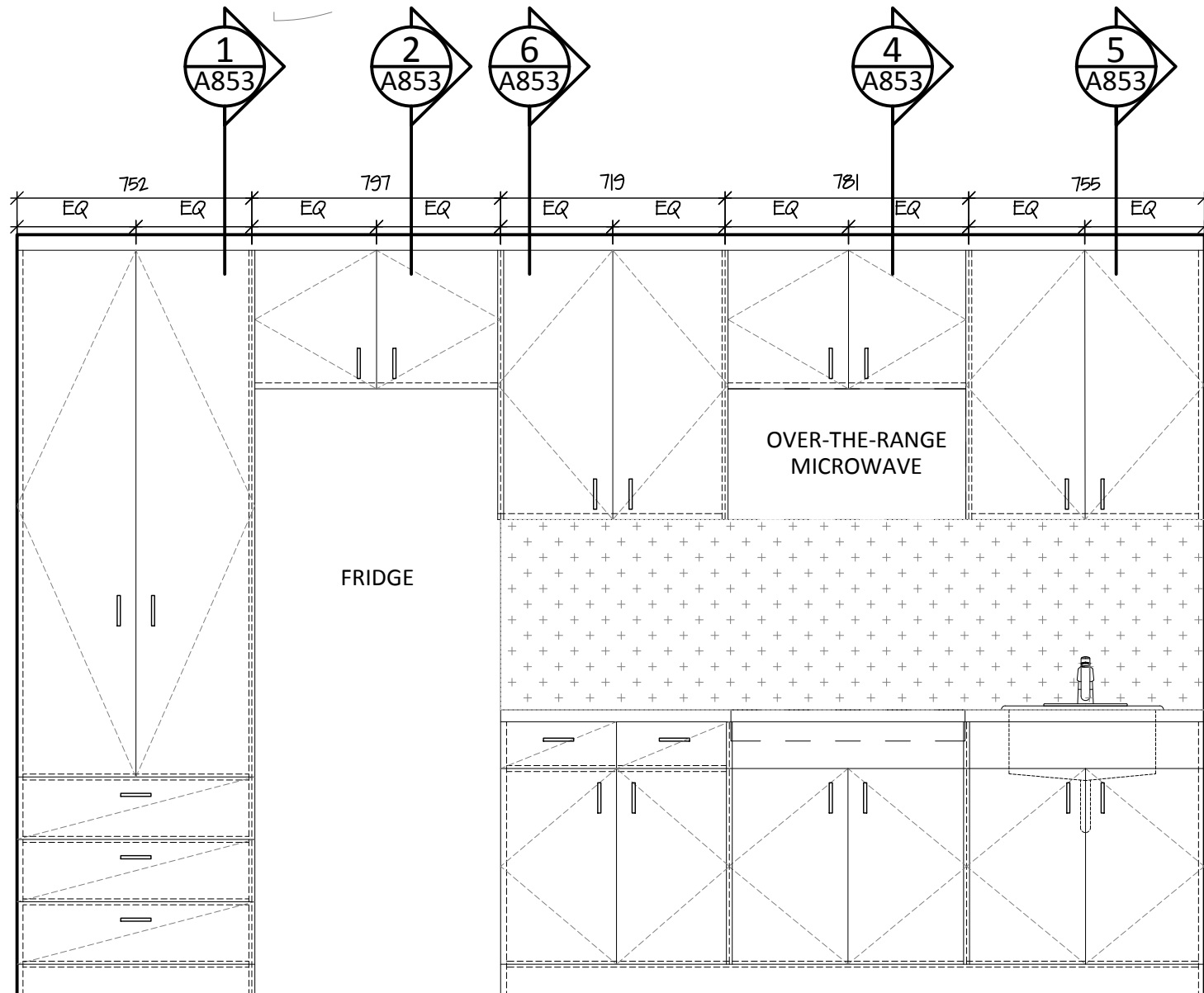
1 Kitchen Millwork Elevation - Room 217/219/221  
A851 scale 1:20



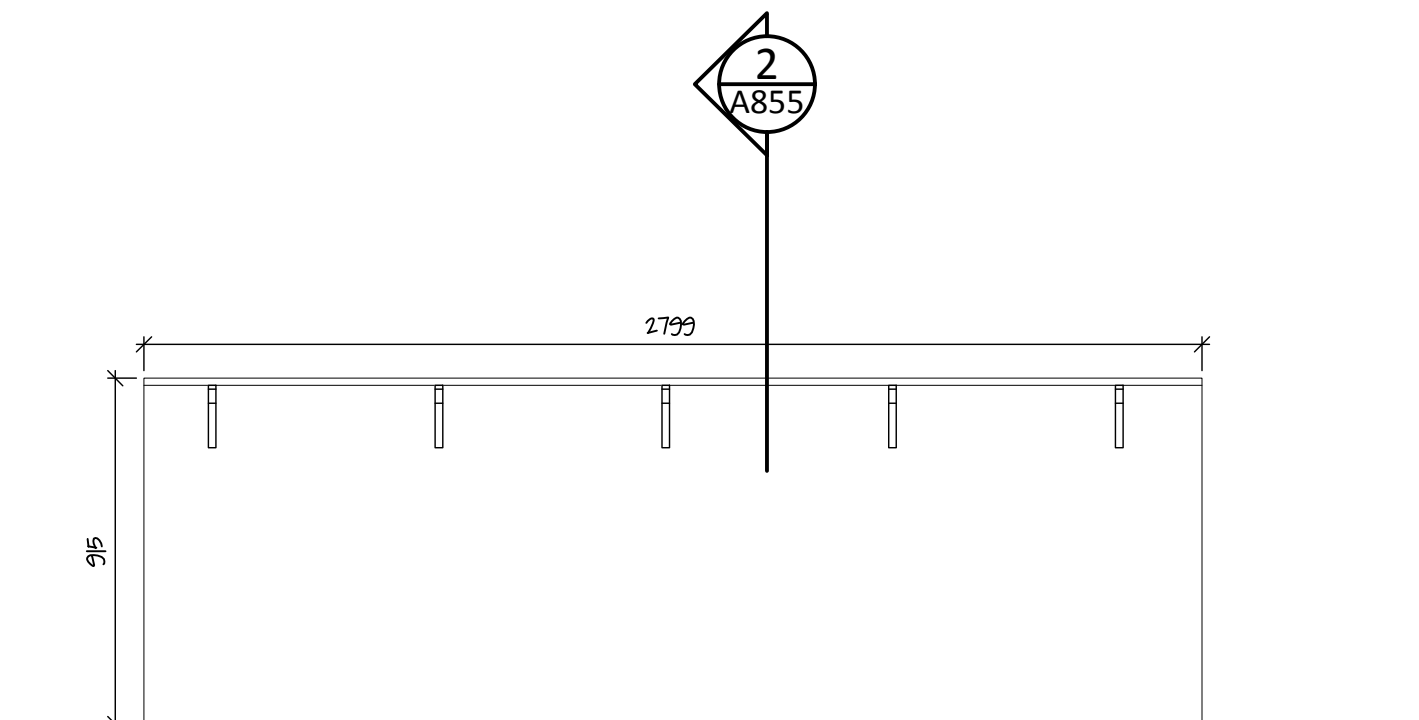
2 Kitchen Millwork Elevation - Room 212  
A851 scale 1:20



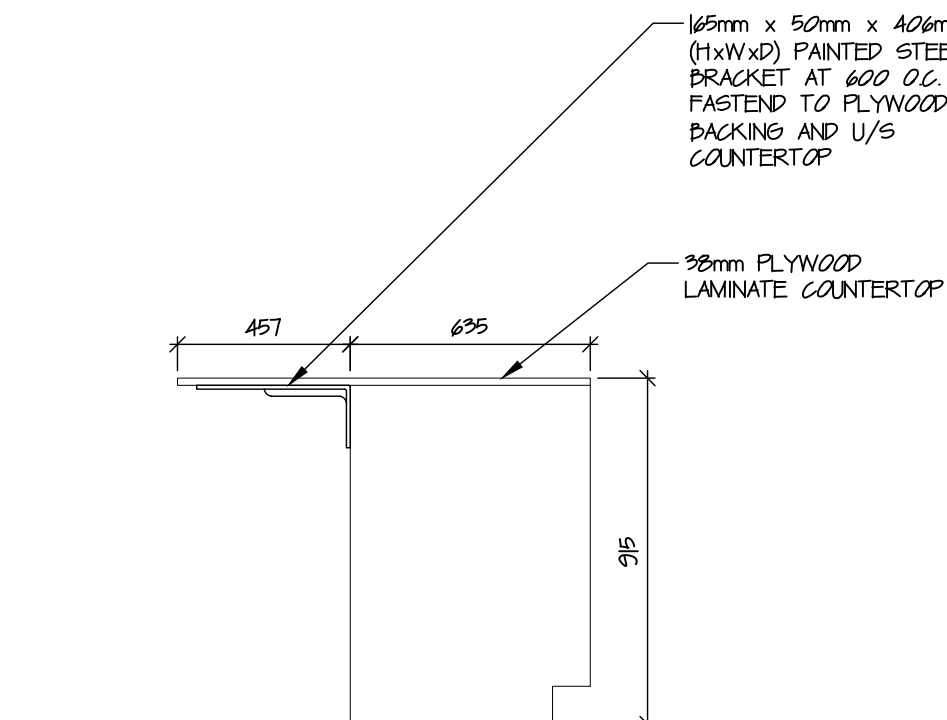
3 Kitchen Millwork Elevation - Room 210 Barrier Free Layout  
A851 scale 1:20



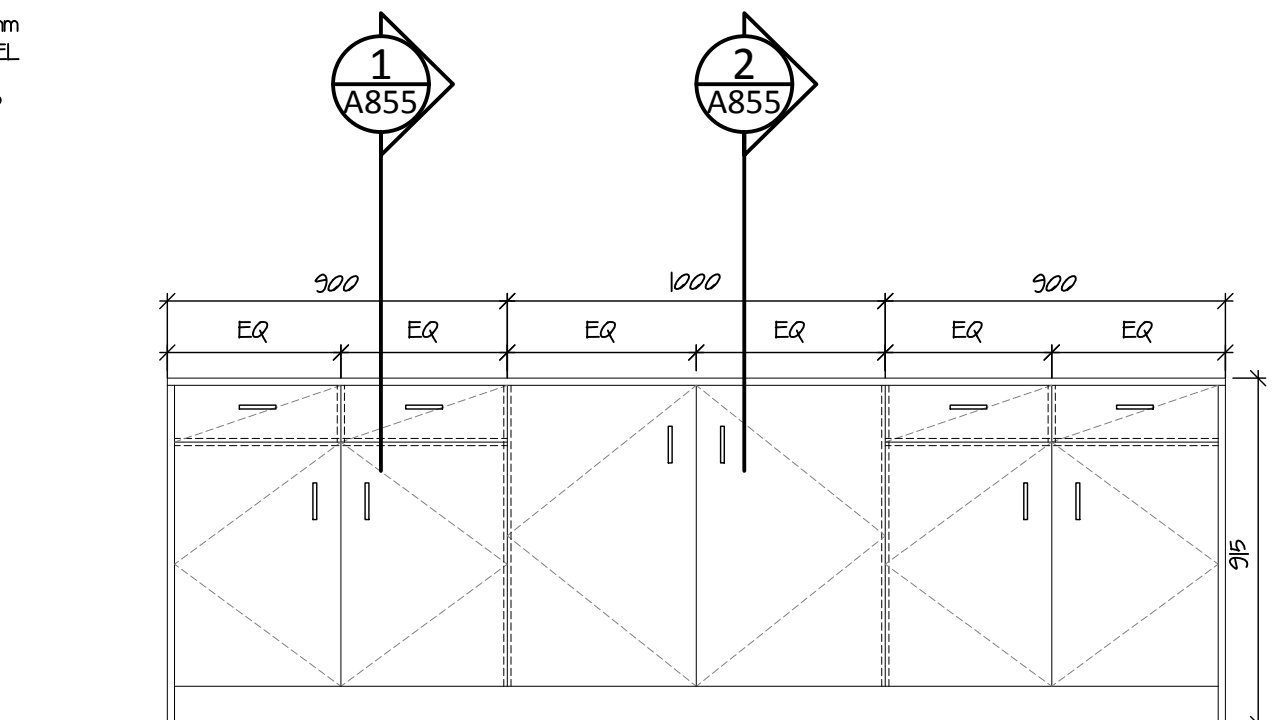
4 Kitchen Millwork Elevation - Room 215  
A851 scale 1:20



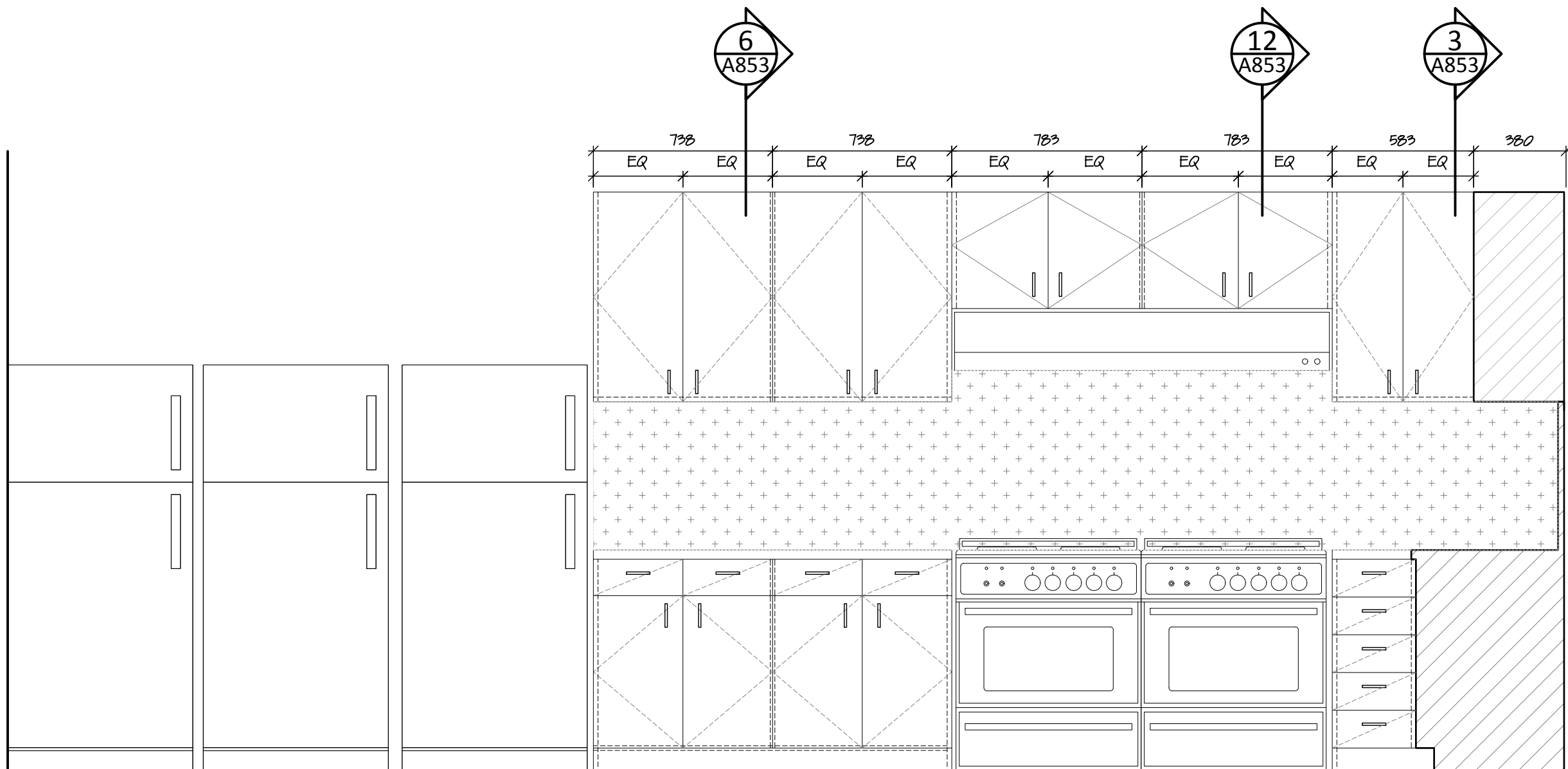
5 Kitchen Island Elevation - Room 118 East  
A851 scale 1:20



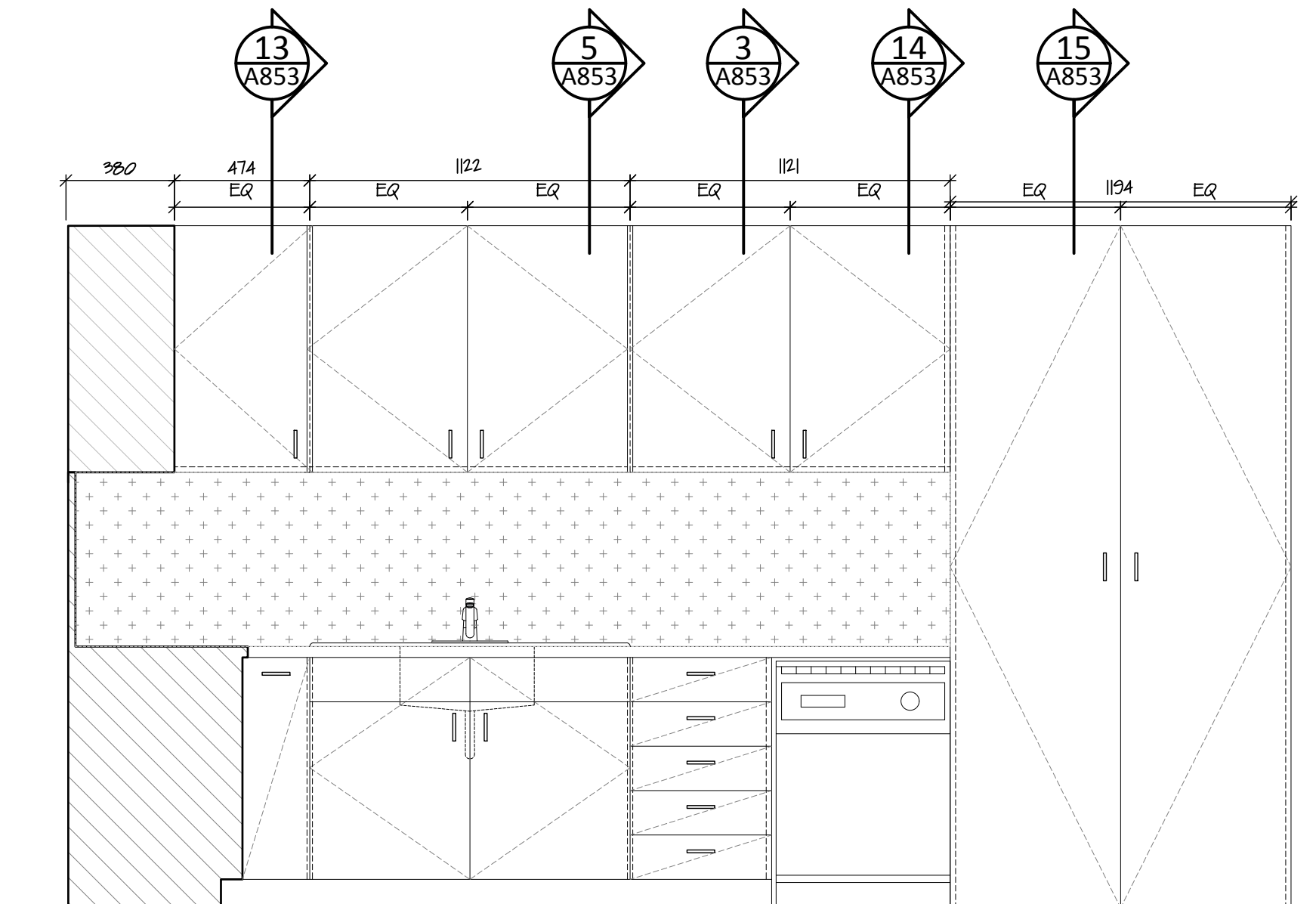
6 Kitchen Island Elevation - Rm 118 North  
A851 scale 1:20



7 Kitchen Island Elevation - Room 118 West  
A851 scale 1:20



8 Kitchen Millwork Elevation - Room 118 East  
A851 scale 1:20



9 Kitchen Millwork Elevation - Room 118 South  
A851 scale 1:20

**NOT FOR CONSTRUCTION**  
ALL DIMENSIONS TO BE SITE VERIFIED BY CONTRACTOR


2	21-July-12	Issued for Tender
1	21-Jun-16	Issued for 100% Construction Documents
#	Date	Description

Revisions
Date:
May 20, 2021

Project:  
**TH MEN'S SHELTER**

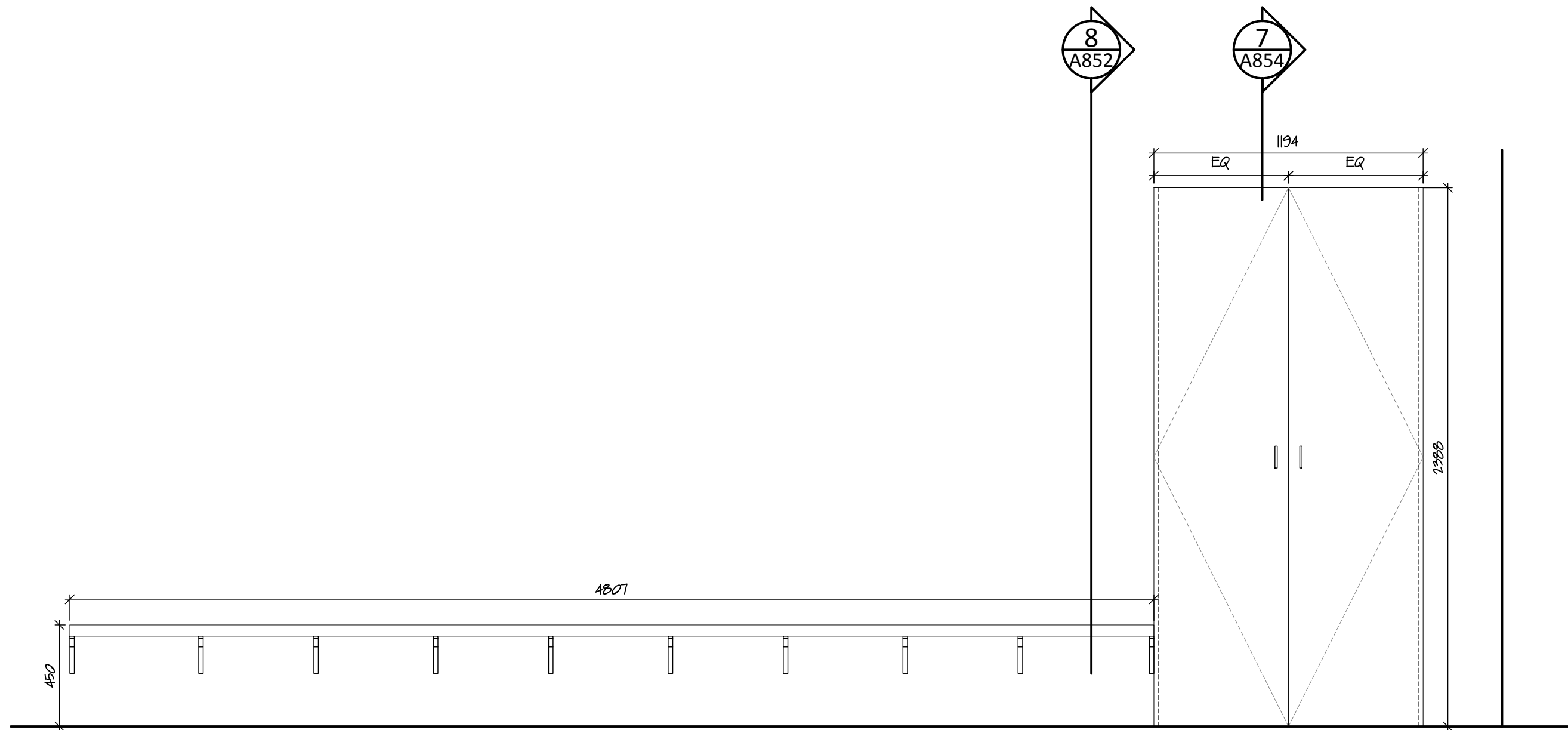
Dawson City, YT

project north	Drawing by: T.F.
True north	Checked by: S.T.
Scale:	As Noted

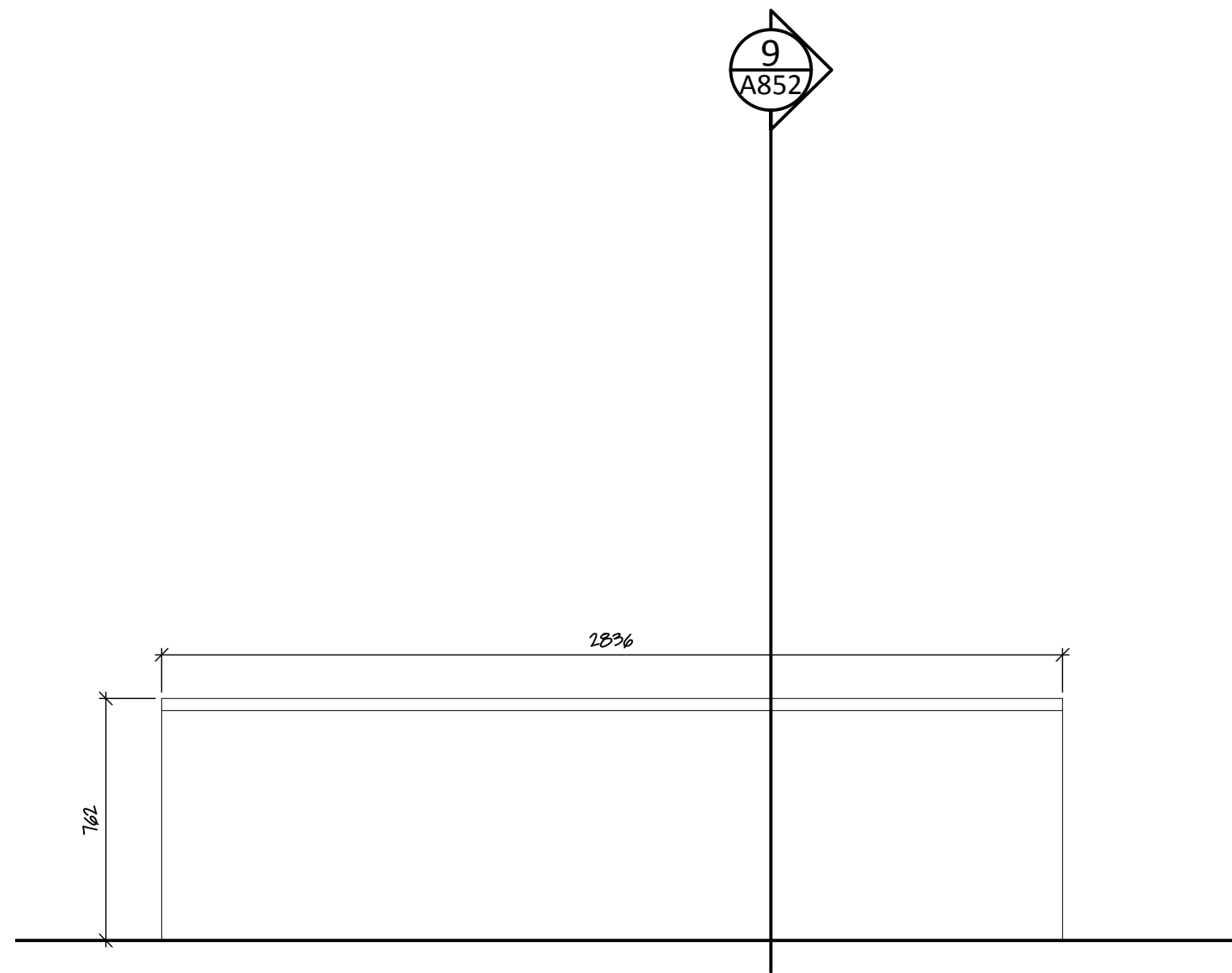
Sheet name:  
**Millwork Elevations and Sections**

Project #  
**20-040**

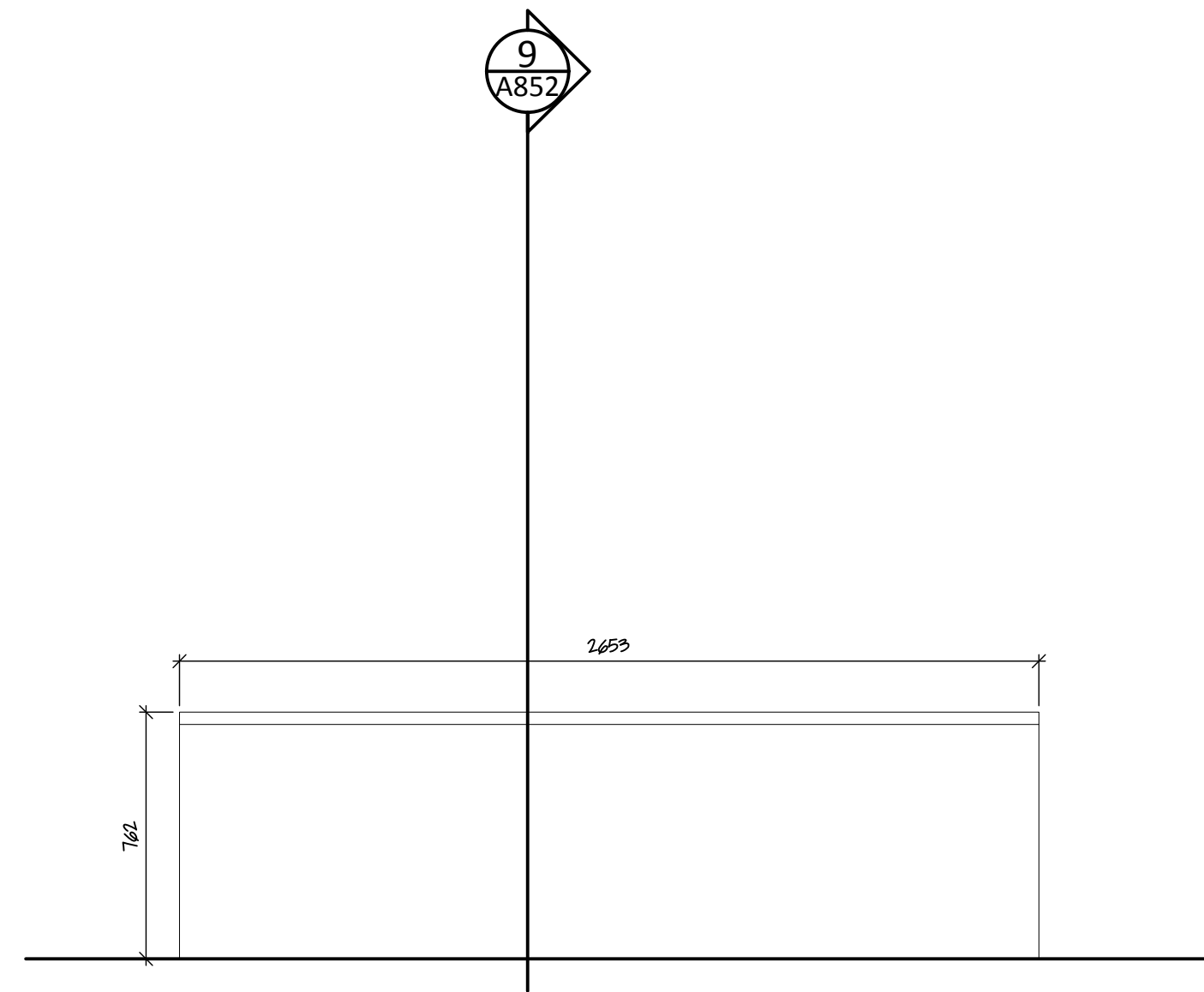
Drawing #  
**A851**



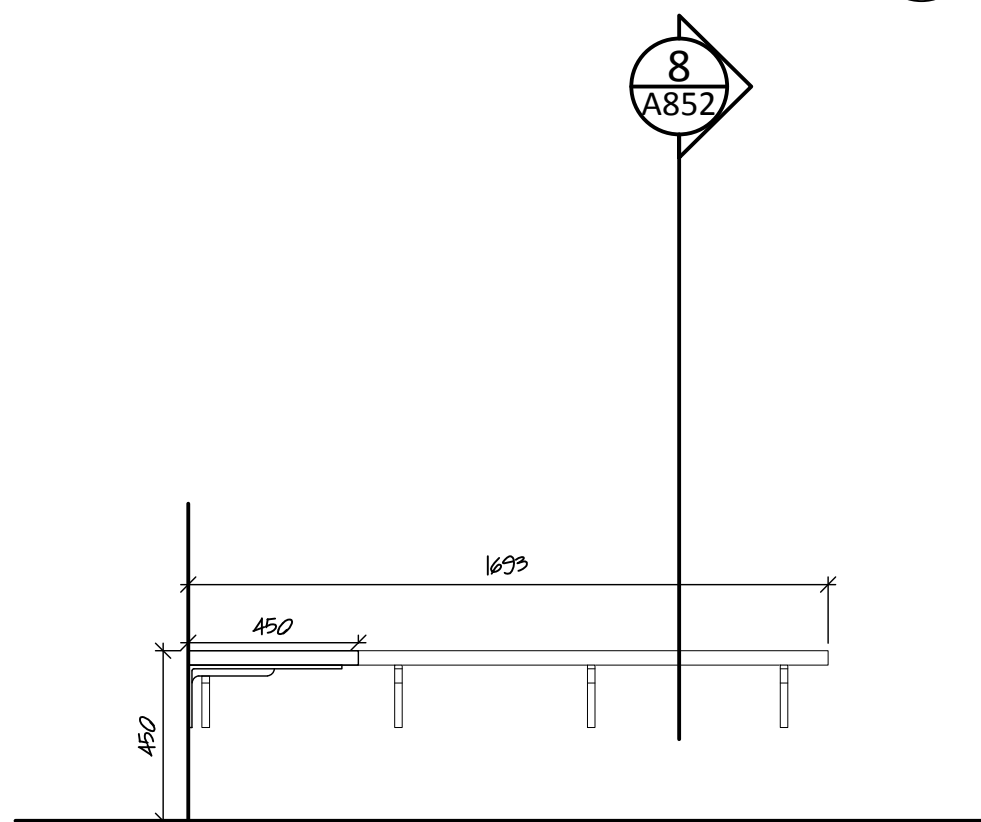
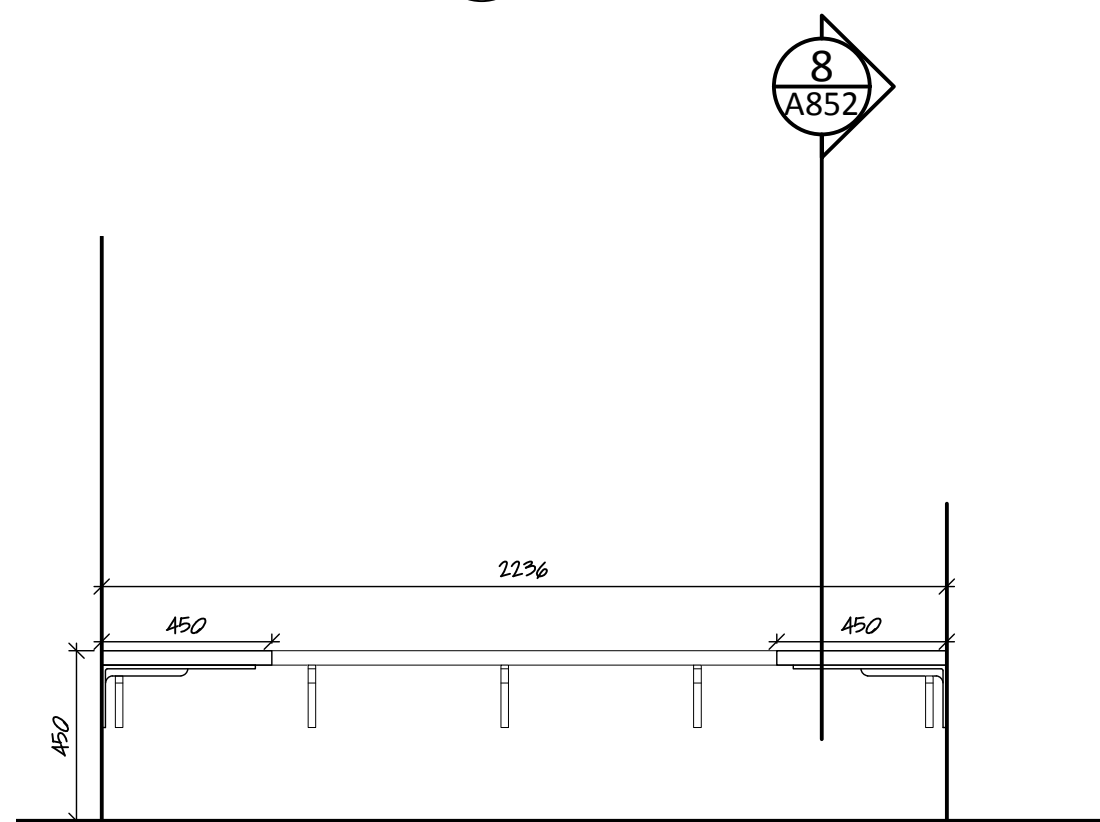
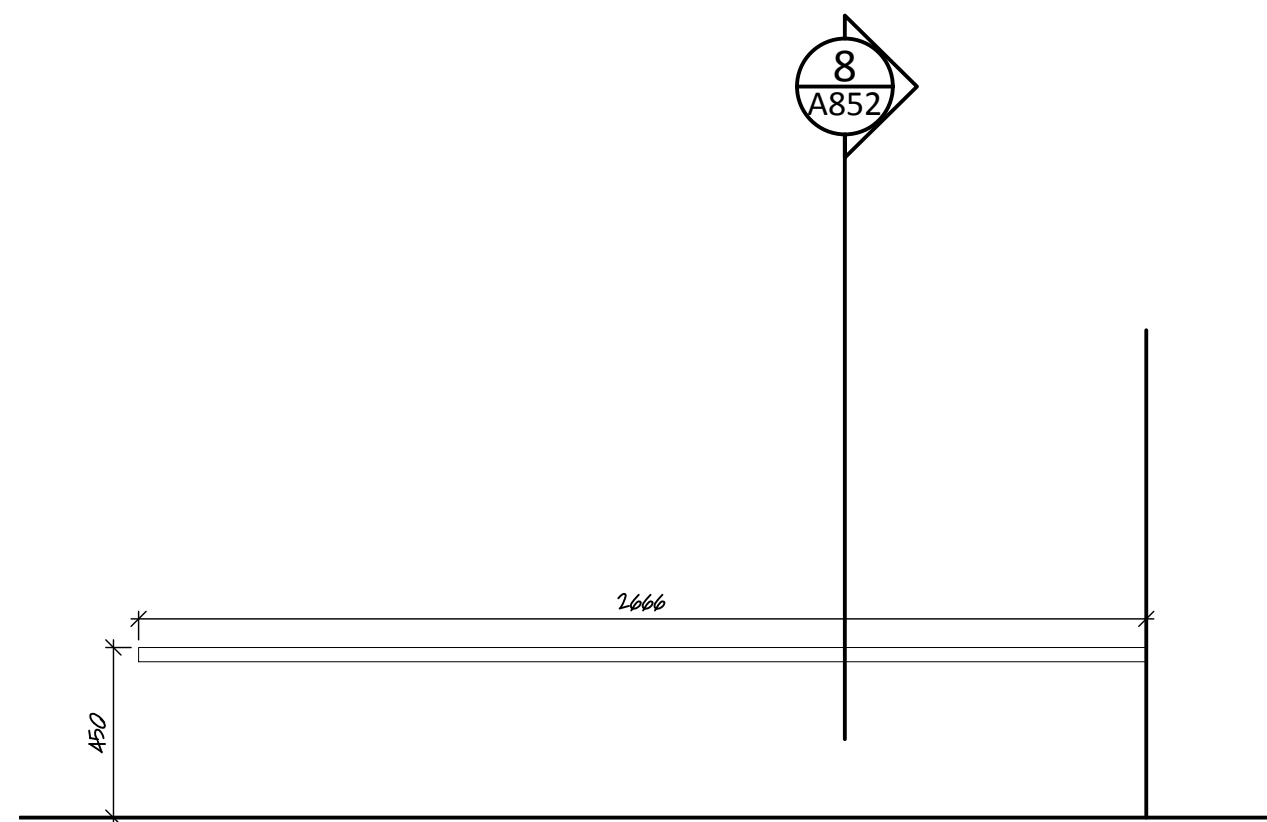
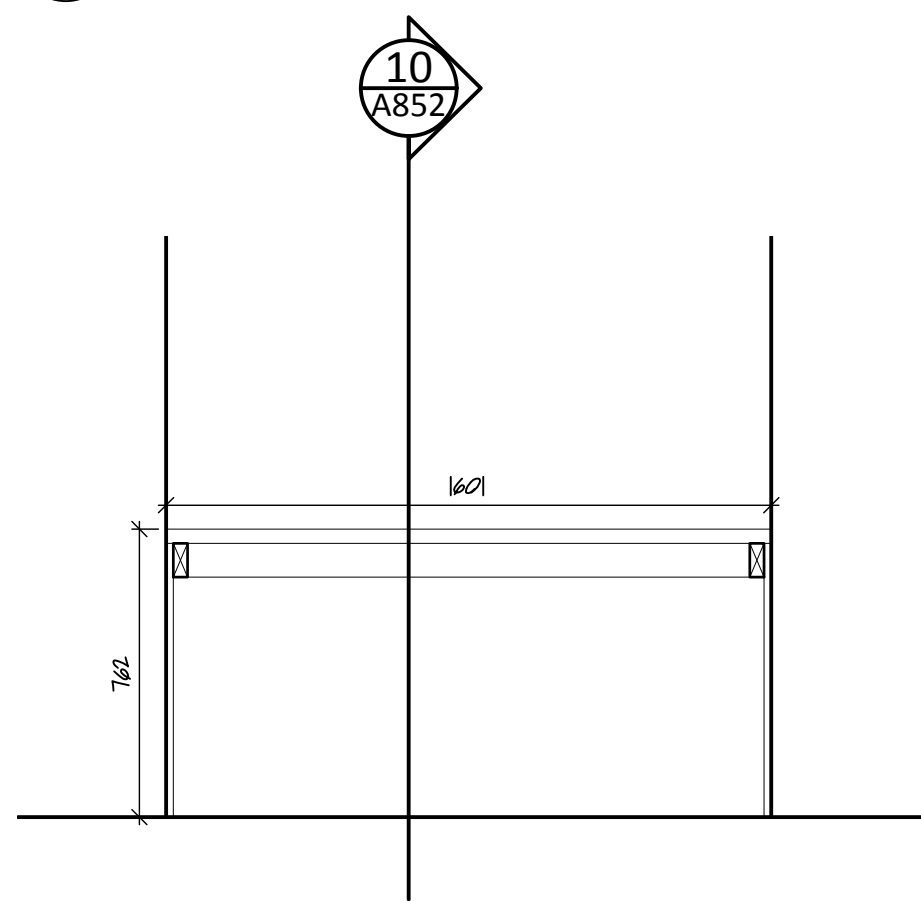
1 Bench and Pantry Elevation - Room 118 North  
A852 scale 1:20



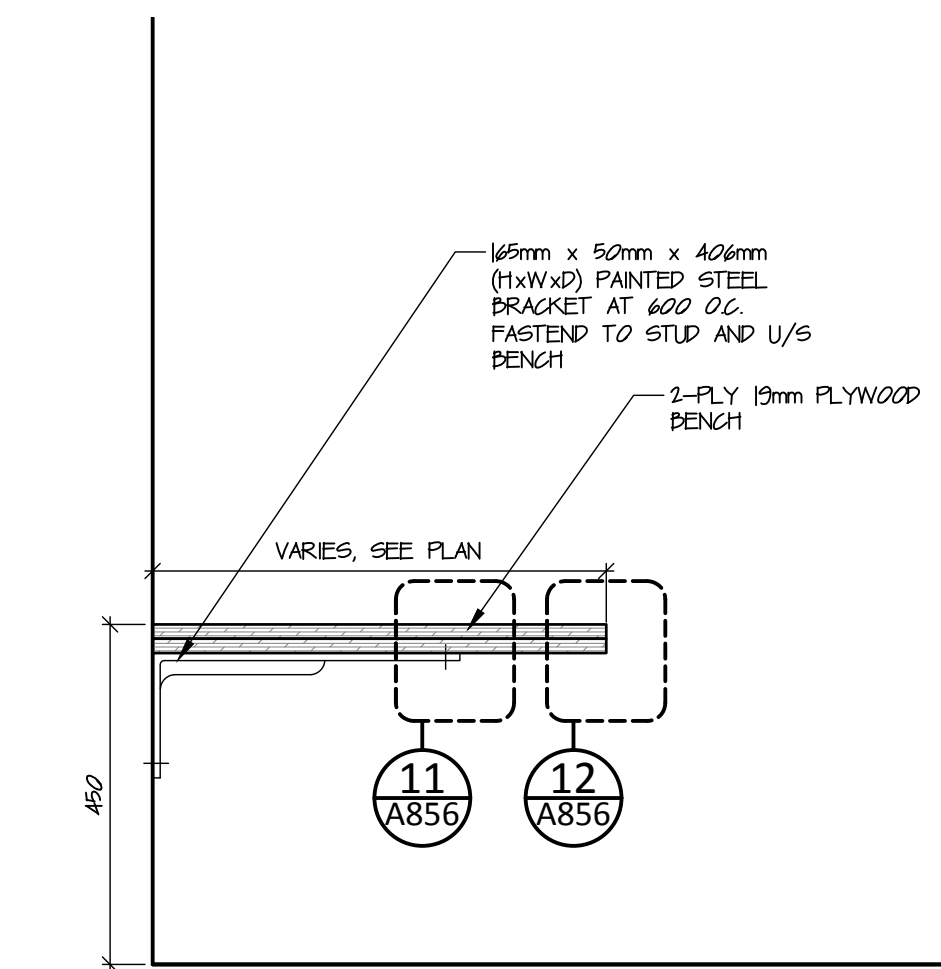
2 Front Desk Elevation - Room 109  
A852 scale 1:20



3 Front Desk Elevation - Room 109  
A852 scale 1:20

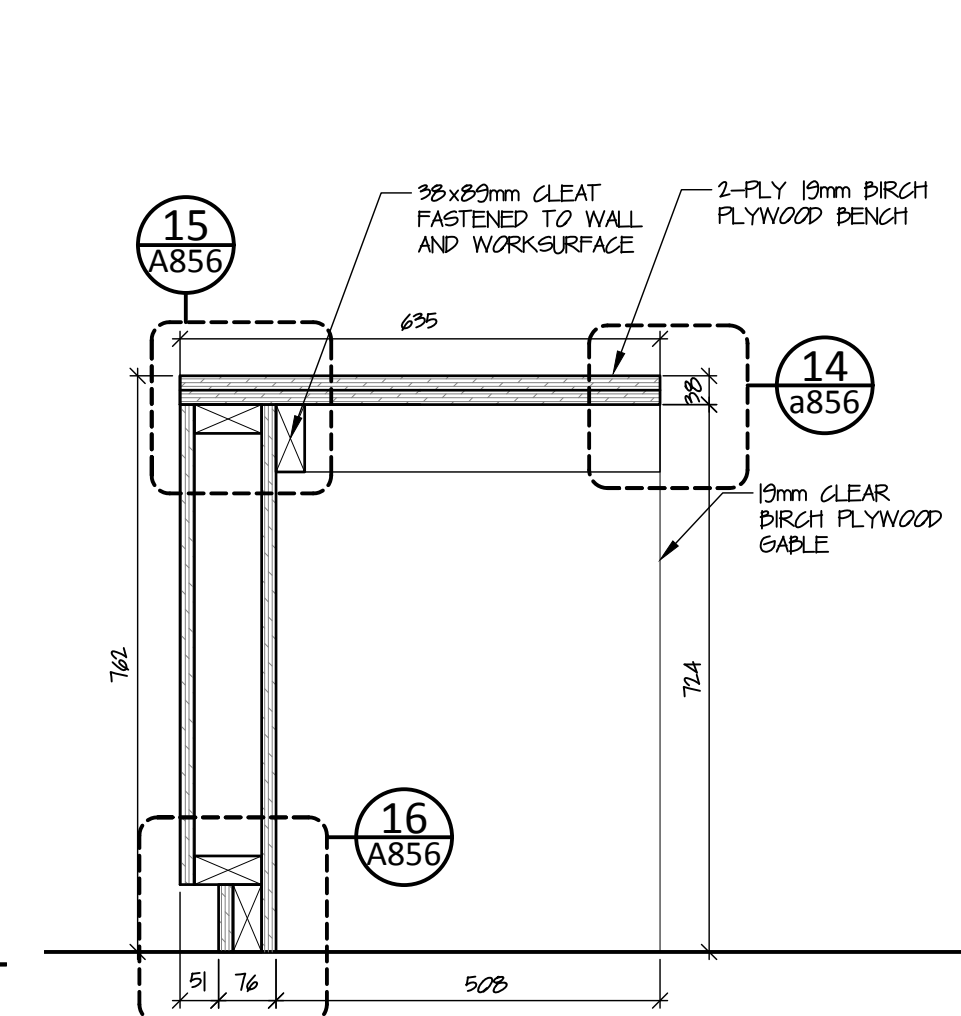


4 Desk Elevation - Room 112 Wellness Room  
A852 scale 1:20



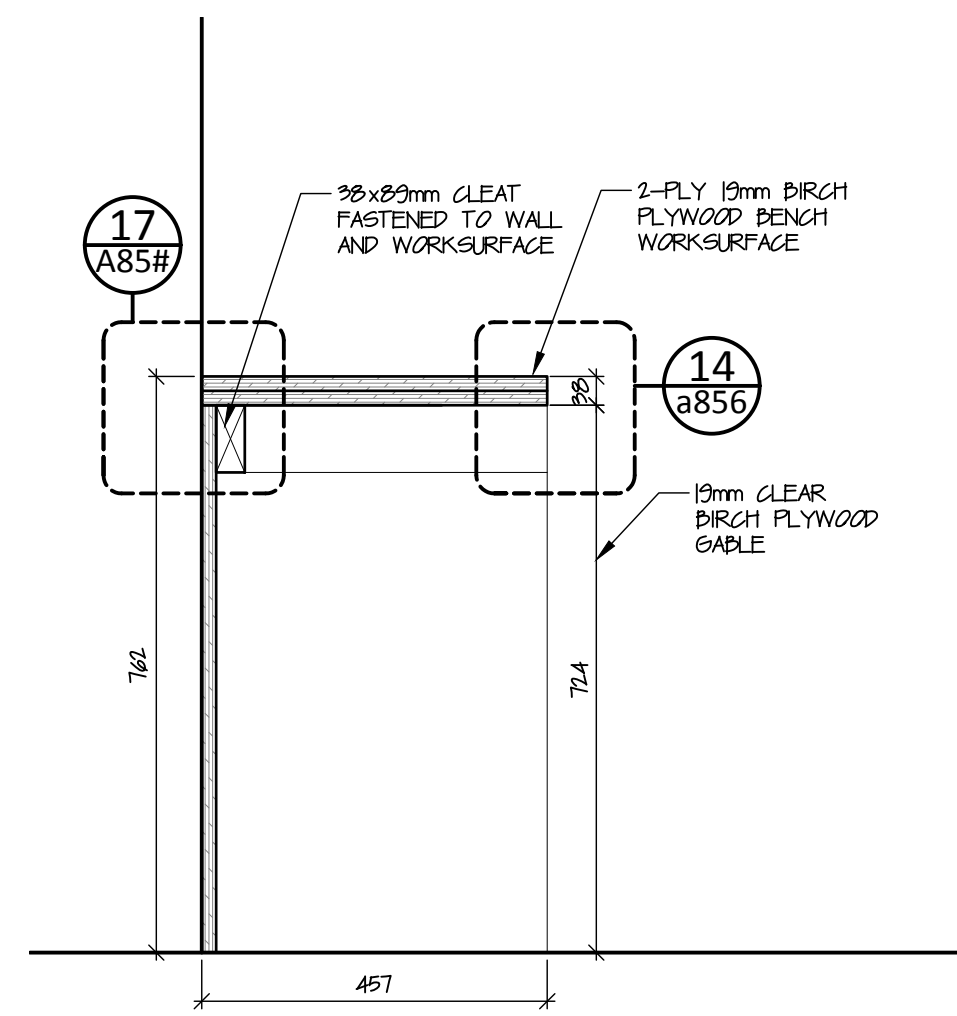
8 Typ. Bench Section  
A852 scale 1:10

5 Bench Elevation - Room 101 Entrance  
A852 scale 1:20

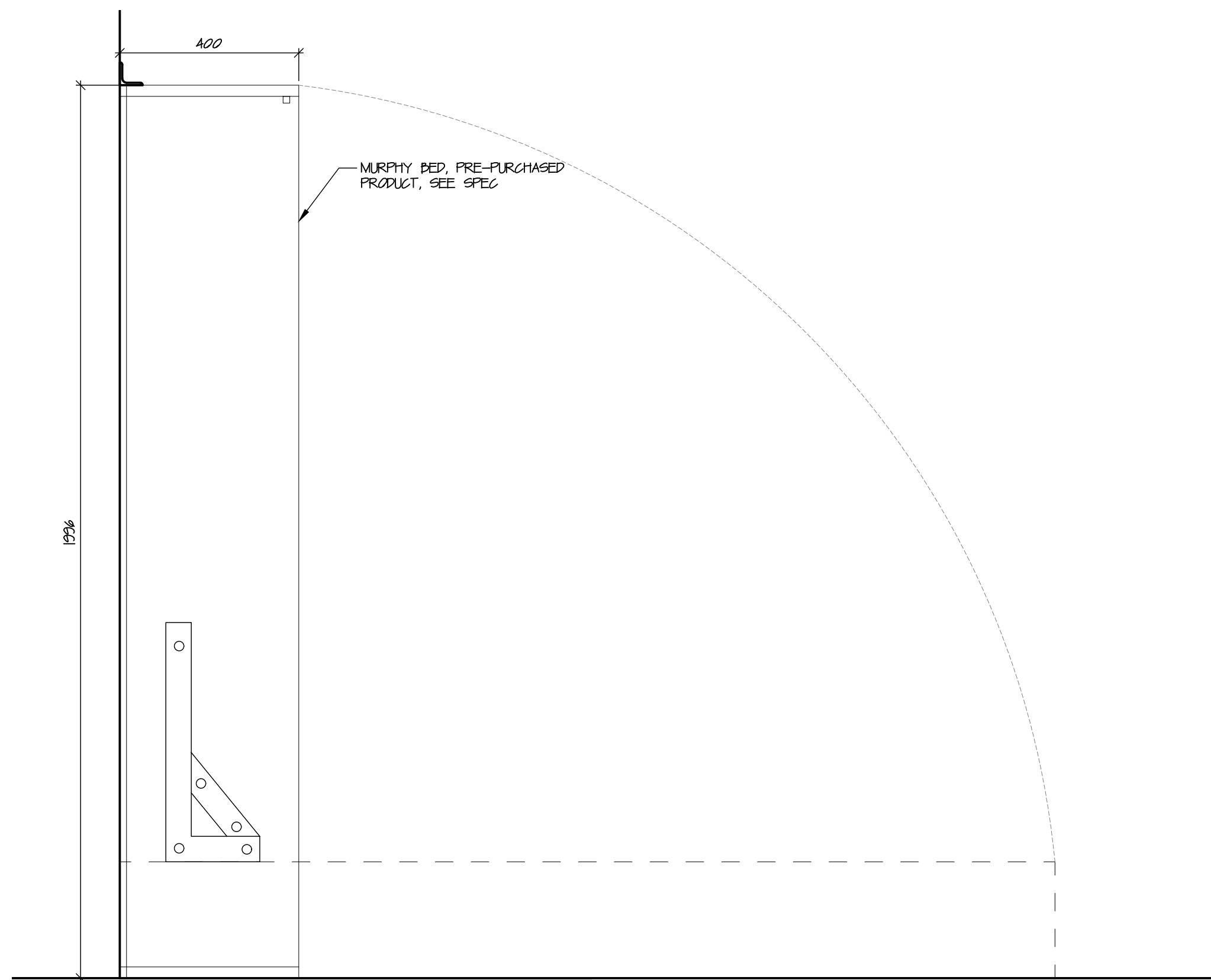


9 Front Desk Section  
A852 scale 1:10

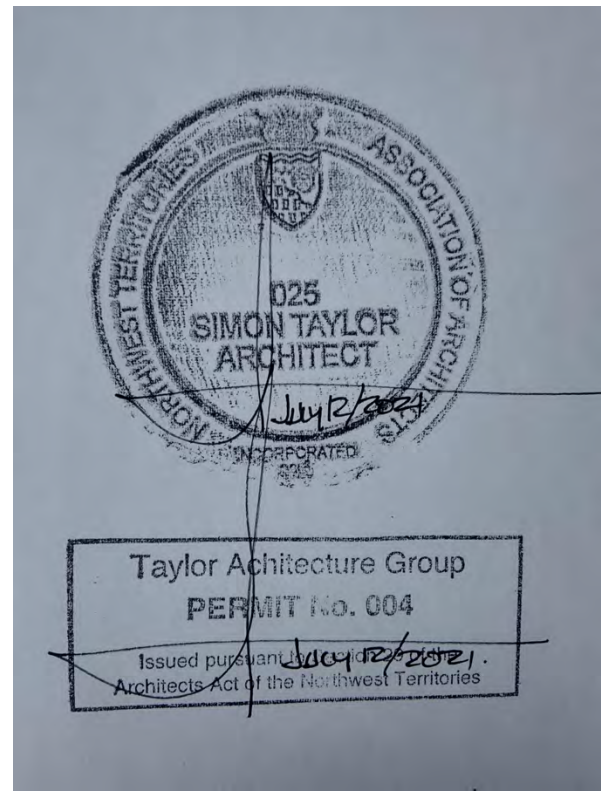
6 Bench Elevation - Room 102 Wellness Room West  
A852 scale 1:20



10 Desk Section  
A852 scale 1:10



11 Murphy Bed Section  
A852 scale 1:10



- NOTES:
1. MILLWORK SUPPLIERS TO COORDINATE WITH APPLIANCE SUPPLIERS FOR ACTUAL WIDTHS.
  2. CONTRACTOR TO COORDINATE WITH MILLWORK INSTALLATIONS FOR BACKING TO WALL

**NOT FOR CONSTRUCTION**  
ALL DIMENSIONS TO BE SITE VERIFIED BY CONTRACTOR


2	21-July-12	Issued for Tender
1	21-Jun-16	Issued for 100% Construction Documents
#	Date	Description

Revisions
Date:
May 20, 2021

Project: **TH MEN'S SHELTER**

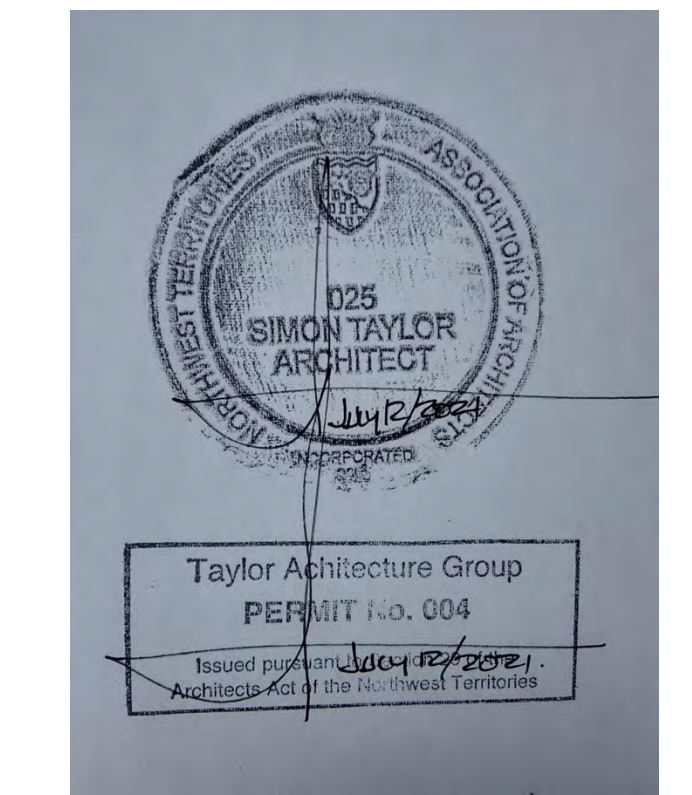
Dawson City, YT

project north	Drawing by: T.F.
True north	Checked by: S.T.
	Scale: As Noted

Sheet name: **Millwork Elevations and Sections**

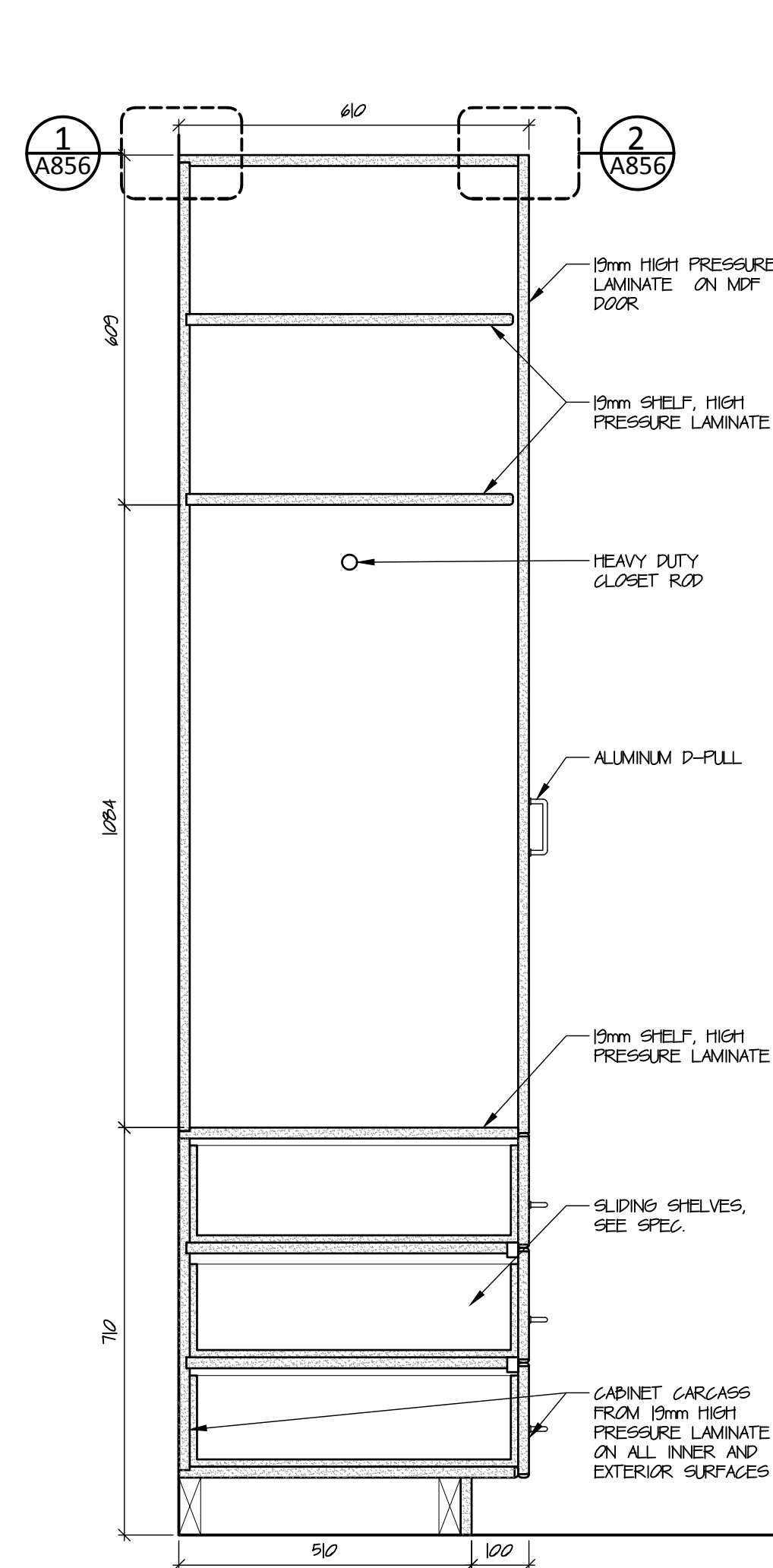
Project # **20-040**

Drawing # **A852**

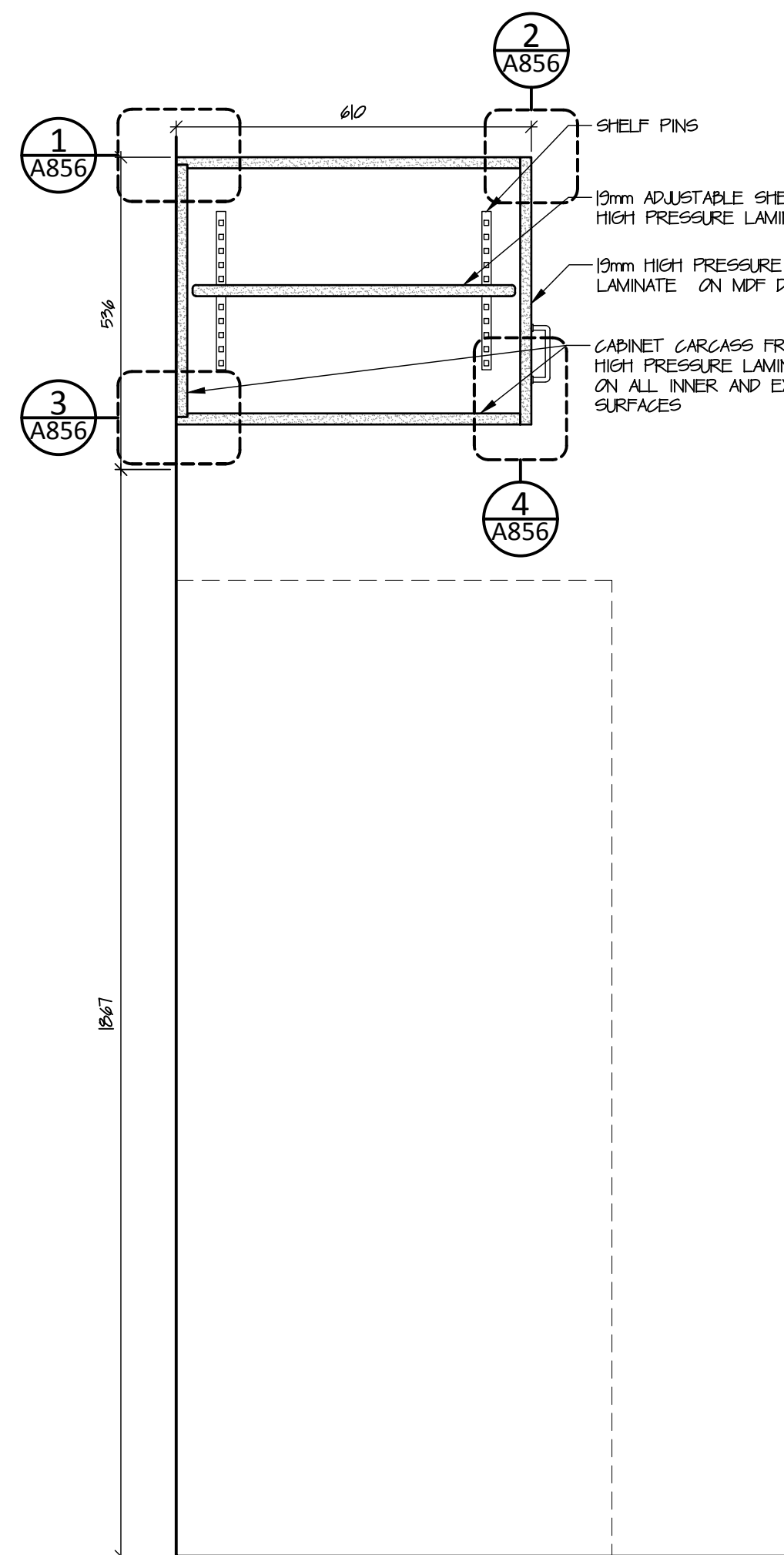


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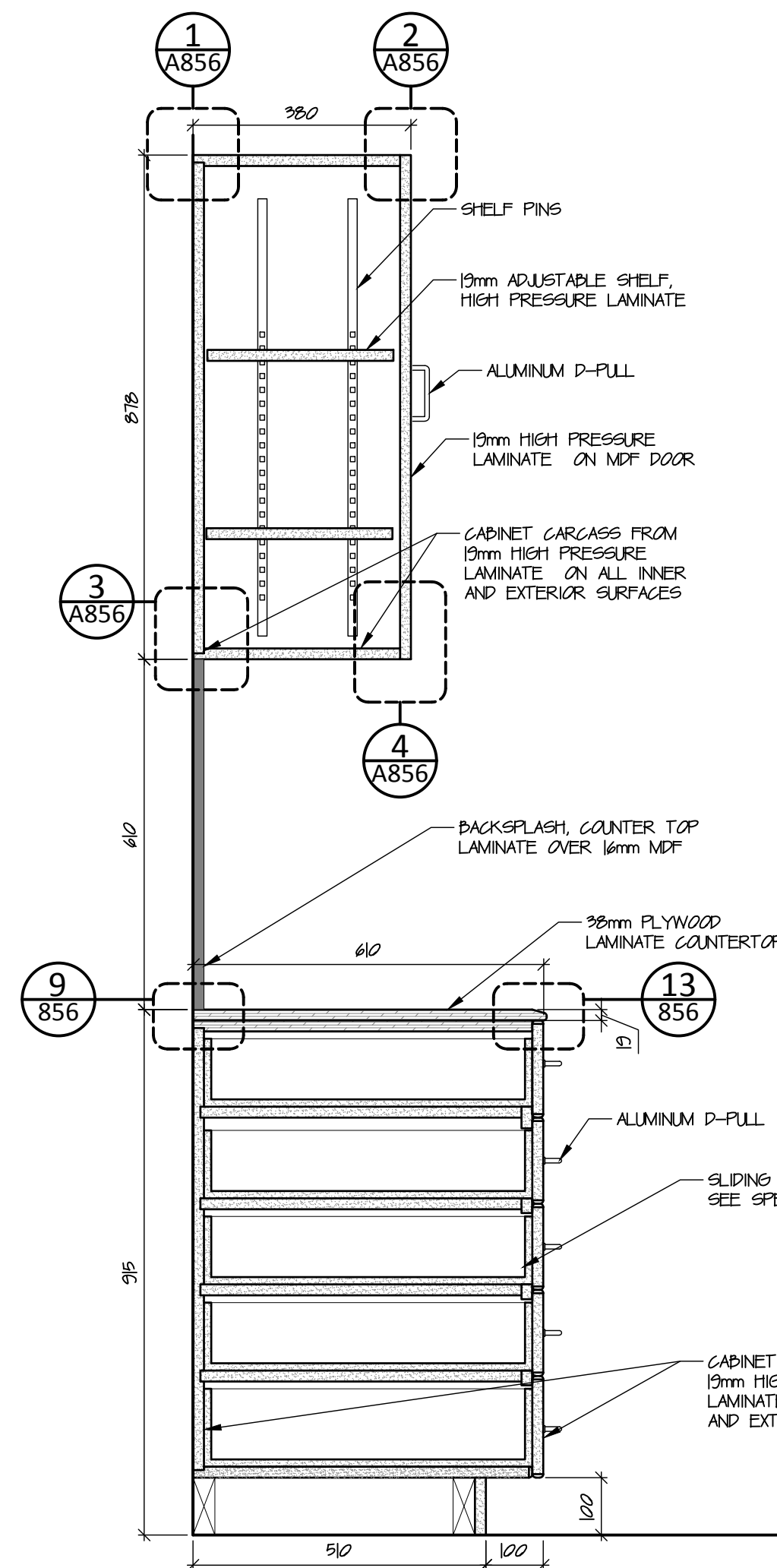
1. MILLWORK SUPPLIERS TO COORDINATE WITH APPLIANCE SUPPLIERS FOR ACTUAL WIDTHS.
2. CONTRACTOR TO COORDINATE WITH MILLWORK INSTALLATIONS FOR BACKING TO WALL



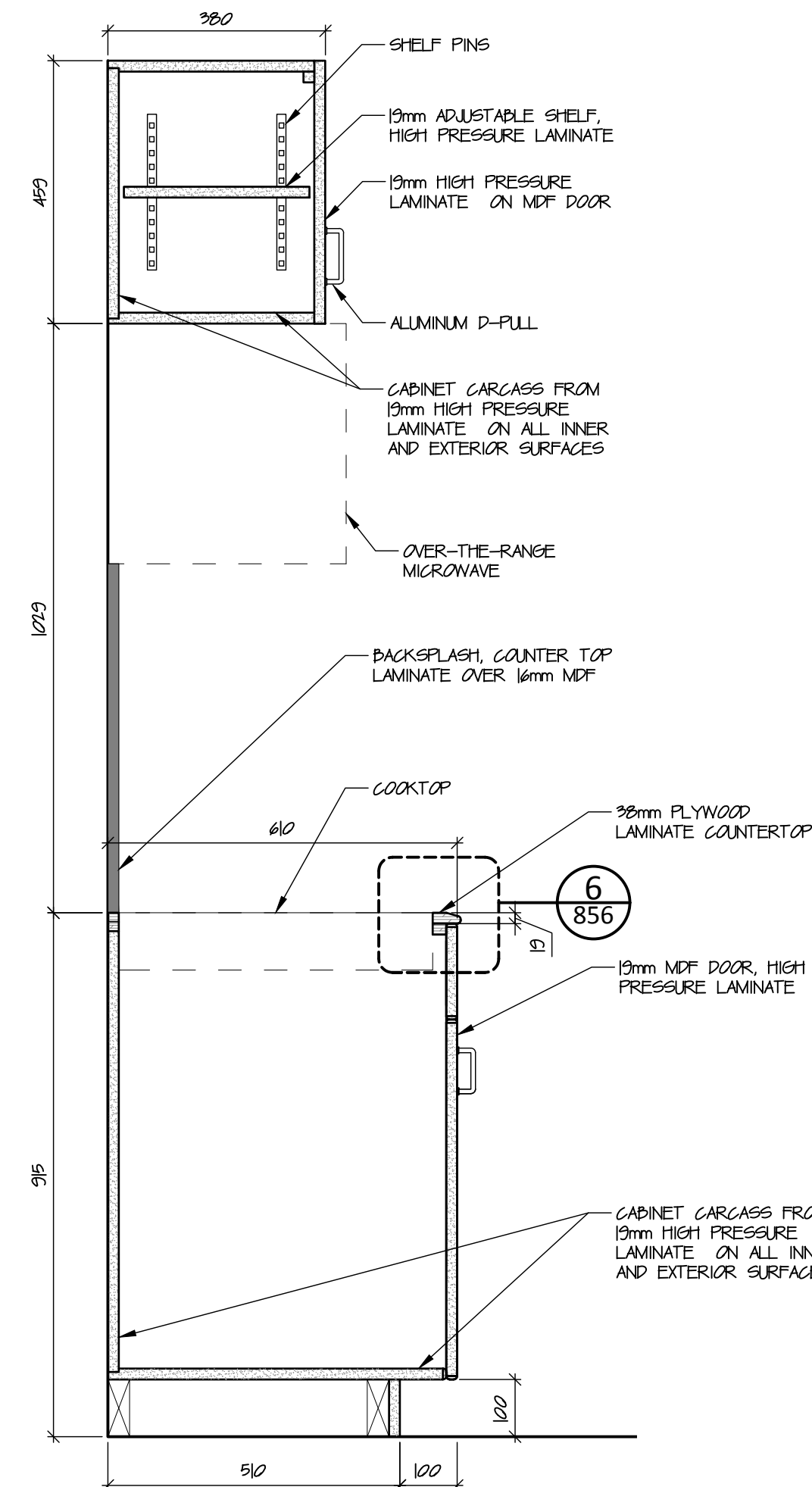
1 Millwork Section  
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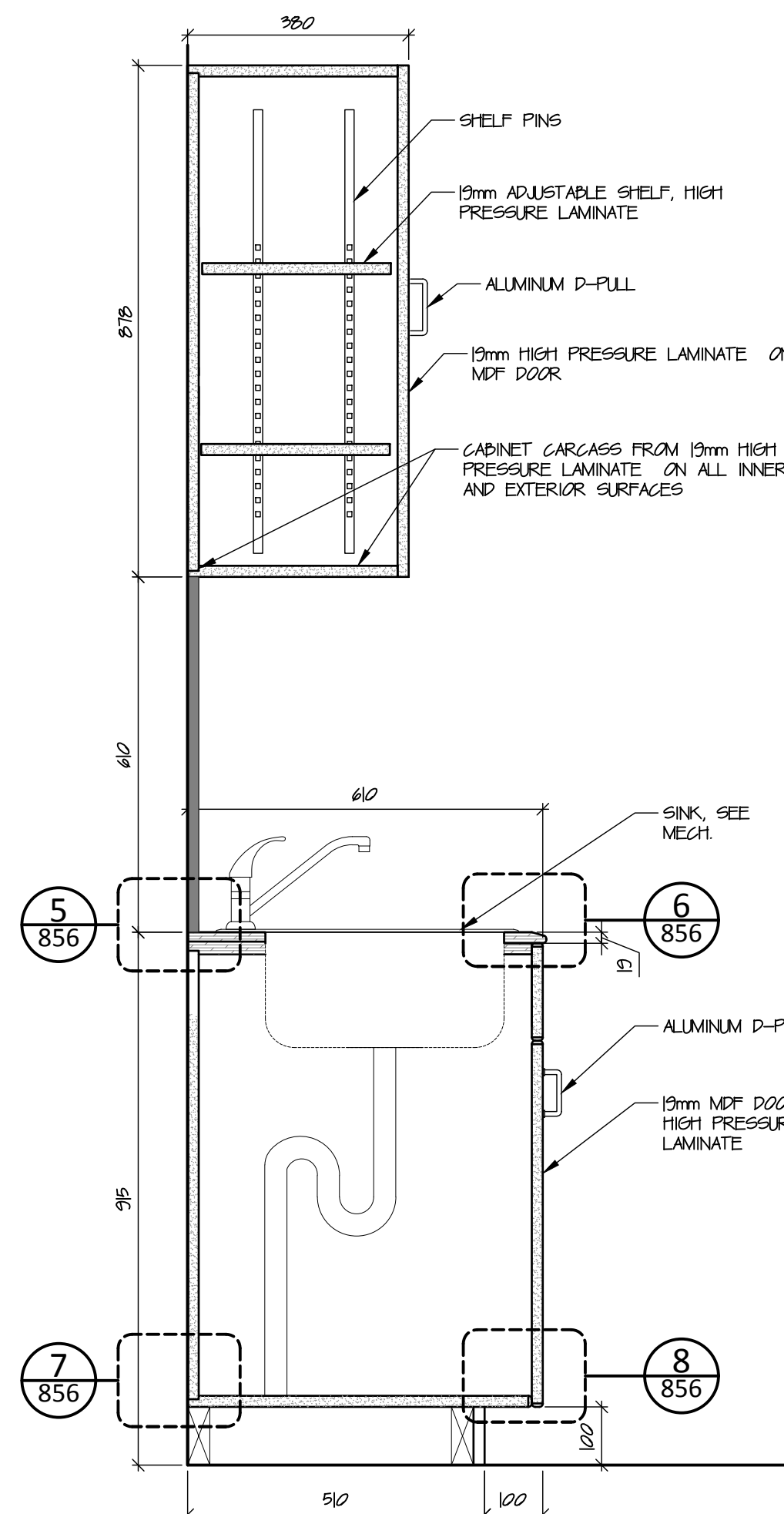
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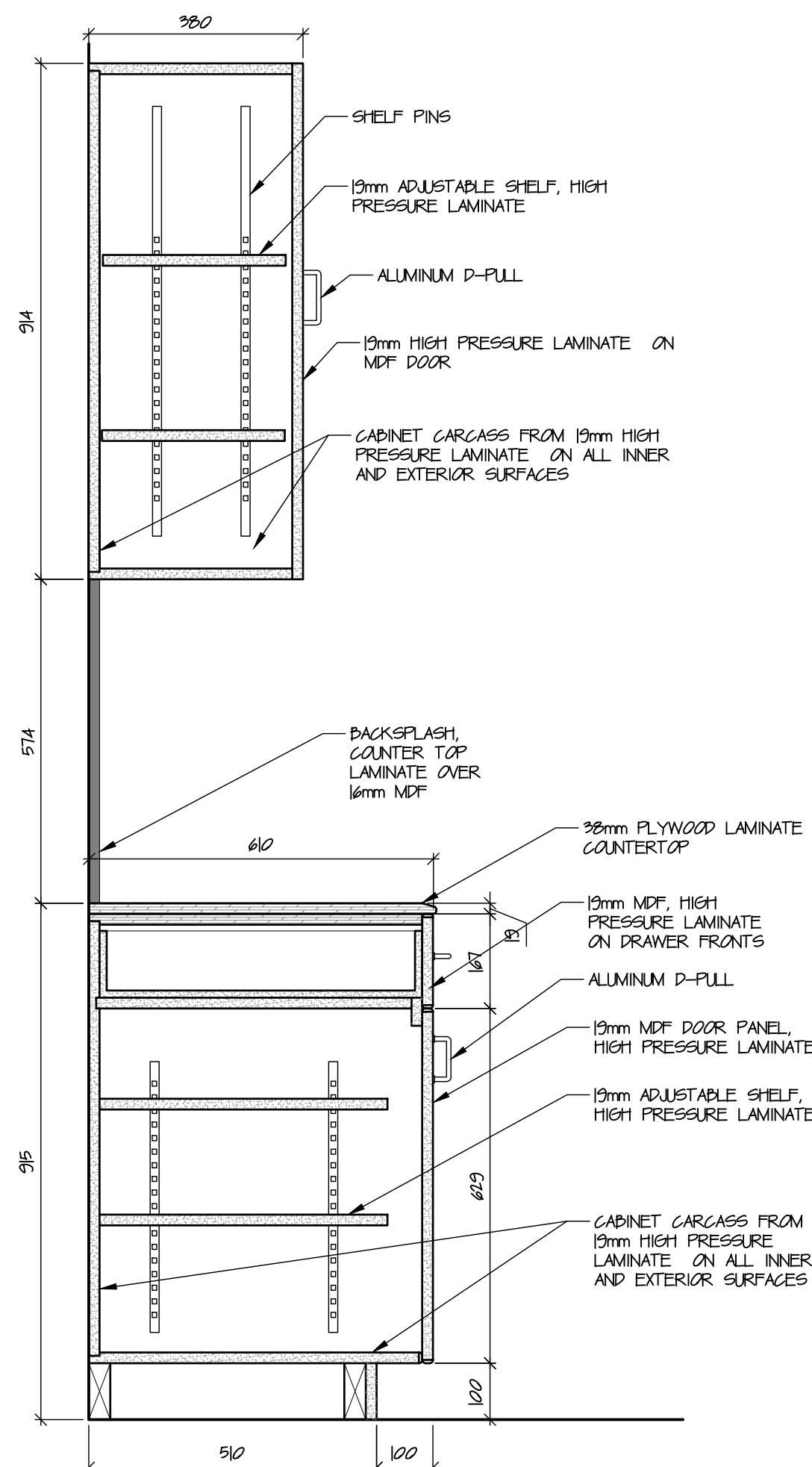
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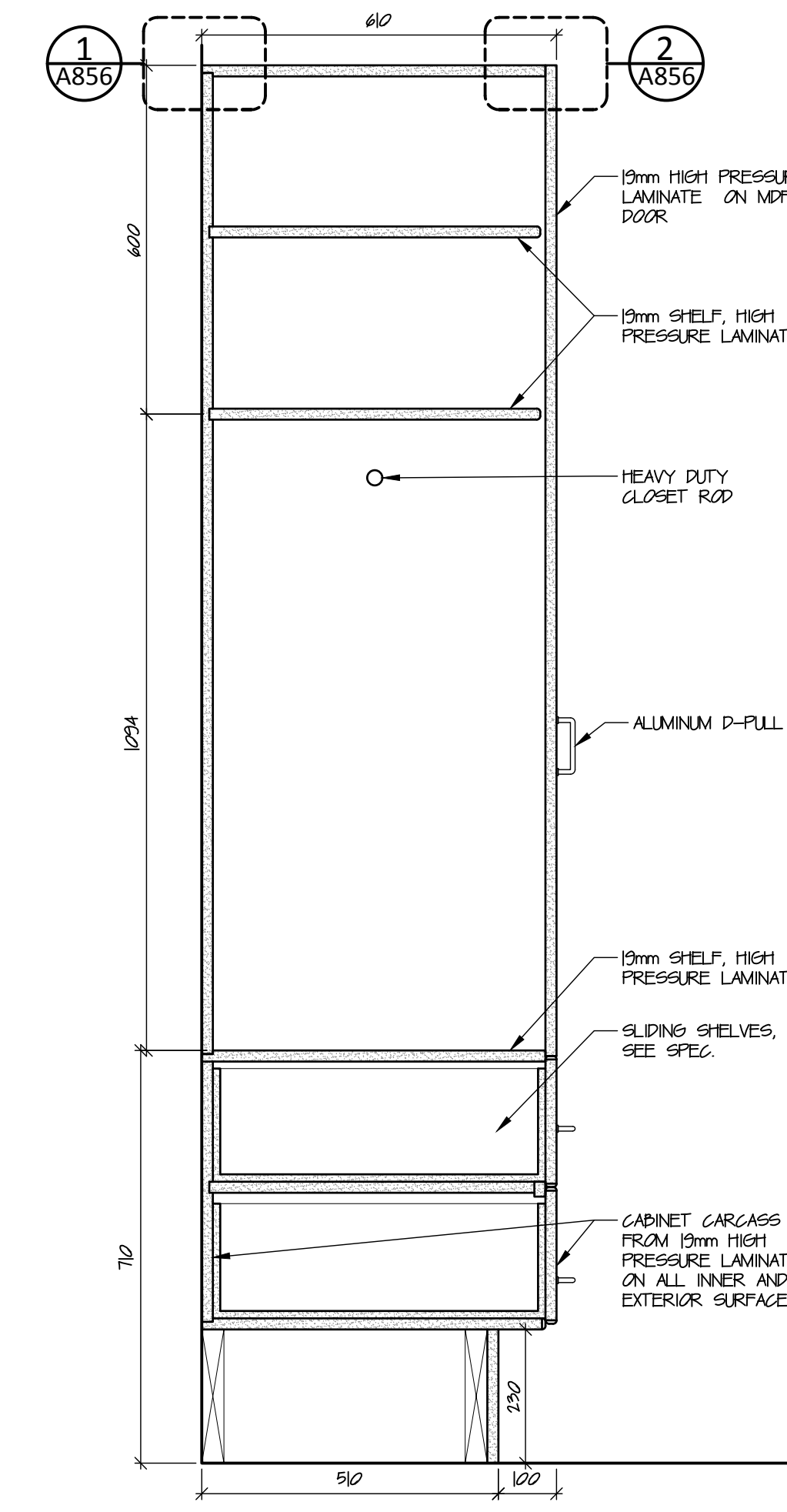
4 Millwork Section  
A853 scale 1:10



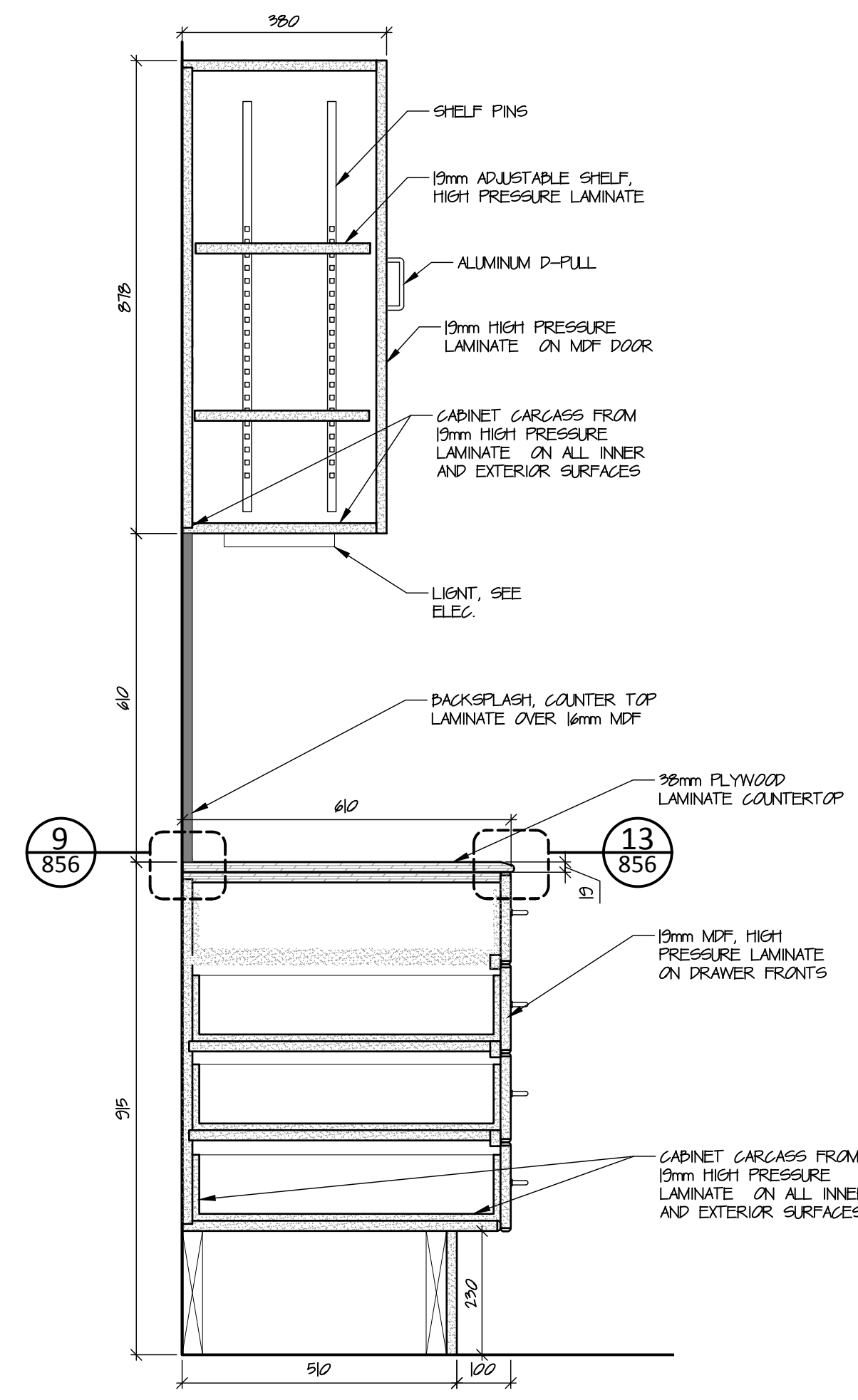
5 Millwork Section  
A853 scale 1:10



6 Millwork Section  
A853 scale 1:10



7 Millwork Section - Barrier Free  
A853 scale 1:10



8 Millwork Section - Barrier Free  
A853 scale 1:10

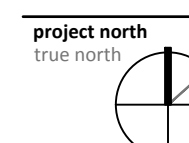
**NOT FOR CONSTRUCTION**  
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1	21-Jun-16	Issued for 100% Construction Documents
#	Date	Description
Revisions		
Date: May 20, 2021		

Project:

TH MEN'S SHELTER

Dawson City, Y



	Drawing by: T.F.
	Checked by: S.T.
	Scale: As Noted

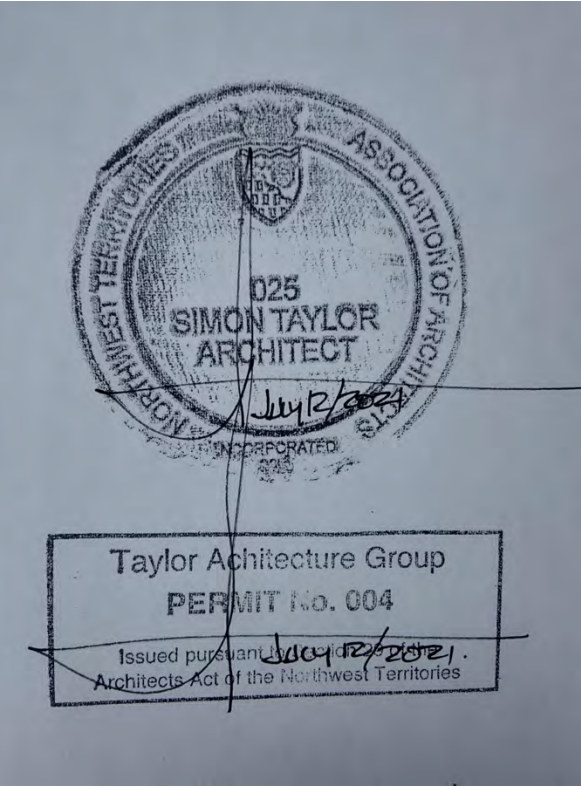
# Millwork Elevations and Sections

Project #

20-040

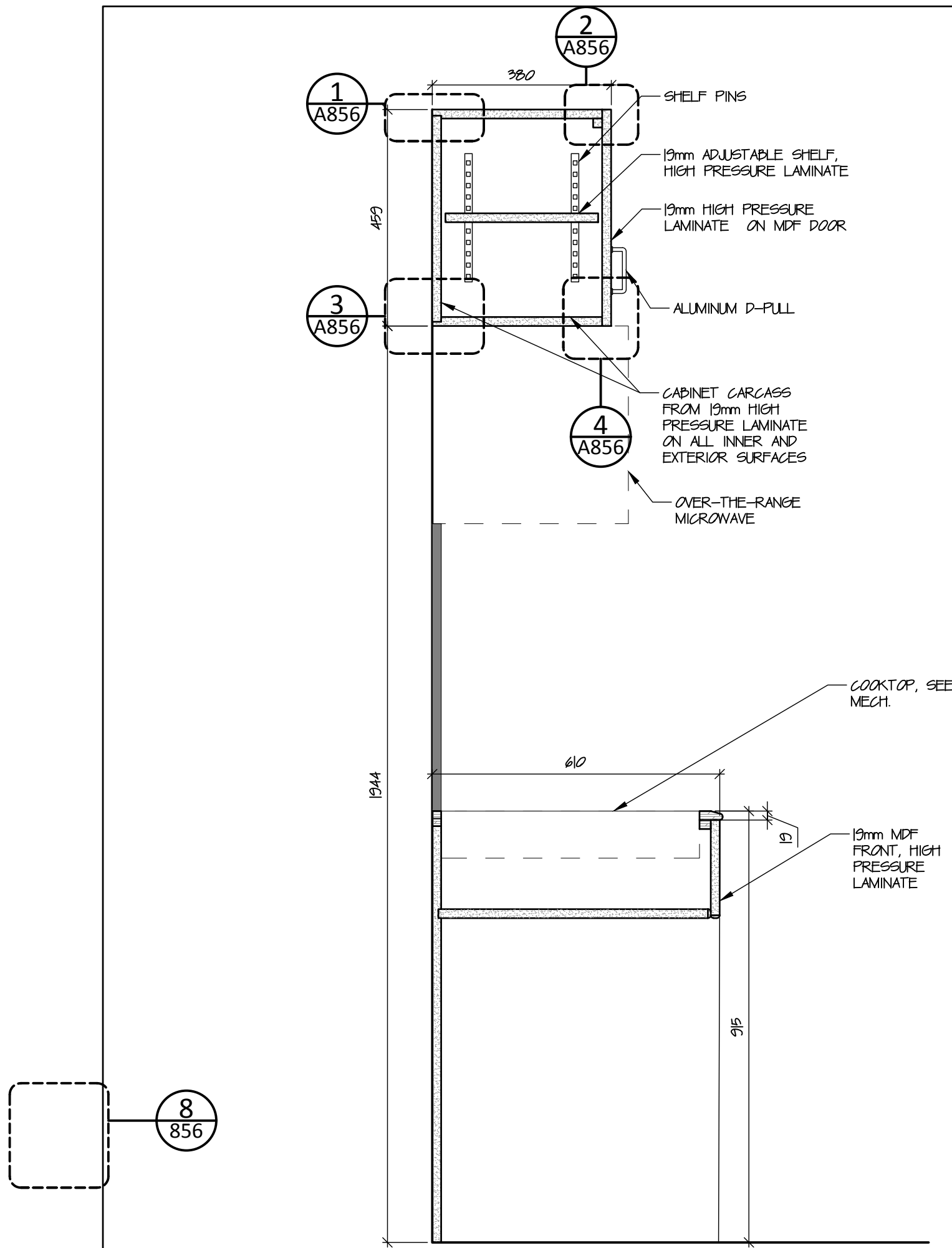
Drawing 1

A853

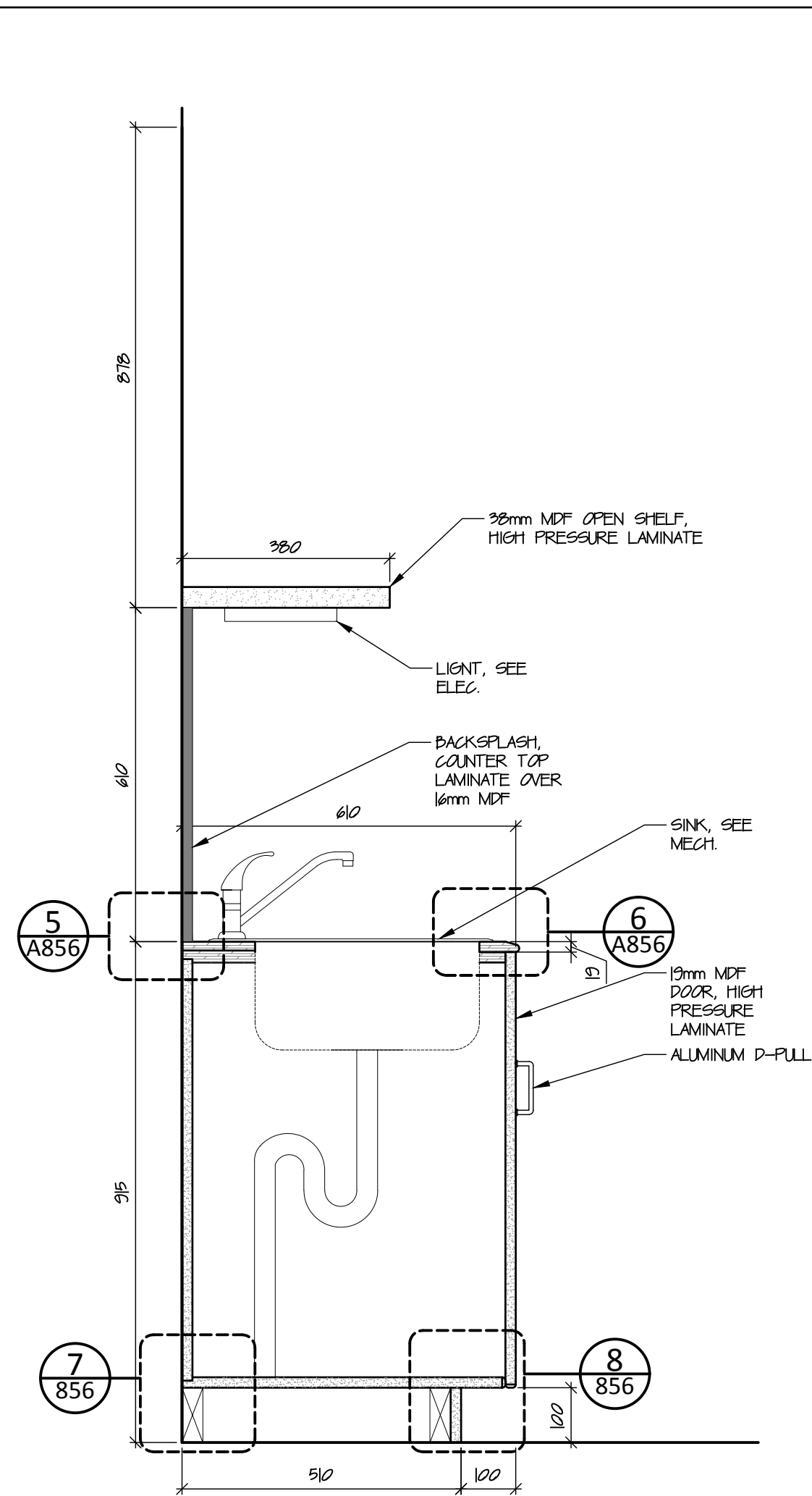


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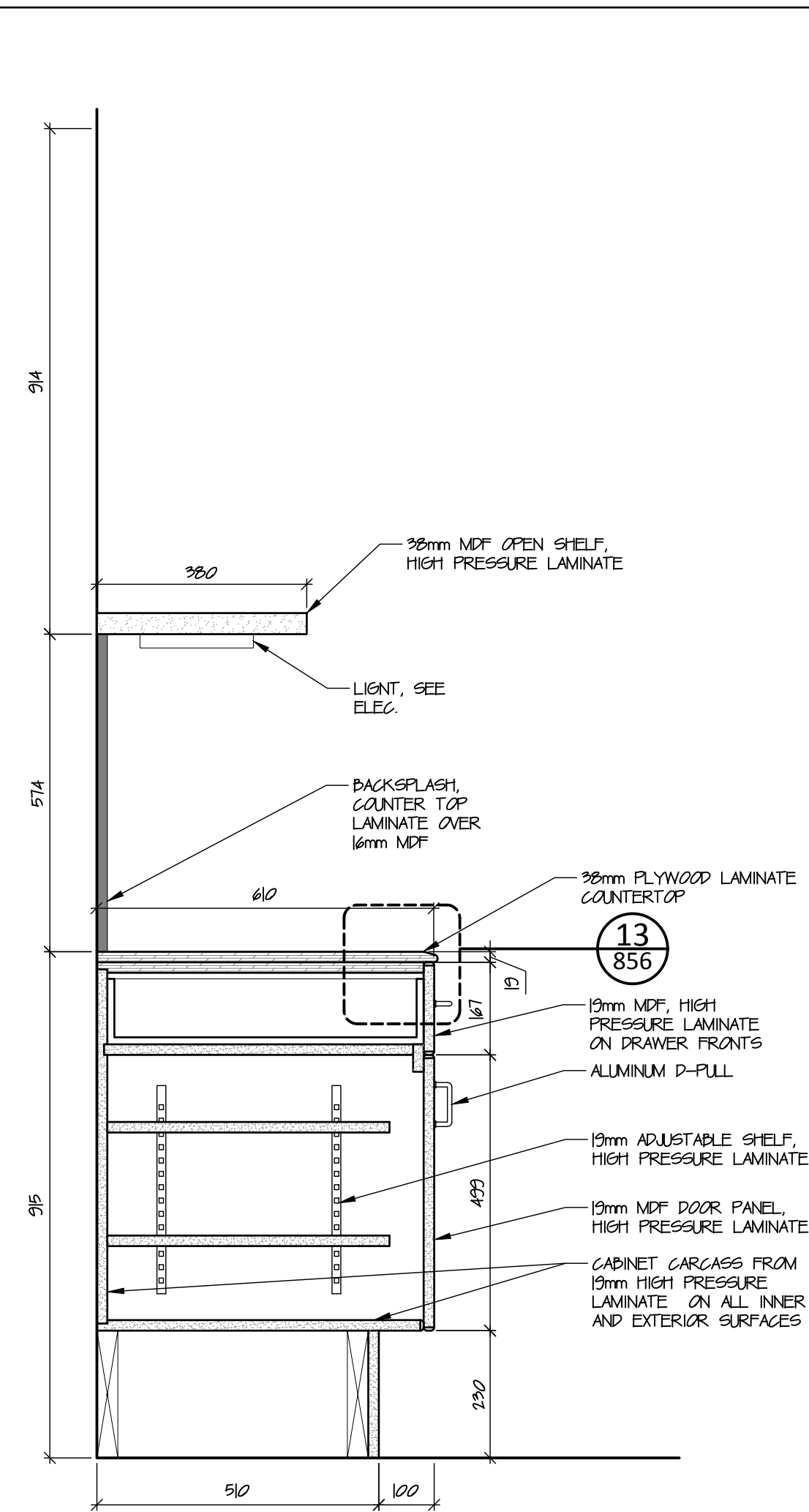
1. MILLWORK SUPPLIERS TO COORDINATE WITH APPLIANCE SUPPLIERS FOR ACTUAL WIDTHS.
2. CONTRACTOR TO COORDINATE WITH MILLWORK INSTALLATIONS FOR BACKING TO WALL



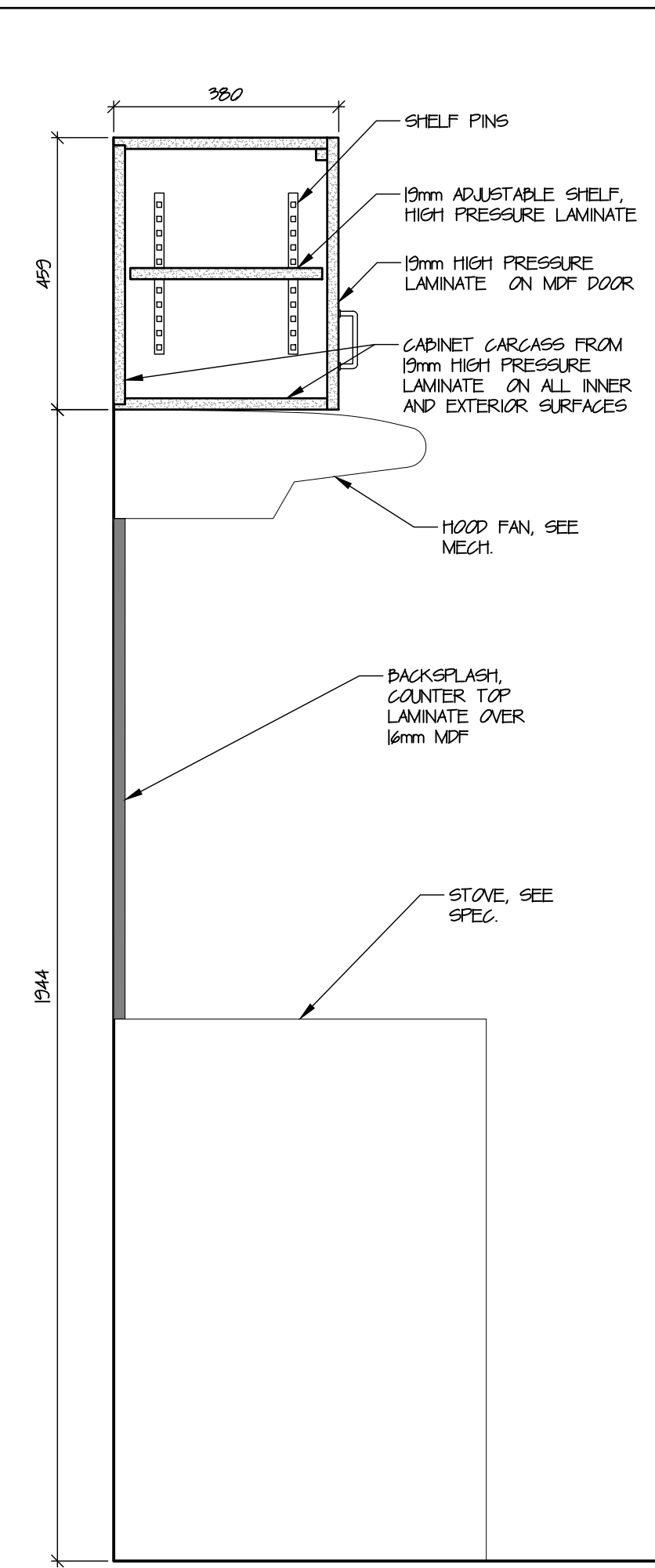
1 Millwork Section  
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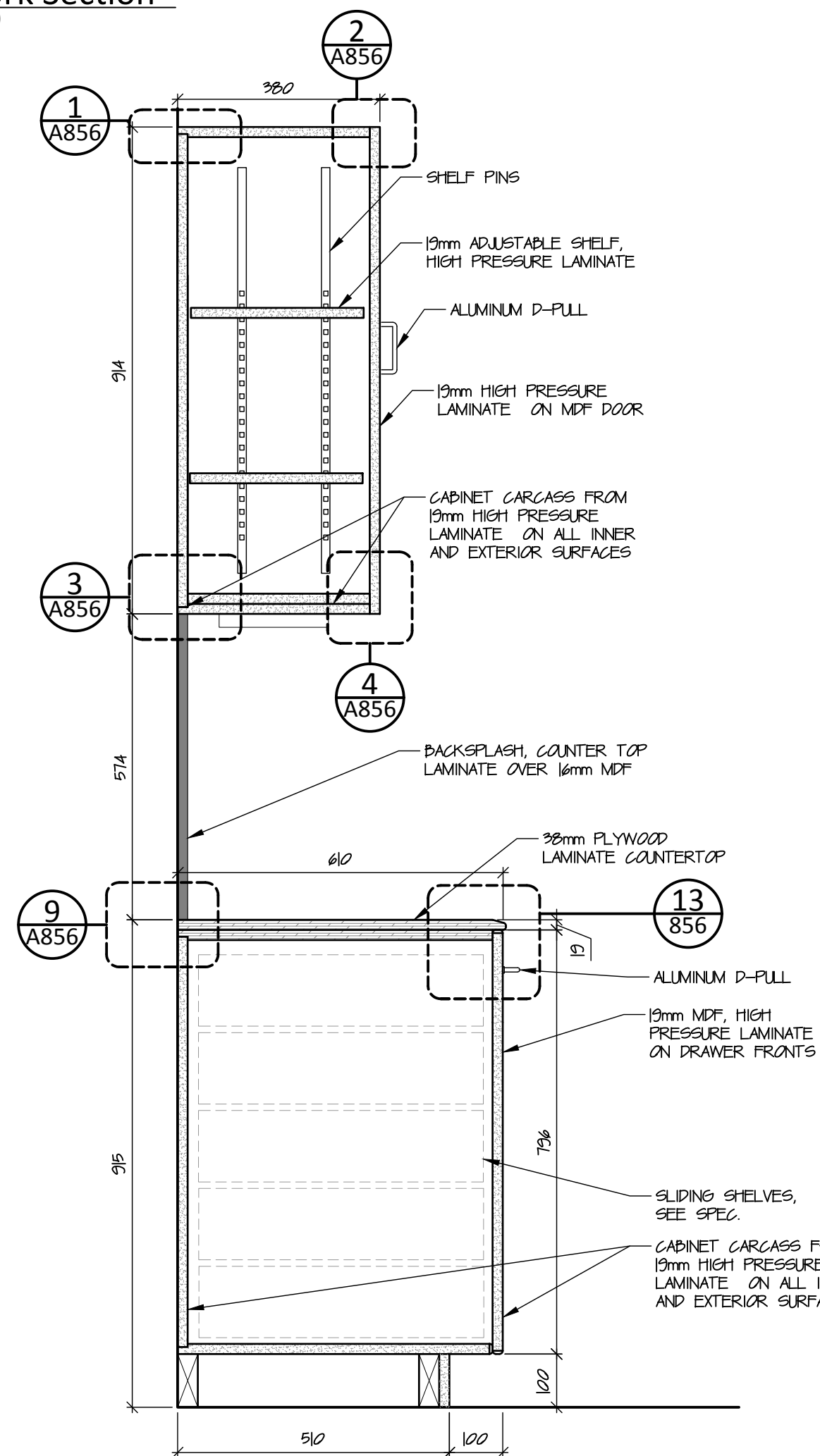
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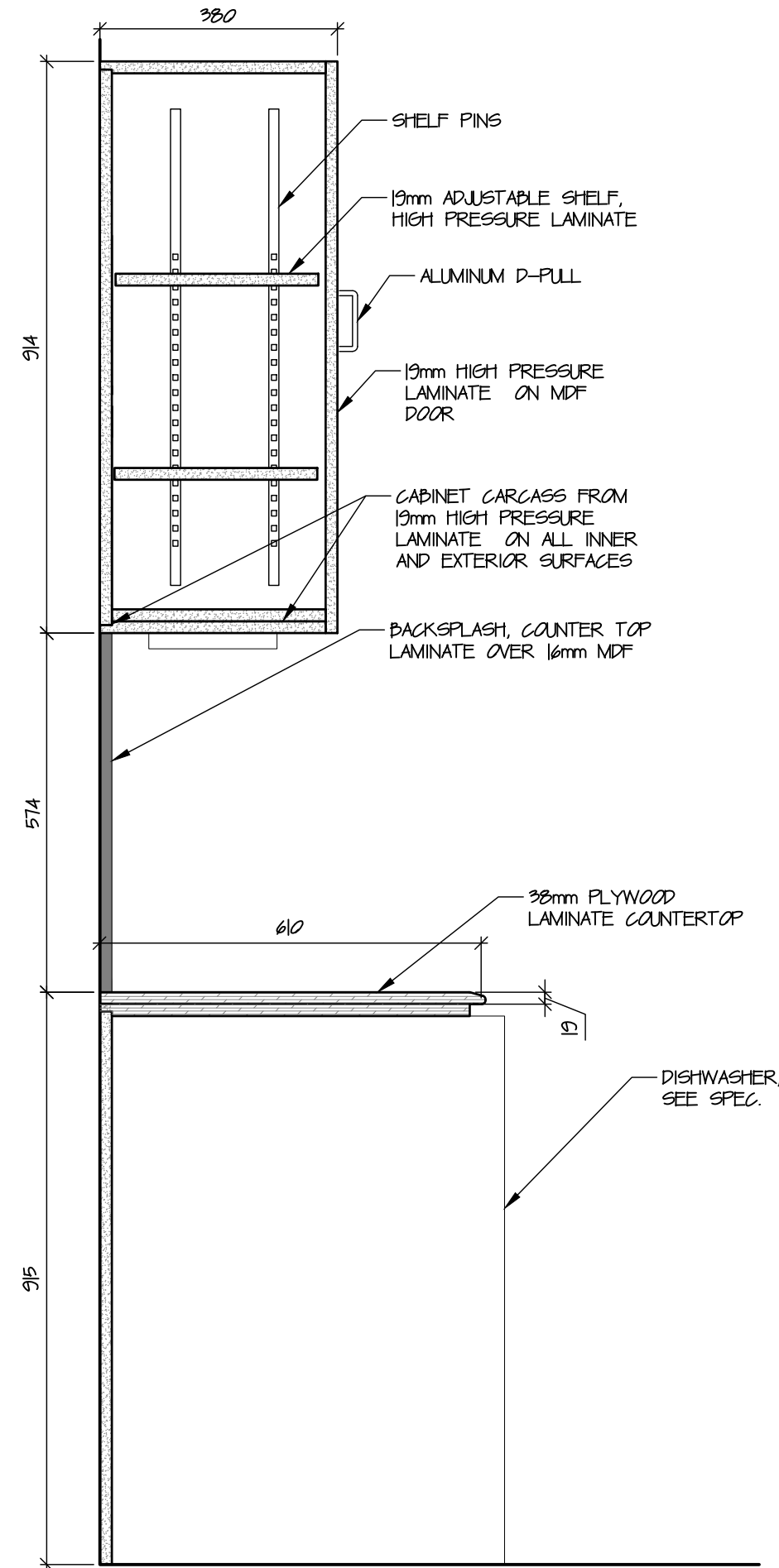
3 Millwork Section  
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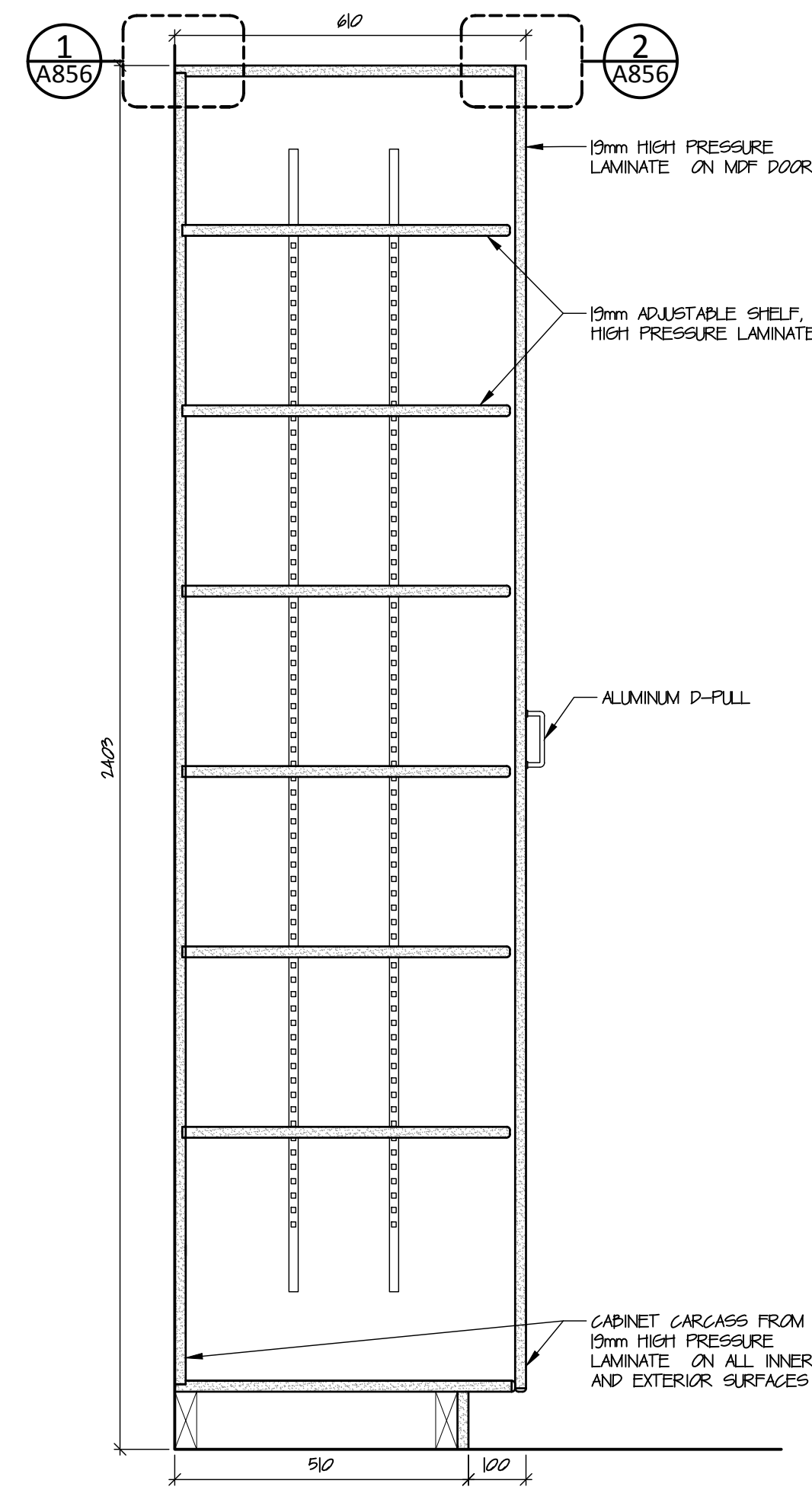
4 Millwork Section  
A854 scale 1:10



5 Millwork Section  
A854 scale 1:10



6 Millwork Section  
A854 scale 1:10



7 Millwork Section  
A854 scale 1:10

**NOT FOR CONSTRUCTION**  
ALL DIMENSIONS TO BE SITE VERIFIED BY CONTRACTOR

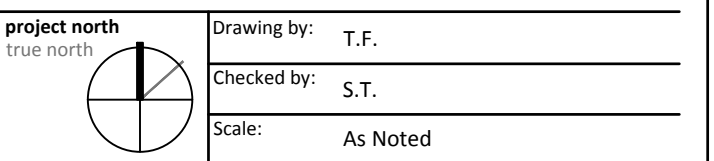
2	21-July-12	Issued for Tender
1	21-Jan-16	Issued for 100% Construction Documents
#	Date	Description
Revisions		

Date: May 20, 2021

Project:

TH MEN'S SHELTER

Dawson City, YT



Sheet name:

# Millwork Elevations and Sections

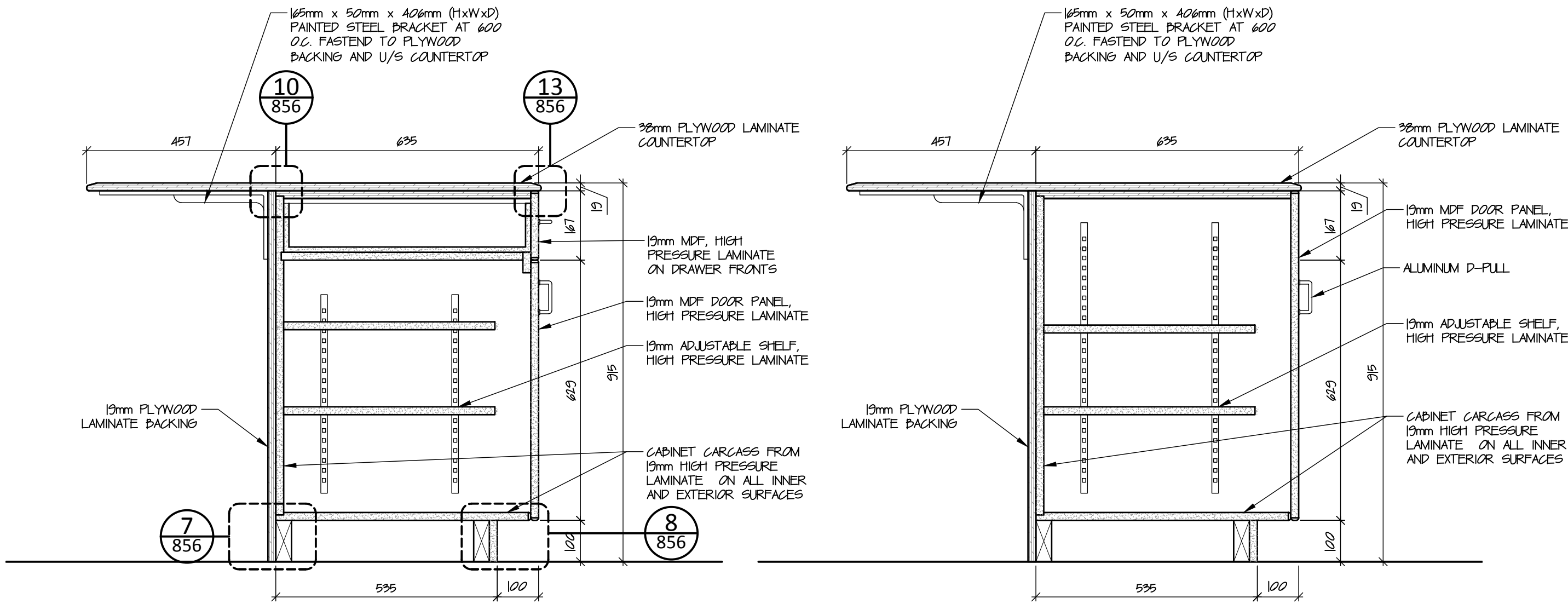
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Project #

20-040

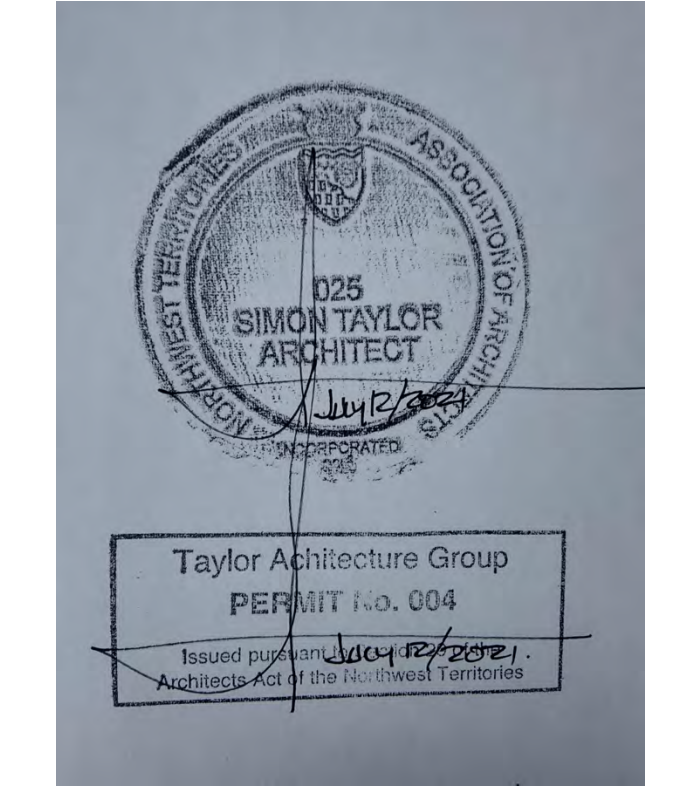
Drawing # \_\_\_\_\_

A854



1 Millwork Section  
A855 scale 1:10

2 Millwork Section  
A855 scale 1:10



- NOTES:
1. MILLWORK SUPPLIERS TO COORDINATE WITH APPLIANCE SUPPLIERS FOR ACTUAL WIDTHS.
  2. CONTRACTOR TO COORDINATE WITH MILLWORK INSTALLATIONS FOR BACKING TO WALL

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2	21-July-12	Issued for Tender
1	21-Jun-16	Issued for 100% Construction Documents
#	Date	Description

Revisions

Date: May 20, 2021

Project: **TH MEN'S SHELTER**

Dawson City, YT

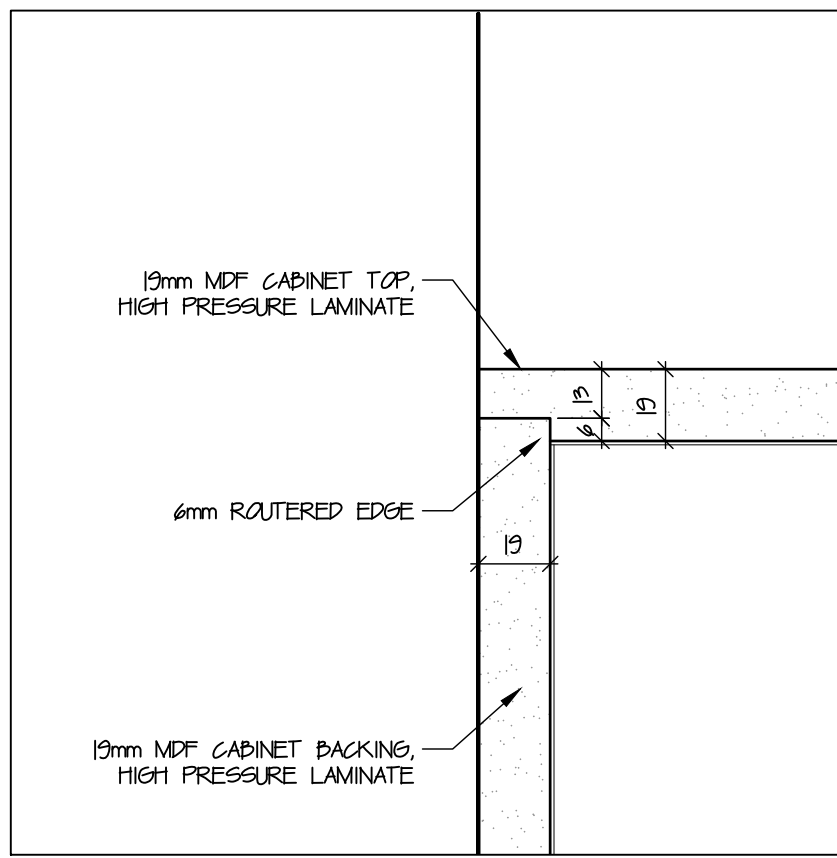
project north true north	Drawing by: T.F.
	Checked by: S.T.
	Scale: As Noted

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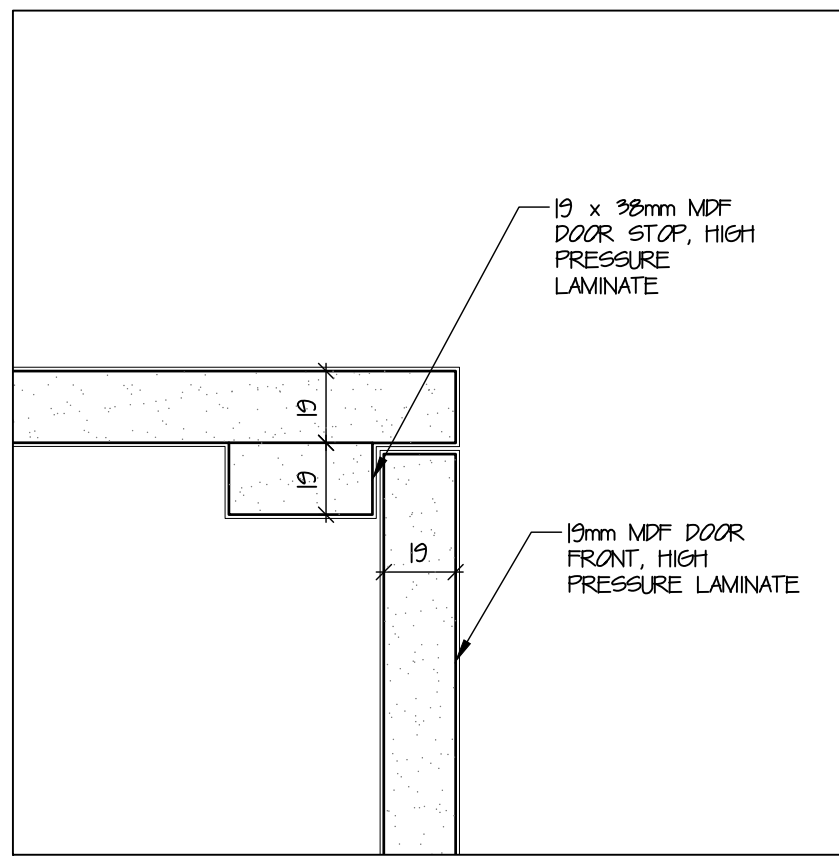
**Millwork Elevations and Sections**

Project #  
**20-040**

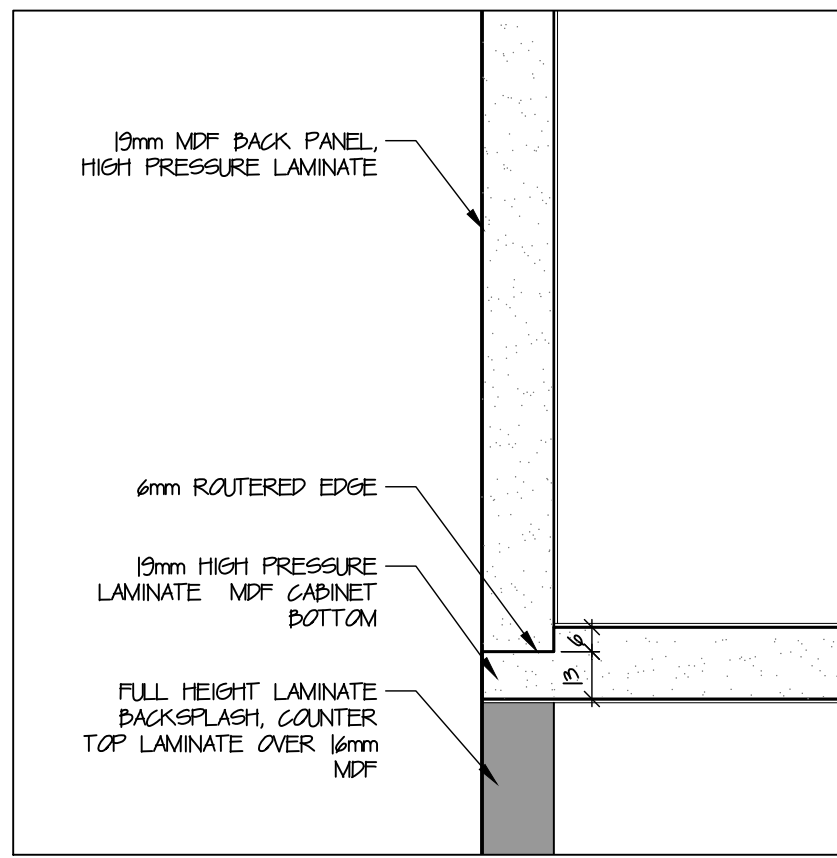
Drawing #  
**A855**



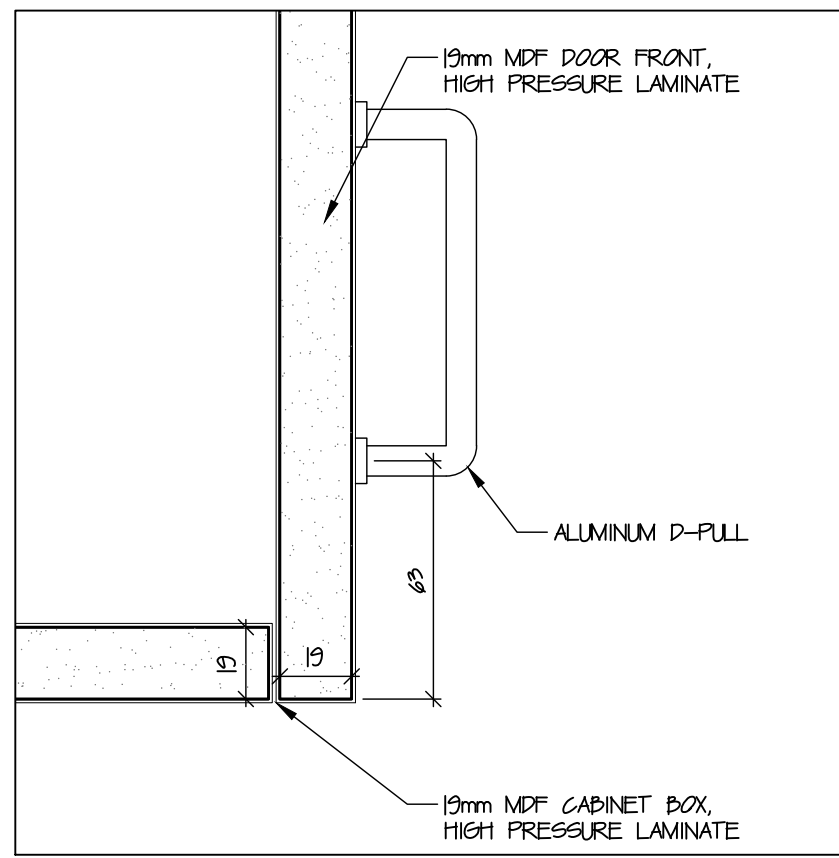
1 Typ. Cabinet Upper  
A856/ scale 1:2



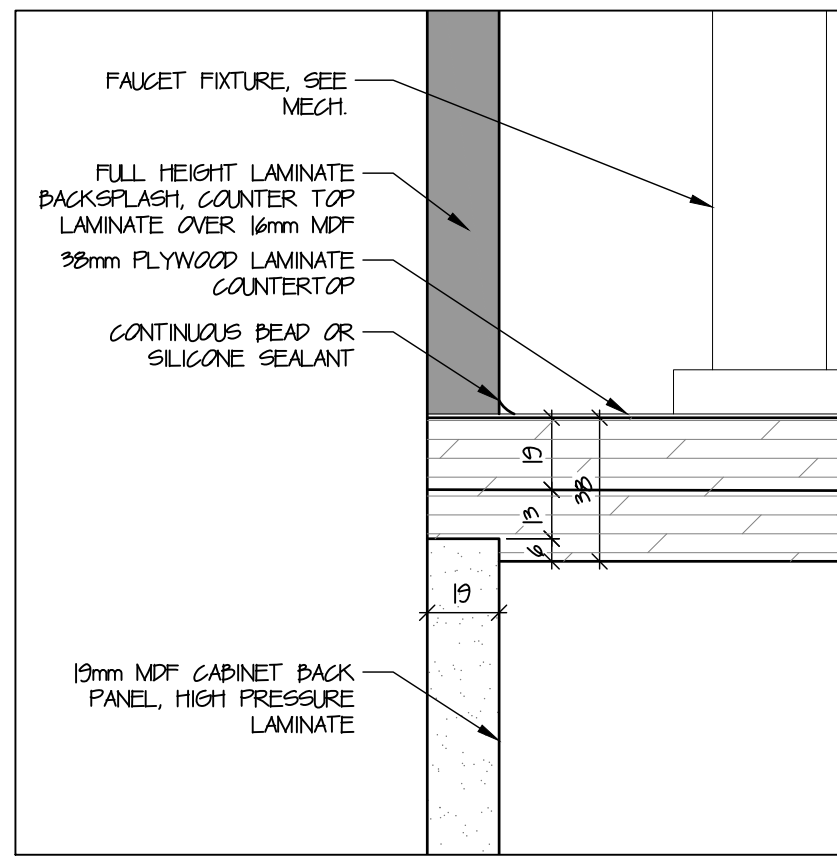
2 Typ. Cabinet Upper  
A856/ scale 1:2



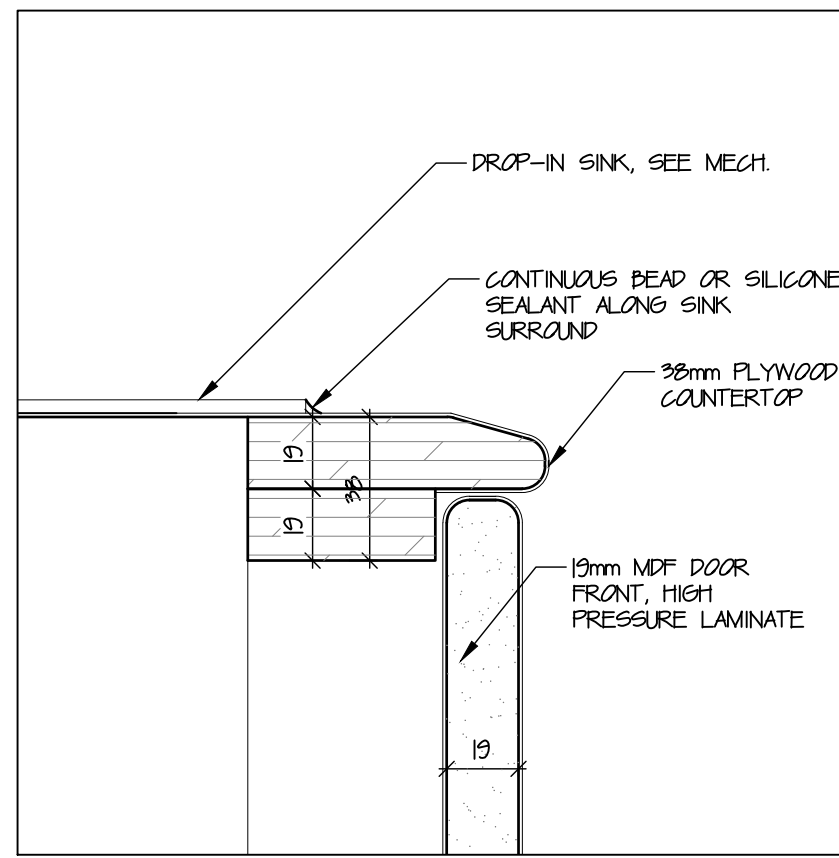
3 Typ. Cabinet Upper  
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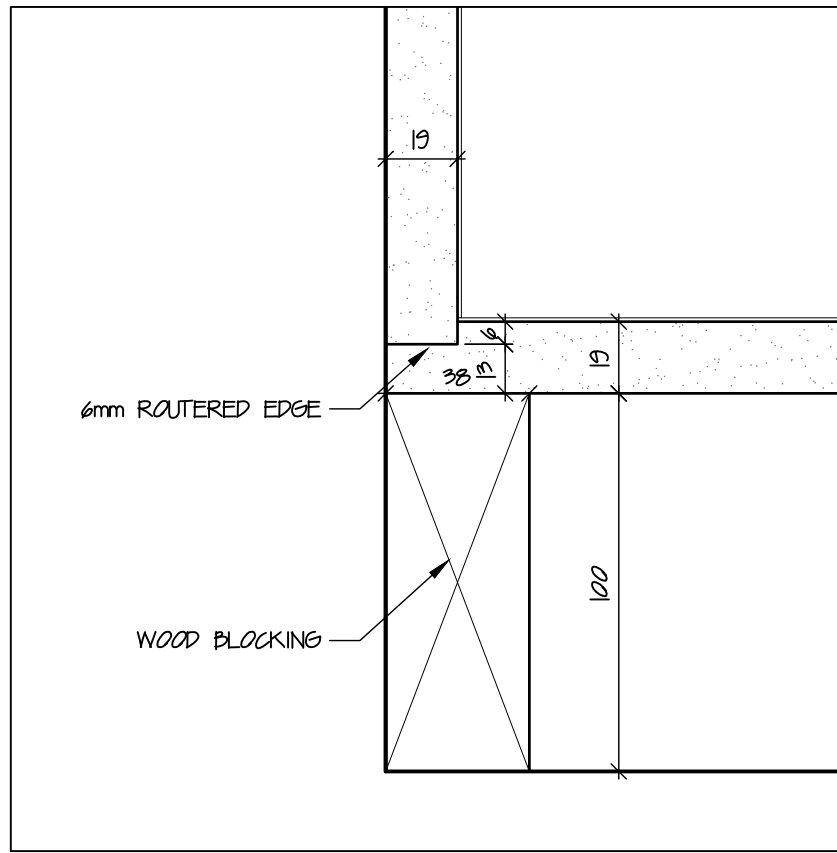
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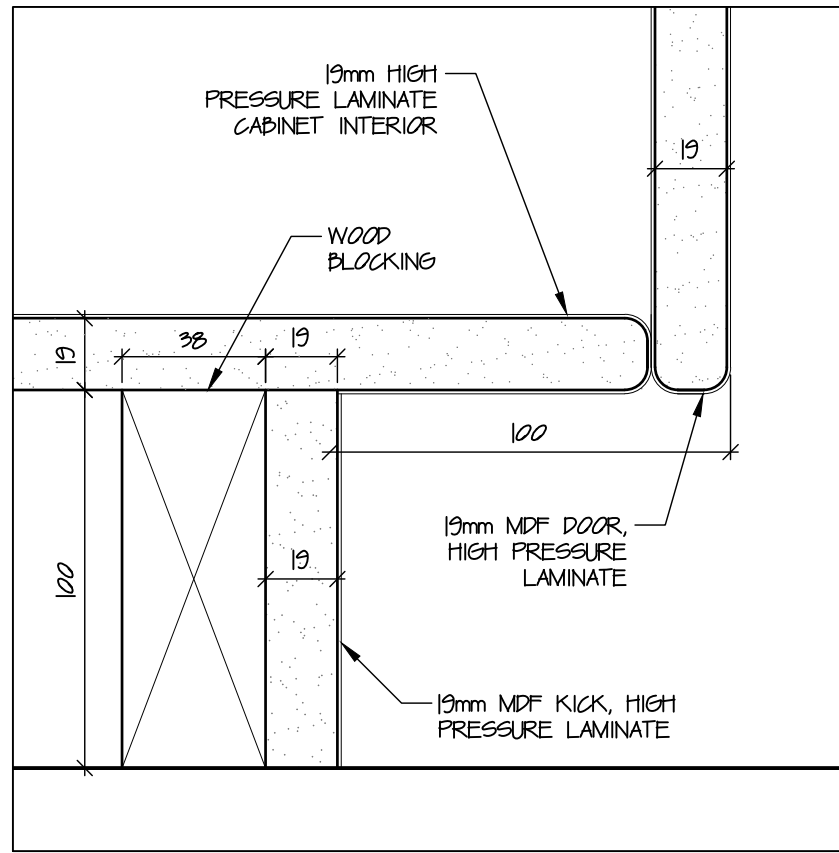
5 Typ. Sink Cabinet  
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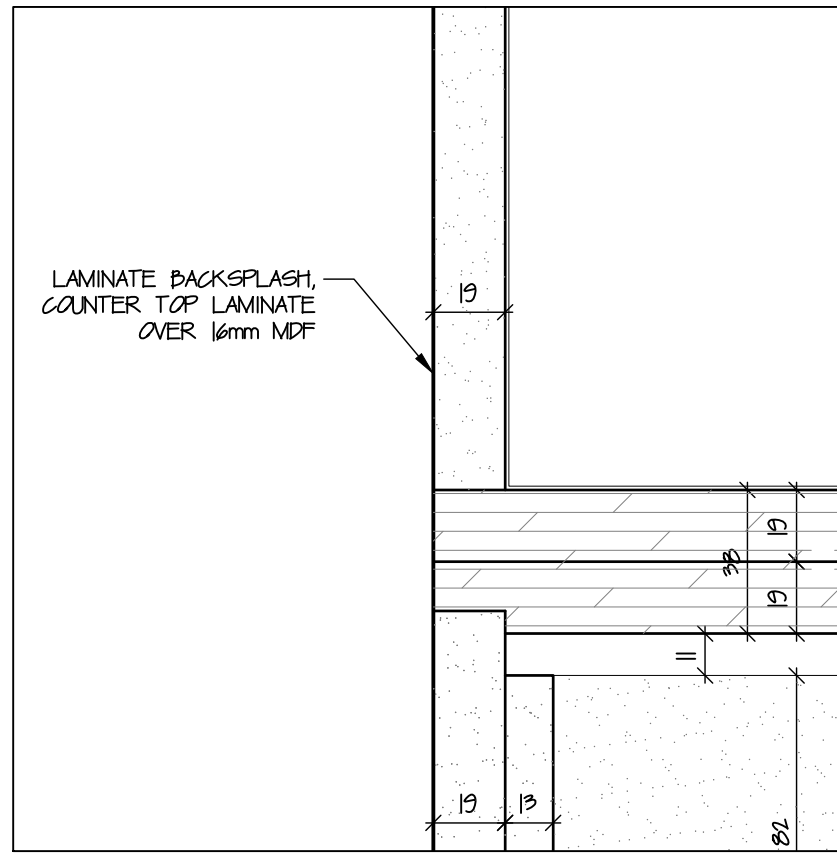
6 Typ. Sink Cabinet  
A856/ scale 1:2



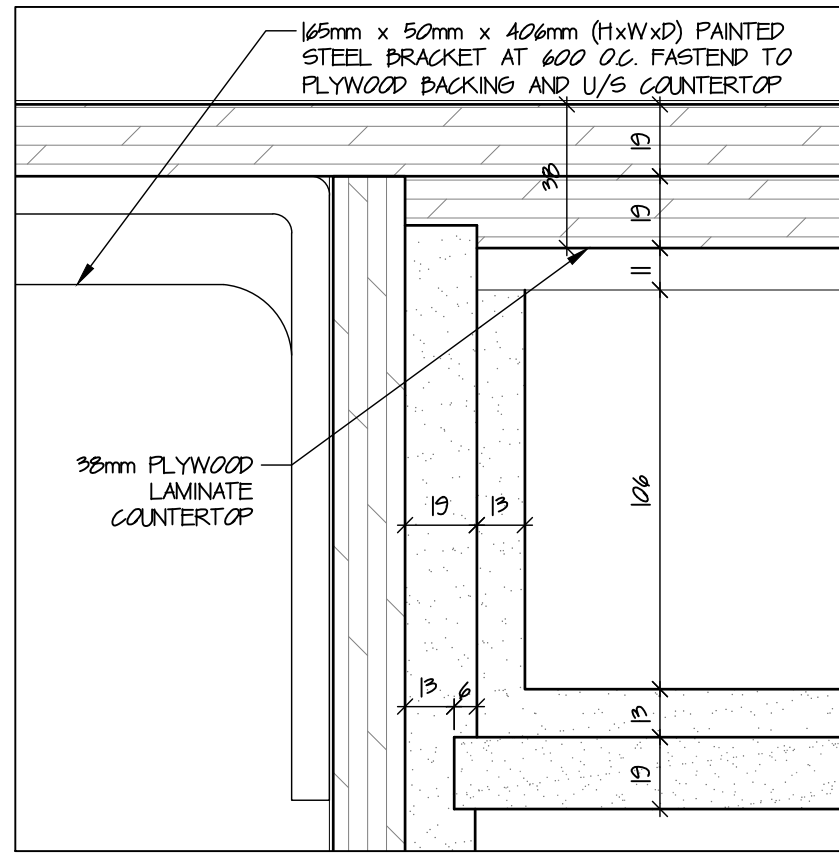
7 Typ. Cabinet Base  
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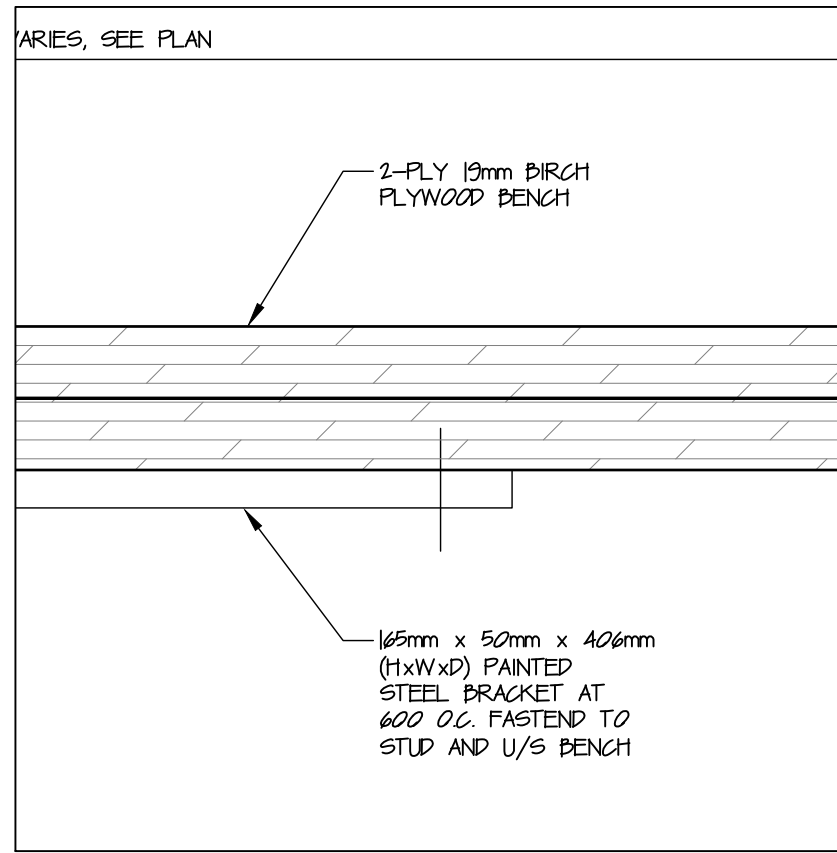
8 Typ. Cabinet Base  
A856/ scale 1:2



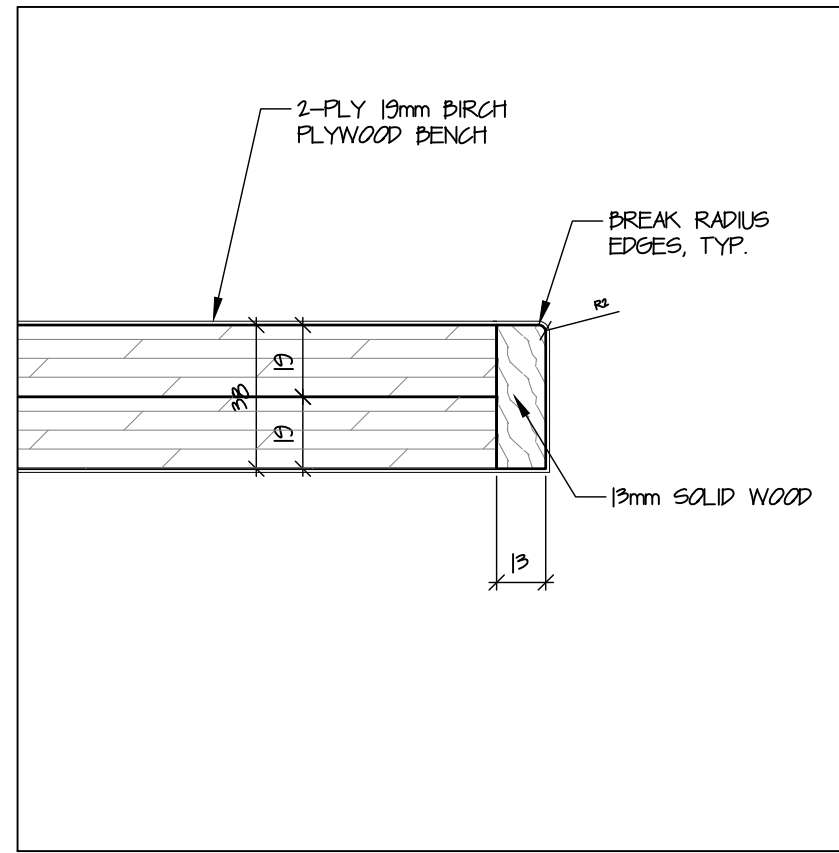
9 Typ. Countertop  
A856/ scale 1:2



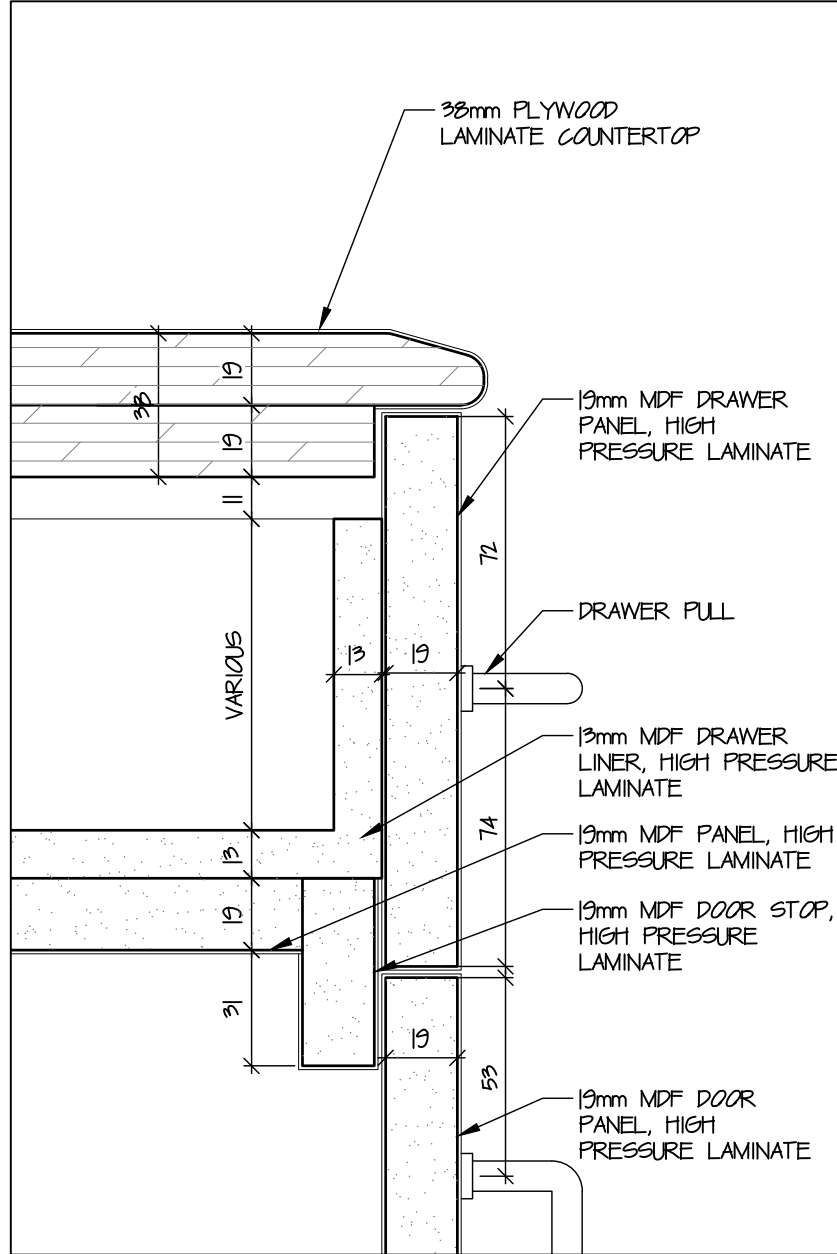
10 Kitchen Island Countertop  
A856/ scale 1:2



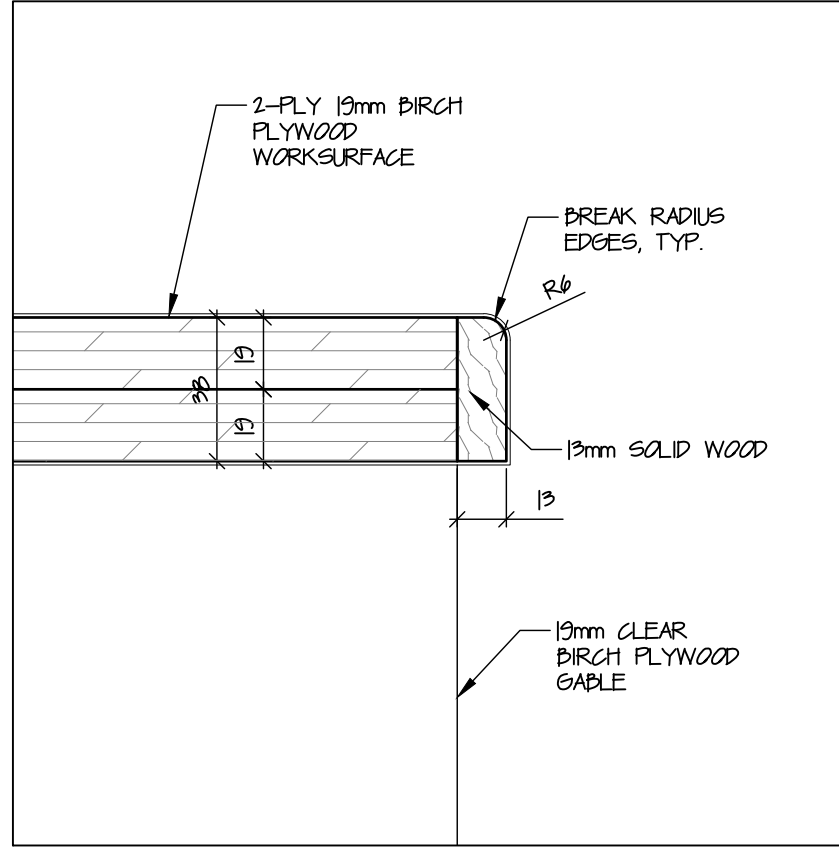
11 Typ. Bench Detail  
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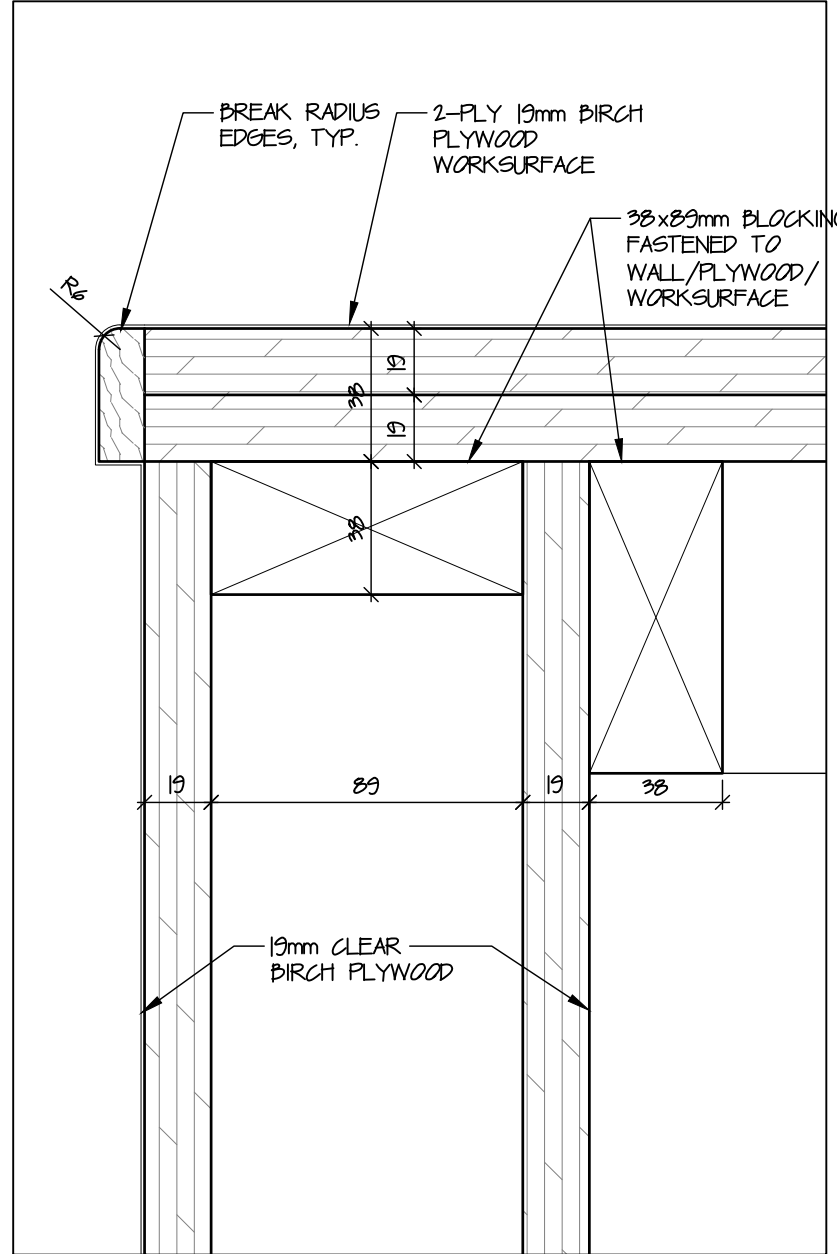
12 Typ. Bench Edge Detail  
A856/ scale 1:2



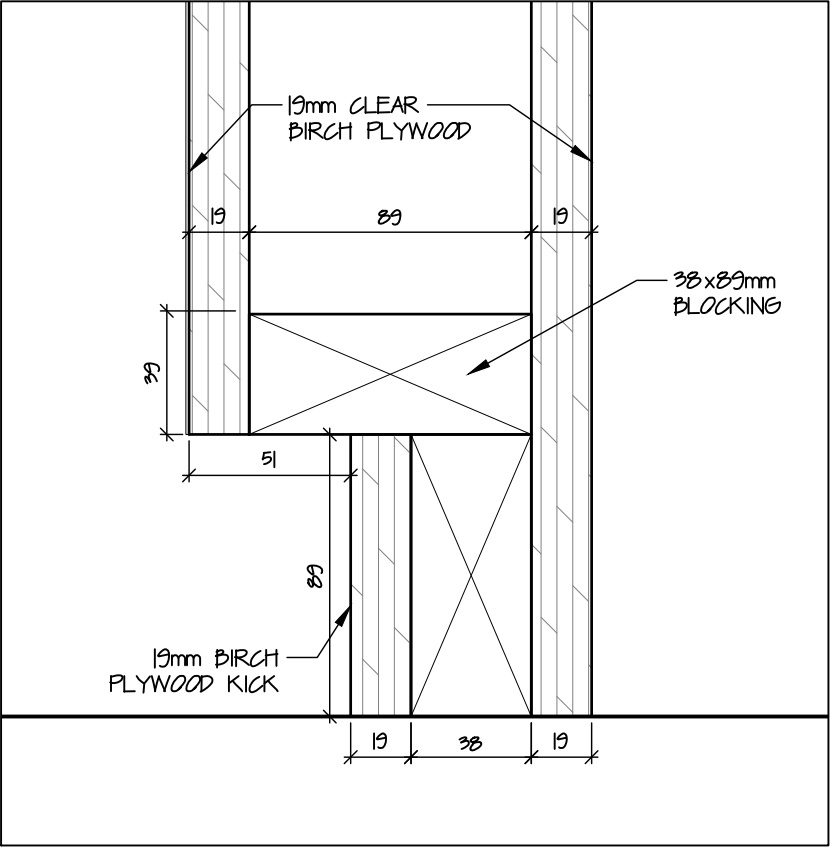
13 Typ. Drawer  
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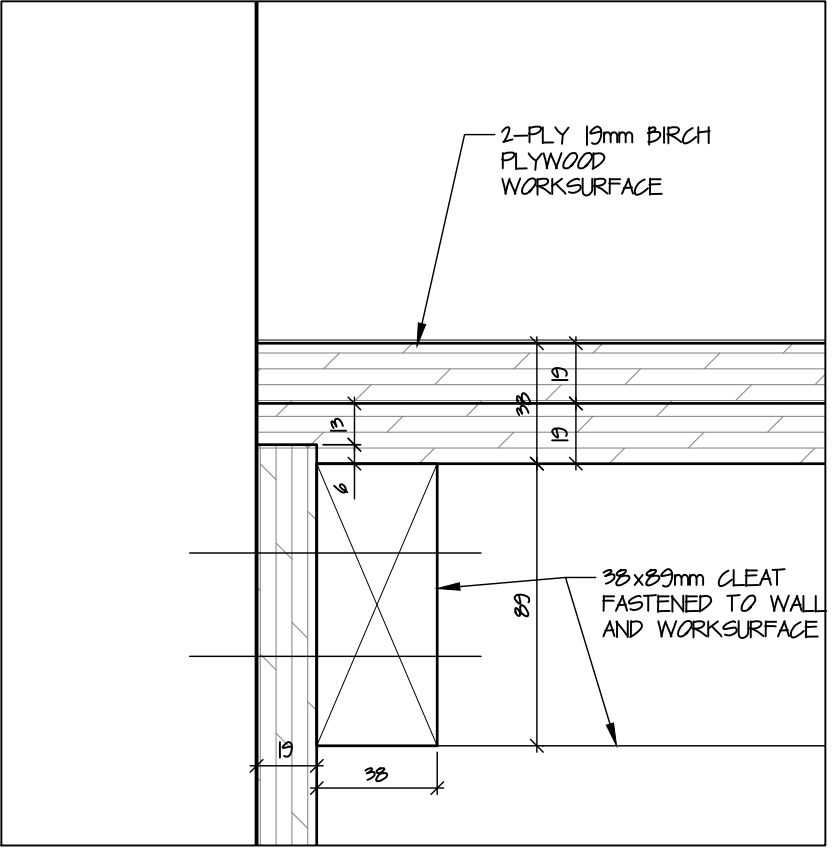
14 Typ. Desk Edge Detail  
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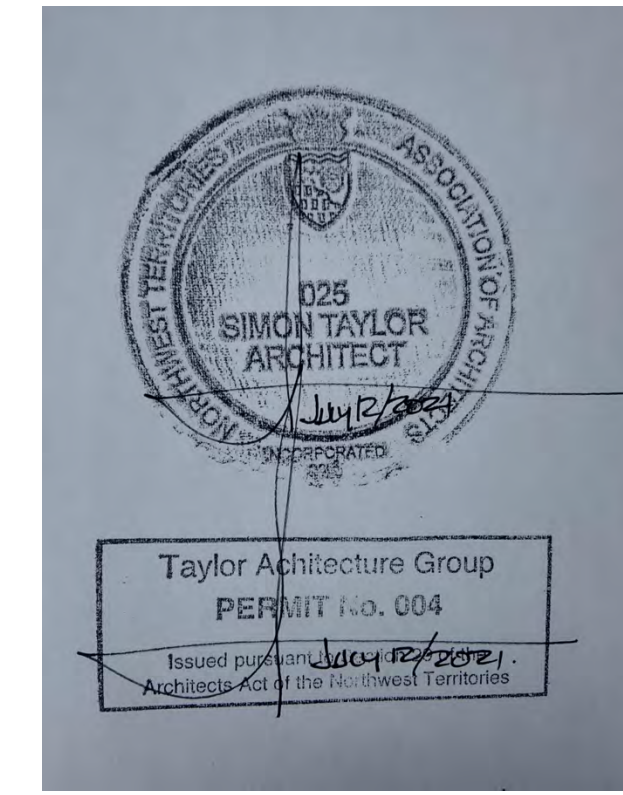
15 Typ. Desk Edge Detail  
A856/ scale 1:2



16 Typ. Desk Edge Detail  
A856/ scale 1:2



17 Typ. Desk Edge Detail  
A856/ scale 1:2



- NOTES:
- MILLWORK SUPPLIERS TO COORDINATE WITH APPLIANCE SUPPLIERS FOR ACTUAL WIDTHS.
  - CONTRACTOR TO COORDINATE WITH MILLWORK INSTALLATIONS FOR BACKING TO WALL

**NOT FOR CONSTRUCTION**  
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2	21-July-12	Issued for Tender
1	21-Jun-16	Issued for 100% Construction Documents
#	Date	Description
Revisions		
Date:		
May 20, 2021		

Project: **TH MEN'S SHELTER**

Dawson City, YT

project north	Drawing by: T.F.
	Checked by: S.T.
	Scale: As Noted

Sheet name: **Millwork Elevations and Sections**

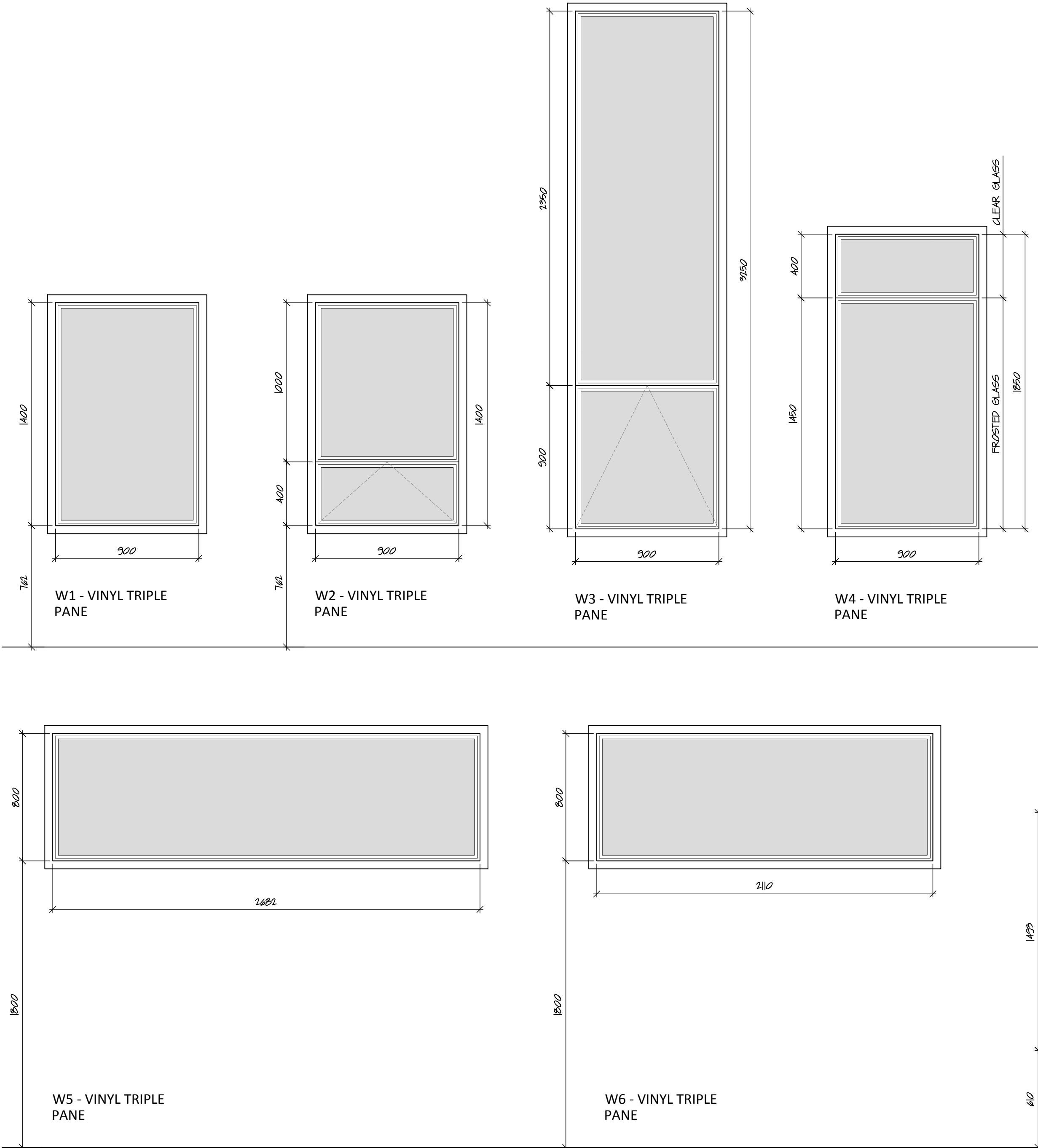
Project # **20-040**

Drawing # **A856**

INTERIOR FINISH SCHEDULE

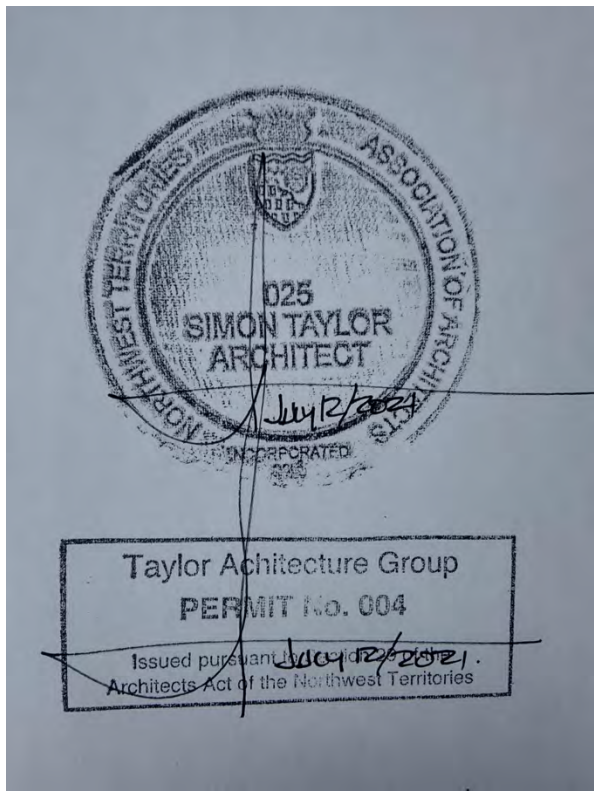
TH Men's Shelter

Room Number	Room Name	Wall Finish				Base Finish	Floor Finish	Ceiling Finish
		North	East	South	West		Type	
101	Vestibule	PTD GWB	PTD GWB/ GLASS	PTD GWB/ MILLWORK	PTD GWB	COVE BASEBOARD SAME AS FLOOR FINISH	NON-SLIP SHEET	PTD GWB
102	Warm Up/Dry Room	PTD GWB* / PLYWOOD (full height)/ MILLWORK	PTD GWB* / PLYWOOD (full height)	PTD GWB* / PLYWOOD (full height)/ MILLWORK	PTD GWB* / PLYWOOD (full height)/ MILLWORK	COVE BASEBOARD SAME AS FLOOR FINISH	LINOLEUM SHEET	PTD GWB
103	Barrier Free Washroom	PTD GWB* / RESILIENT FINISH (partial height)	PTD GWB* / RESILIENT FINISH (partial height)	PTD GWB* / RESILIENT FINISH (partial height)	PTD GWB* / RESILIENT FINISH (partial height)	COVE BASEBOARD SAME AS FLOOR FINISH	NON-SLIP SHEET	PTD GWB
104	South Corridor	PTD GWB/GLASS	PTD GWB/GLASS/ MILLWORK	PTD GWB	PLYWOOD	RUBBER	LINOLEUM SHEET	PTD GWB
105	Intake Waiting	PTD GWB/GLASS/ MILLWORK	PTD GWB	PTD GWB	PLYWOOD	RUBBER	LINOLEUM SHEET	PTD GWB
106	Emergency Intake	PTD GWB* / PLYWOOD (partial height)/ MILLWORK	PTD GWB* / PLYWOOD (partial height)	PTD GWB* / PLYWOOD (partial height)	PTD GWB* / PLYWOOD (partial height)	RUBBER	LAMINATED VINYL TILE	PTD GWB
107	Emergency Intake	PTD GWB* / PLYWOOD (partial height)/ MILLWORK	PTD GWB* / PLYWOOD (partial height)	PTD GWB* / PLYWOOD (partial height)	PTD GWB* / PLYWOOD (partial height)	RUBBER	LAMINATED VINYL TILE	PTD GWB
108	Storage	PTD GWB	PTD GWB	PTD GWB	PTD GWB	RUBBER	LINOLEUM SHEET	PTD GWB
109	Front Desk	PTD GWB	PTD GWB	PTD GWB/GLASS/ MILLWORK	PTD GWB/GLASS/ MILLWORK	RUBBER	LINOLEUM SHEET	PTD GWB
110	Staff Washroom	PTD GWB* / RESILIENT FINISH (partial height)	PTD GWB* / RESILIENT FINISH (partial height)	PTD GWB* / RESILIENT FINISH (partial height)	PTD GWB* / RESILIENT FINISH (partial height)	COVE BASEBOARD SAME AS FLOOR FINISH	NON-SLIP SHEET	PTD GWB
111	North Corridor	PTD GWB	PTD GWB	PTD GWB	PLYWOOD	RUBBER	LINOLEUM SHEET	PTD GWB
112	Barrier Free Washroom	PTD GWB*/TILE (partial height)	PTD GWB*/TILE (partial height)	PTD GWB*/TILE (partial height)	PTD GWB*/TILE (partial height)	COVE BASEBOARD SAME AS FLOOR FINISH	NON-SLIP SHEET	PTD GWB
113	Laundry	PTD GWB	PTD GWB	PTD GWB	PTD GWB	COVE BASEBOARD SAME AS FLOOR FINISH	NON-SLIP SHEET	PTD GWB
114	Wellness Room	PTD GWB	PTD GWB	TILE	PTD GWB	COVE BASEBOARD SAME AS FLOOR FINISH	NON-SLIP SHEET	PTD GWB
115	Janitor	PTD GWB	PTD GWB	PTD GWB	PTD GWB	COVE BASEBOARD SAME AS FLOOR FINISH	LINOLEUM SHEET	PTD GWB
116	Mechanical Room	PTD GWB	PTD GWB	PTD GWB	PTD GWB	RUBBER	PAINTED PLYWOOD	PTD GWB
117	Dining Room	PTD GWB/ MILLWORK	-	PTD GWB	PTD GWB	RUBBER	LINOLEUM SHEET	PTD GWB
118	Kitchen	PTD GWB/ MILLWORK	PTD GWB/ MILLWORK/ BACKSPLASH	PTD GWB/ MILLWORK/ BACKSPLASH	-	COVE BASEBOARD SAME AS FLOOR FINISH	LINOLEUM SHEET	PTD GWB
119	Storage	PTD GWB	PTD GWB	PTD GWB	PTD GWB	RUBBER	LINOLEUM SHEET	PTD GWB
201	Stairs	PTD GWB	PLYWOOD	PLYWOOD	PTD GWB	RUBBER	SOLID BIRCH	PTD GWB
202	Landing	N/A	PLYWOOD	N/A	PTD GWB	RUBBER	-	PTD GWB
203	North Corridor	PTD GWB	N/A	PTD GWB	PTD GWB	RUBBER	LINOLEUM SHEET	PTD GWB
204	Coordinator Office	PTD GWB	N/A	PTD GWB/ Millwork/ Special	PTD GWB/ GLASS	RUBBER	LAMINATED VINYL TILE	PTD GWB
205	Outreach Office	PTD GWB	PTD GWB/ Whiteboard	PTD GWB	PTD GWB/ GLASS/ Special	RUBBER	LAMINATED VINYL TILE	PTD GWB
206	Supported Living	PTD GWB* / PLYWOOD (partial height)	PTD GWB* / PLYWOOD (partial height)	PTD GWB* / PLYWOOD (partial height)	PTD GWB* / PLYWOOD (partial height)	WOOD	LAMINATED VINYL TILE	PTD GWB
207	Shared Washroom	PTD GWB* / RESILIENT FINISH (partial height)	PTD GWB* / RESILIENT FINISH (partial height)	PTD GWB* / RESILIENT FINISH (partial height)	PTD GWB* / RESILIENT FINISH (partial height)	COVE BASEBOARD SAME AS FLOOR FINISH	NON-SLIP SHEET	PTD GWB
208	Supported Living	PTD GWB* / PLYWOOD (partial height)	PTD GWB* / PLYWOOD (partial height)	PTD GWB* / PLYWOOD (partial height)	PTD GWB* / PLYWOOD (partial height)	WOOD	LAMINATED VINYL TILE	PTD GWB
209	Central Corridor	PTD GWB	PTD GWB	PTD GWB	PLYWOOD	RUBBER	LINOLEUM SHEET	PTD GWB
210	Barrier Free Unit	PTD GWB	PTD GWB	PTD GWB	PTD GWB	WOOD	LAMINATED VINYL TILE	PTD GWB
211	Barrier Free Unit Washroom	PTD GWB* / RESILIENT FINISH (partial height)	PTD GWB* / RESILIENT FINISH (partial height)	PTD GWB* / RESILIENT FINISH (partial height)	PTD GWB* / RESILIENT FINISH (partial height)	COVE BASEBOARD SAME AS FLOOR FINISH	NON-SLIP SHEET	PTD GWB
212	Residential Unit	PTD GWB	PTD GWB	PTD GWB	PTD GWB	WOOD	LAMINATED VINYL TILE	PTD GWB
213	Residential Unit Washroom	PTD GWB* / RESILIENT FINISH (partial height)	PTD GWB* / RESILIENT FINISH (partial height)	PTD GWB* / RESILIENT FINISH (partial height)	PTD GWB* / RESILIENT FINISH (partial height)	COVE BASEBOARD SAME AS FLOOR FINISH	NON-SLIP SHEET	PTD GWB
214	South Corrior	PTD GWB	PTD GWB	PTD GWB	PLYWOOD	RUBBER	LINOLEUM SHEET	PTD GWB
215	Residential Unit	PTD GWB	PTD GWB	PTD GWB	PTD GWB	WOOD	LAMINATED VINYL TILE	PTD GWB
216	Residential Unit Washroom	PTD GWB* / RESILIENT FINISH (partial height)	PTD GWB* / RESILIENT FINISH (partial height)	PTD GWB* / RESILIENT FINISH (partial height)	PTD GWB* / RESILIENT FINISH (partial height)	COVE BASEBOARD SAME AS FLOOR FINISH	NON-SLIP SHEET	PTD GWB
217	Residential Unit	PTD GWB	PTD GWB	PTD GWB	PTD GWB	WOOD	LAMINATED VINYL TILE	PTD GWB
218	Residential Unit Washroom	PTD GWB* / RESILIENT FINISH (partial height)	PTD GWB* / RESILIENT FINISH (partial height)	PTD GWB* / RESILIENT FINISH (partial height)	PTD GWB* / RESILIENT FINISH (partial height)	COVE BASEBOARD SAME AS FLOOR FINISH	NON-SLIP SHEET	PTD GWB
219	Residential Unit	PTD GWB	PTD GWB	PTD GWB	PTD GWB	WOOD	LAMINATED VINYL TILE	PTD GWB
220	Residential Unit Washroom	PTD GWB* / RESILIENT FINISH (partial height)	PTD GWB* / RESILIENT FINISH (partial height)	PTD GWB* / RESILIENT FINISH (partial height)	PTD GWB* / RESILIENT FINISH (partial height)	COVE BASEBOARD SAME AS FLOOR FINISH	NON-SLIP SHEET	PTD GWB
221	Residential Unit	PTD GWB	PTD GWB	PTD GWB	PTD GWB	WOOD	LAMINATED VINYL TILE	PTD GWB
222	Residential Unit Washroom	PTD GWB* / RESILIENT FINISH (partial height)	PTD GWB* / RESILIENT FINISH (partial height)	PTD GWB* / RESILIENT FINISH (partial height)	PTD GWB* / RESILIENT FINISH (partial height)	COVE BASEBOARD SAME AS FLOOR FINISH	NON-SLIP SHEET	PTD GWB



2 Exterior Window Schedule

1 Interior Finish Schedule



NOT FOR CONSTRUCTION  
ALL DIMENSIONS TO BE SITE VERIFIED BY CONTRACTOR

4	21-July-12	Issued for Tender
3	21-Jun-16	Issued for 100% Construction Documents
2	21-May-06	Issued for 50% Construction Documents
1	21-Mar-30	Issued for Design Development
#	Date	Description

Revisions  
Date:

Project:  
**JEJE ZHO TH MEN'S SHELTER**

Dawson City, YT

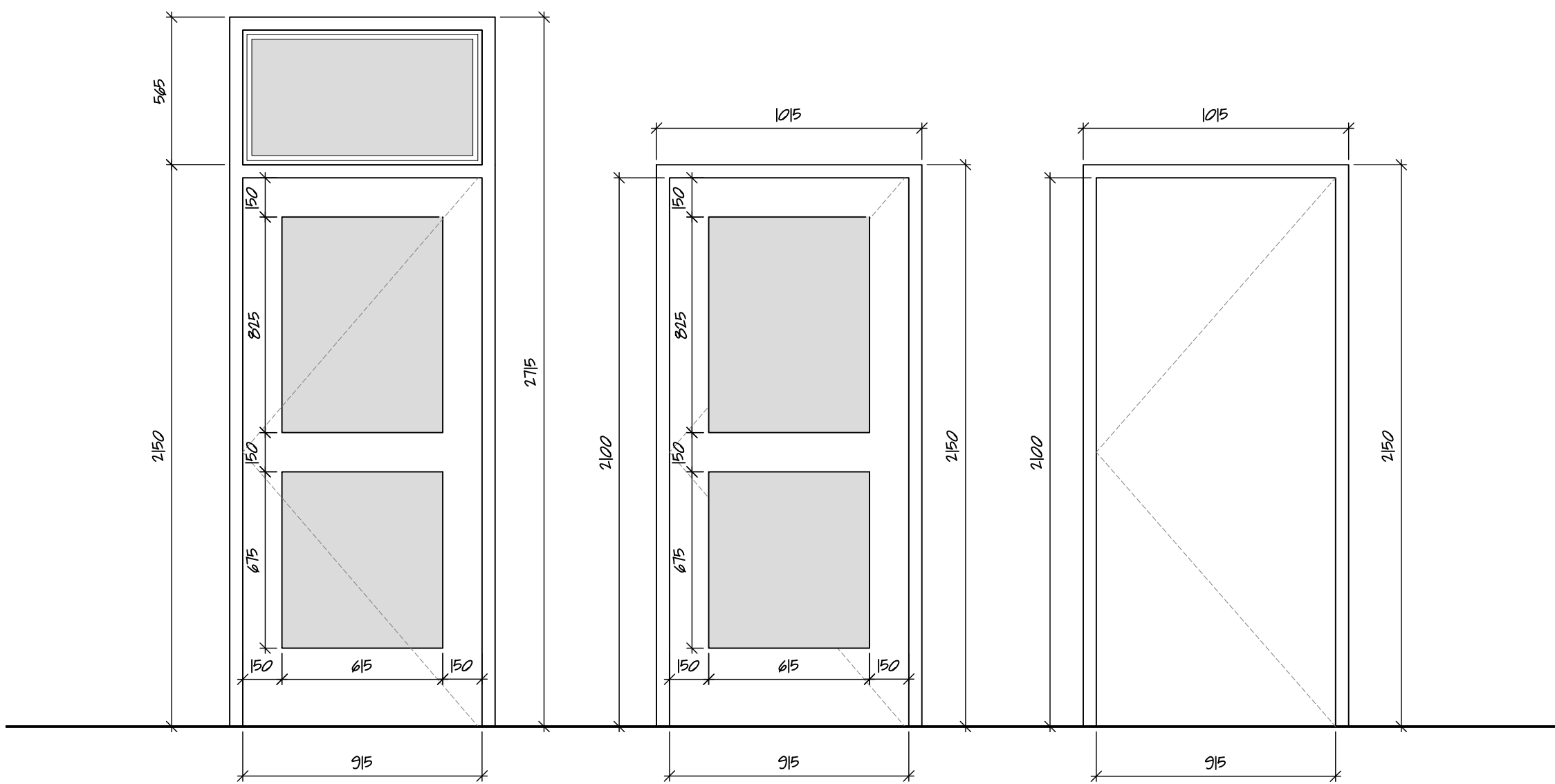
project north true north	Drawing by: T.F.
	Checked by: S.T.
	Scale: As Noted

Sheet name:  
**Finish Schedule**

Project #  
**20-040**

Drawing #  
**A901**

Door Schedule & Door Hardware															
Door #	Type	Door					Frame			Hardware Set Basis of Design: BEST 7KC Series	Lockset Function	Electric Strike	Door Closer	Door Stop	Acoustic Door Seals
		Size (WxH)	Material	Finish	Glass	Rating	Material	Finish	Rating						
1	1	915X2100	S.C. METAL DOOR	CHARCOAL	INSULATED GLASS PANEL	N/A	METAL	CHARCOAL	N/A	GRADE-2 MED DUTY LEVER	ENTRANCE	YES	BARRIER FREE DOOR OPERATOR	N/A	N/A
2	7	915X2100	S.C. METAL DOOR	PAINTED	N/A	45min	METAL	PAINTED	45min	GRADE-2 MED DUTY LEVER	PASSAGE	N/A	CONCEALED DOOR CLOSER, BASIS OF DESIGN: DORMA ITS96 SERIES	Wall	YES
3	4	915X2100	S.C. WOOD	CLEAR	6mm TEMPERED	N/A	WOOD	CLEAR	N/A	GRADE-2 MED DUTY LEVER	CLASSROOM	YES	BARRIER FREE DOOR OPERATOR	Floor	YES
4	6	915X2100	S.C. WOOD	CLEAR	N/A	N/A	WOOD	CLEAR	N/A	GRADE-2 MED DUTY LEVER	PRIVACY	N/A	N/A	Wall	N/A
5	2	915X2100	S.C. METAL DOOR	CHARCOAL	N/A	N/A	METAL	CHARCOAL	N/A	GRADE-2 MED DUTY LEVER	EXIT	N/A	EXTERIOR RATED SURFACE MOUN. BASIS OF DESIGN BEST HD7000	N/A	N/A
6	7	915X2100	S.C. METAL DOOR	PAINTED	N/A	45min	METAL	PAINTED	45min	GRADE-2 MED DUTY LEVER	PASSAGE	N/A	CONCEALED DOOR CLOSER, BASIS OF DESIGN: DORMA ITS96 SERIES	Wall	YES
7	7	915X2100	S.C. METAL DOOR	PAINTED	N/A	45min	METAL	PAINTED	45min	GRADE-2 MED DUTY LEVER	PASSAGE	N/A	CONCEALED DOOR CLOSER, BASIS OF DESIGN: DORMA ITS96 SERIES	Wall	YES
8	6	915X2100	S.C. WOOD	CLEAR	N/A	N/A	WOOD	CLEAR	N/A	GRADE-2 MED DUTY LEVER	STOREROOM	N/A	CONCEALED DOOR CLOSER, BASIS OF DESIGN: DORMA ITS96 SERIES	Wall	N/A
9	5	915X2100	S.C. WOOD	CLEAR	6mm TEMPERED	N/A	WOOD	CLEAR	N/A	GRADE-2 MED DUTY LEVER	CLASSROOM	N/A	CONCEALED DOOR CLOSER, BASIS OF DESIGN: DORMA ITS96 SERIES	Wall	N/A
10	6	915X2100	S.C. WOOD	CLEAR	N/A	N/A	WOOD	CLEAR	N/A	GRADE-2 MED DUTY LEVER	PRIVACY	N/A	N/A	Wall	N/A
11	4	915X2100	S.C. WOOD	CLEAR	6mm TEMPERED	N/A	WOOD	CLEAR	N/A	GRADE-2 MED DUTY LEVER	CLASSROOM	YES	BARRIER FREE DOOR OPERATOR	Wall	N/A
12	6	915X2100	S.C. WOOD	CLEAR	N/A	N/A	WOOD	CLEAR	N/A	GRADE-2 MED DUTY LEVER	PRIVACY	N/A	N/A	Wall	YES
13	6	915X2100	S.C. WOOD	CLEAR	N/A	N/A	WOOD	CLEAR	N/A	GRADE-2 MED DUTY LEVER	PASSAGE	N/A	CONCEALED DOOR CLOSER, BASIS OF DESIGN: DORMA ITS96 SERIES	Wall	YES
14	7	915X2100	S.C. METAL DOOR	PAINTED	N/A	45min	METAL	PAINTED	45min	GRADE-2 MED DUTY LEVER	STOREROOM	N/A	CONCEALED DOOR CLOSER, BASIS OF DESIGN: DORMA ITS96 SERIES	Wall	N/A
15	7	915X2100	S.C. METAL DOOR	PAINTED	N/A	45min	METAL	PAINTED	45min	GRADE-2 MED DUTY LEVER	STOREROOM	N/A	CONCEALED DOOR CLOSER, BASIS OF DESIGN: DORMA ITS96 SERIES	Wall	N/A
16	6	915X2100	S.C. WOOD	CLEAR	N/A	N/A	WOOD	CLEAR	N/A	GRADE-2 MED DUTY LEVER	PRIVACY	N/A	CONCEALED DOOR CLOSER, BASIS OF DESIGN: DORMA ITS96 SERIES	Wall	N/A
17	6	915X2100	S.C. WOOD	CLEAR	N/A	N/A	WOOD	CLEAR	N/A	GRADE-2 MED DUTY LEVER	STOREROOM	N/A	CONCEALED DOOR CLOSER, BASIS OF DESIGN: DORMA ITS96 SERIES	Wall	N/A
18	2	915X2100	S.C. METAL DOOR	CHARCOAL	INSULATED GLASS PANEL	N/A	METAL	CHARCOAL	N/A	GRADE-2 MED DUTY LEVER	EXIT	N/A	EXTERIOR RATED SURFACE MOUN. BASIS OF DESIGN BEST HD7000	N/A	N/A
19	3	915X2100	S.C. METAL DOOR	CHARCOAL	N/A	N/A	METAL	CHARCOAL	N/A	GRADE-2 MED DUTY LEVER	EXIT	N/A	EXTERIOR RATED SURFACE MOUN. BASIS OF DESIGN BEST HD7000	N/A	N/A
20	7	915X2100	S.C. METAL DOOR	PAINTED	N/A	45min	METAL	PAINTED	45min	GRADE-2 MED DUTY LEVER	PASSAGE	YES	BARRIER FREE DOOR OPERATOR	Wall	YES
21	7	915X2100	S.C. METAL DOOR	PAINTED	N/A	45min	METAL	PAINTED	45min	GRADE-2 MED DUTY LEVER	PASSAGE	N/A	BARRIER FREE DOOR OPERATOR	Wall	YES
22	7	915X2100	S.C. METAL DOOR	PAINTED	N/A	45min	METAL	PAINTED	45min	GRADE-2 MED DUTY LEVER	PASSAGE	N/A	CONCEALED DOOR CLOSER, BASIS OF DESIGN: DORMA ITS96 SERIES	Wall	YES
23	5	915X2100	S.C. WOOD	CLEAR	6mm TEMPERED	N/A	WOOD	CLEAR	N/A	GRADE-2 MED DUTY LEVER	CLASSROOM	N/A	CONCEALED DOOR CLOSER, BASIS OF DESIGN: DORMA ITS96 SERIES	Wall	YES
24	2	915X2100	S.C. METAL DOOR	CLEAR	INSULATED GLASS PANEL	N/A	METAL	CHARCOAL	N/A	GRADE-2 MED DUTY LEVER	EXIT	N/A	EXTERIOR RATED SURFACE MOUN. BASIS OF DESIGN BEST HD7000	N/A	N/A
25	5	915X2100	S.C. WOOD	CLEAR	6mm TEMPERED	N/A	WOOD	CLEAR	N/A	GRADE-2 MED DUTY LEVER	CLASSROOM	N/A	CONCEALED DOOR CLOSER, BASIS OF DESIGN: DORMA ITS96 SERIES	Wall	YES
26	2	915X2100	S.C. METAL DOOR	CHARCOAL	INSULATED GLASS PANEL	N/A	METAL	CHARCOAL	N/A	GRADE-2 MED DUTY LEVER	EXIT	N/A	EXTERIOR RATED SURFACE MOUN. BASIS OF DESIGN BEST HD7000	N/A	N/A
27	2	915X2100	S.C. METAL DOOR	CHARCOAL	INSULATED GLASS PANEL	N/A	METAL	CHARCOAL	N/A	GRADE-2 MED DUTY LEVER	EXIT	N/A	EXTERIOR RATED SURFACE MOUN. BASIS OF DESIGN BEST HD7000	N/A	N/A
28	7	915X2100	S.C. METAL DOOR	PAINTED	N/A	45min	METAL	PAINTED	45min	GRADE-2 MED DUTY LEVER	PASSAGE	N/A	CONCEALED DOOR CLOSER, BASIS OF DESIGN: DORMA ITS96 SERIES	Wall	YES
29	6	915X2100	S.C. WOOD	CLEAR	N/A	N/A	WOOD	CLEAR	N/A	GRADE-2 MED DUTY LEVER	PRIVACY	N/A	N/A	Wall	N/A
30	6	915X2100	S.C. WOOD	CLEAR	N/A	N/A	WOOD	CLEAR	N/A	GRADE-2 MED DUTY LEVER	PRIVACY	N/A	N/A	Wall	N/A
31	7	915X2100	S.C. METAL DOOR	PAINTED	N/A	45min	METAL	PAINTED	45min	GRADE-2 MED DUTY LEVER	CLASSROOM	N/A	CONCEALED DOOR CLOSER, BASIS OF DESIGN: DORMA ITS96 SERIES	Wall	YES
32	6	915X2100	S.C. WOOD	CLEAR	N/A	N/A	WOOD	CLEAR	N/A	GRADE-2 MED DUTY LEVER	PRIVACY	N/A	N/A	Wall	N/A
33	7	915X2100	S.C. METAL DOOR	PAINTED	N/A	45min	METAL	PAINTED	45min	GRADE-2 MED DUTY LEVER	CLASSROOM	N/A	CONCEALED DOOR CLOSER, BASIS OF DESIGN: DORMA ITS96 SERIES	Wall	YES
34	6	915X2100	S.C. WOOD	CLEAR	N/A	N/A	WOOD	CLEAR	N/A	GRADE-2 MED DUTY LEVER	PRIVACY	N/A	N/A	Wall	N/A
35	7	915X2100	S.C. METAL DOOR	PAINTED	N/A	45min	METAL	PAINTED	45min	GRADE-2 MED DUTY LEVER	CLASSROOM	N/A	CONCEALED DOOR CLOSER, BASIS OF DESIGN: DORMA ITS96 SERIES	Wall	YES
36	6	915X2100	S.C. WOOD	CLEAR	N/A	N/A	WOOD	CLEAR	N/A	GRADE-2 MED DUTY LEVER	PRIVACY	N/A	N/A	Wall	N/A
37	7	915X2100	S.C. METAL DOOR	PAINTED	N/A	45min	METAL	PAINTED	45min	GRADE-2 MED DUTY LEVER	CLASSROOM	N/A	CONCEALED DOOR CLOSER, BASIS OF DESIGN: DORMA ITS96 SERIES	Wall	YES
38	6	915X2100	S.C. WOOD	CLEAR	N/A	N/A	WOOD	CLEAR	N/A	GRADE-2 MED DUTY LEVER	PRIVACY	N/A	N/A	Wall	N/A
39	7	915X2100	S.C. METAL DOOR	PAINTED	N/A	45min	METAL	PAINTED	45min	GRADE-2 MED DUTY LEVER	CLASSROOM	N/A	CONCEALED DOOR CLOSER, BASIS OF DESIGN: DORMA ITS96 SERIES	Wall	YES
40	6	915X2100	S.C. WOOD	CLEAR	N/A	N/A	WOOD	CLEAR	N/A	GRADE-2 MED DUTY LEVER	PRIVACY	N/A	N/A	Wall	N/A
41	7	915X2100	S.C. METAL DOOR	PAINTED	N/A	45min	METAL	PAINTED	45min	GRADE-2 MED DUTY LEVER	CLASSROOM	N/A	CONCEALED DOOR CLOSER, BASIS OF DESIGN: DORMA ITS96 SERIES	Wall	YES
42	6	915X2100	S.C. WOOD	CLEAR	N/A	N/A	WOOD	CLEAR	N/A	GRADE-2 MED DUTY LEVER	PRIVACY	N/A	N/A	Wall	N/A
43	7	915X2100	S.C. METAL DOOR	PAINTED	N/A	45min	METAL	PAINTED	45min	GRADE-2 MED DUTY LEVER	PUSHBAR	N/A	CONCEALED DOOR CLOSER, BASIS OF DESIGN: DORMA ITS96 SERIES	Wall	N/A
44	8	762x1600	S.C. METAL DOOR	PAINTED	N/A	45min	METAL	PAINTED	45min	GRADE-2 MED DUTY LEVER	STOREROOM	N/A	CONCEALED DOOR CLOSER, BASIS OF DESIGN: DORMA ITS96 SERIES	Wall	N/A

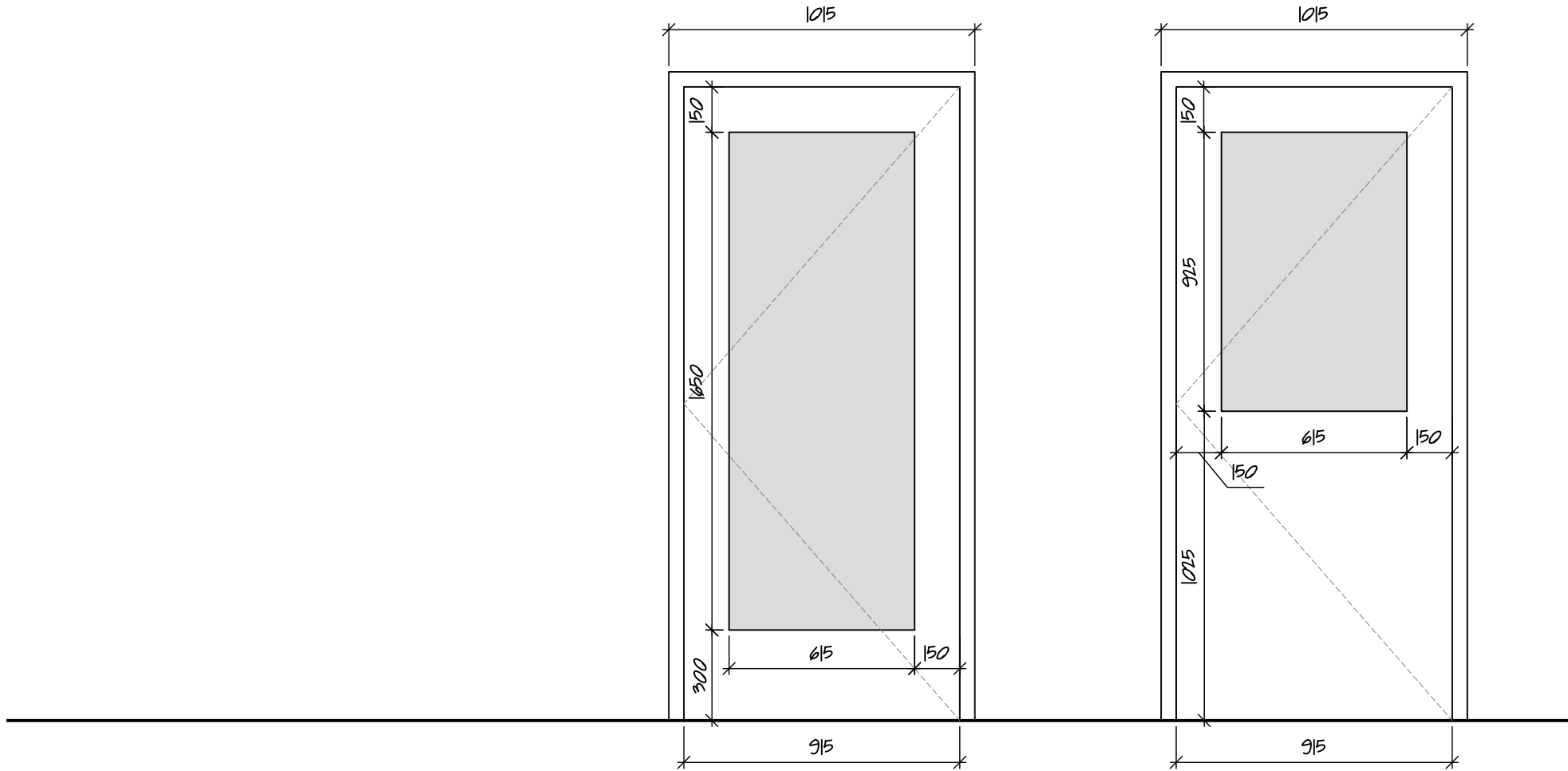


TYPE 1 - STEEL EXTERIOR DOOR D1

TYPE 2 - STEEL EXTERIOR DOOR D5, D18, D27, D26, D24

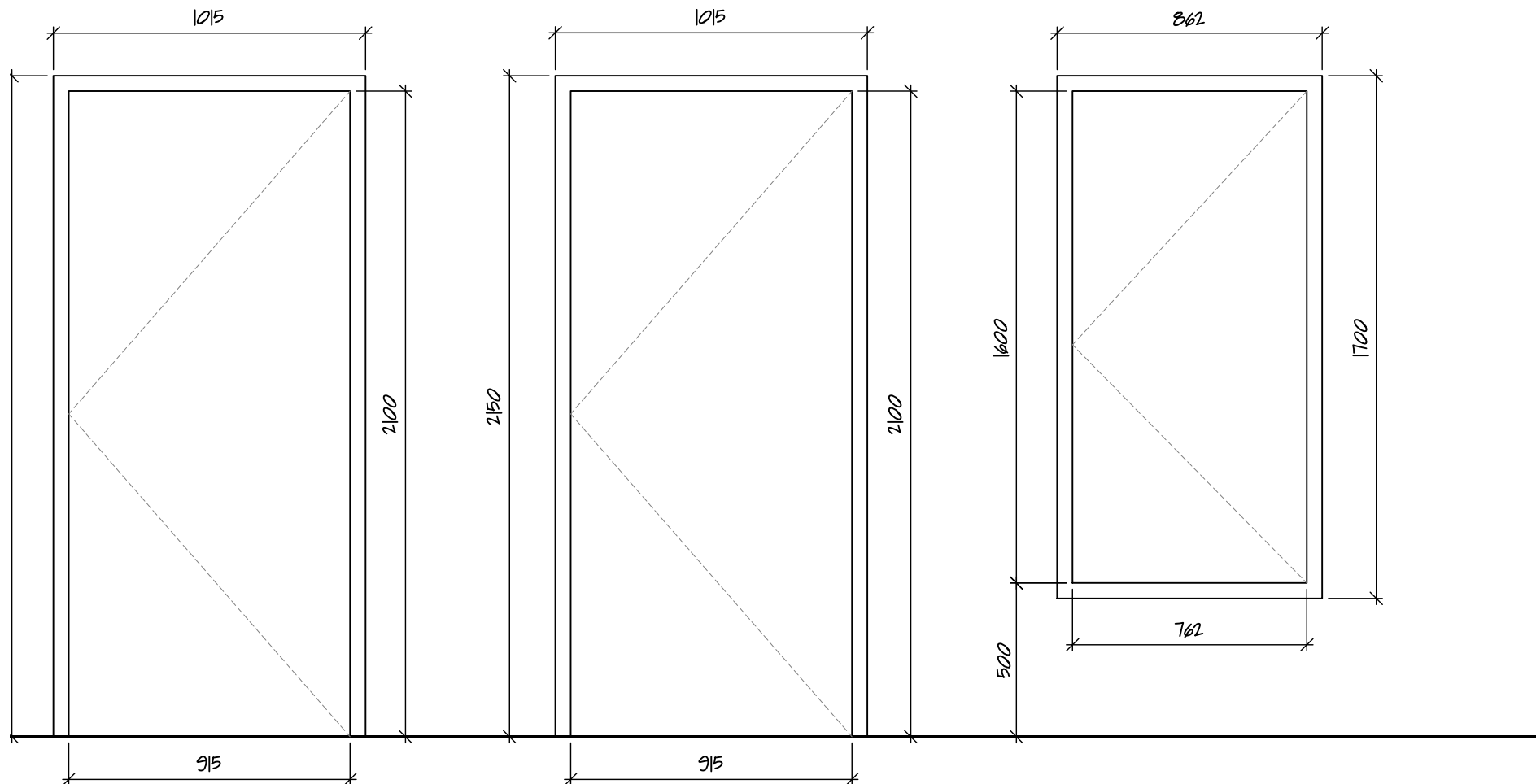
TYPE 3 - STEEL EXTERIOR DOOR D19

1 Exterior Door Schedule



TYPE 4 - FULL GLAZED SOLID WOOD

TYPE 5 - HALF GLAZED SOLID WOOD

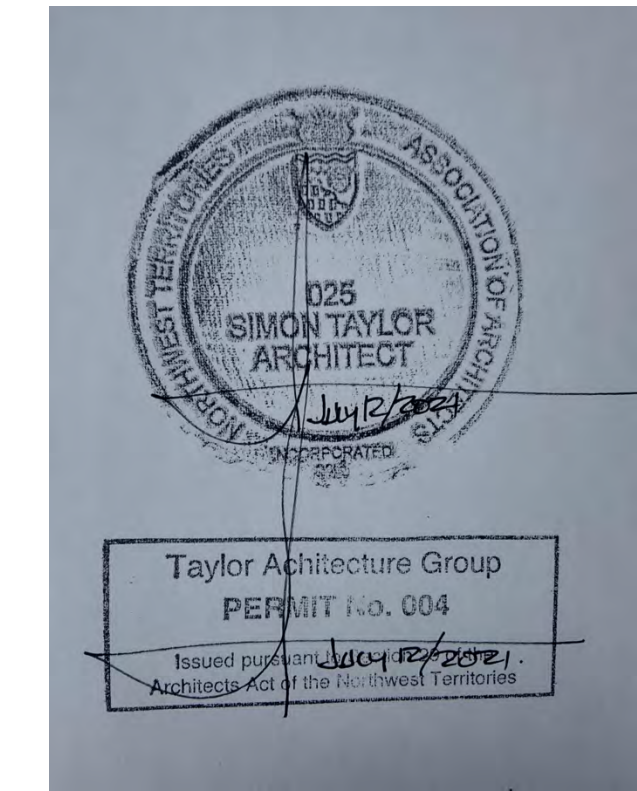


TYPE 6 - SOLID WOOD FLUSH

TYPE 7 - 45min FIRE RATING SOLID CORE STEEL

TYPE 8 - 45min FIRE RATING SOLID CORE STEEL

2 Interior Door Schedule



**NOT FOR CONSTRUCTION**  
ALL DIMENSIONS TO BE SITE VERIFIED BY CONTRACTOR

2	21-July-12	Issued for Tender
1	21-Jun-16	Issued for 100% Construction Documents
#	Date	Description
Revisions		
Date: June 1, 2021		

Project: JEJE ZHO TH MEN'S SHELTER		
Dawson City, YT		
project north true north	Drawing by: T.F.	Checked by: S.T.
	Scale: As Noted	
Sheet name:		

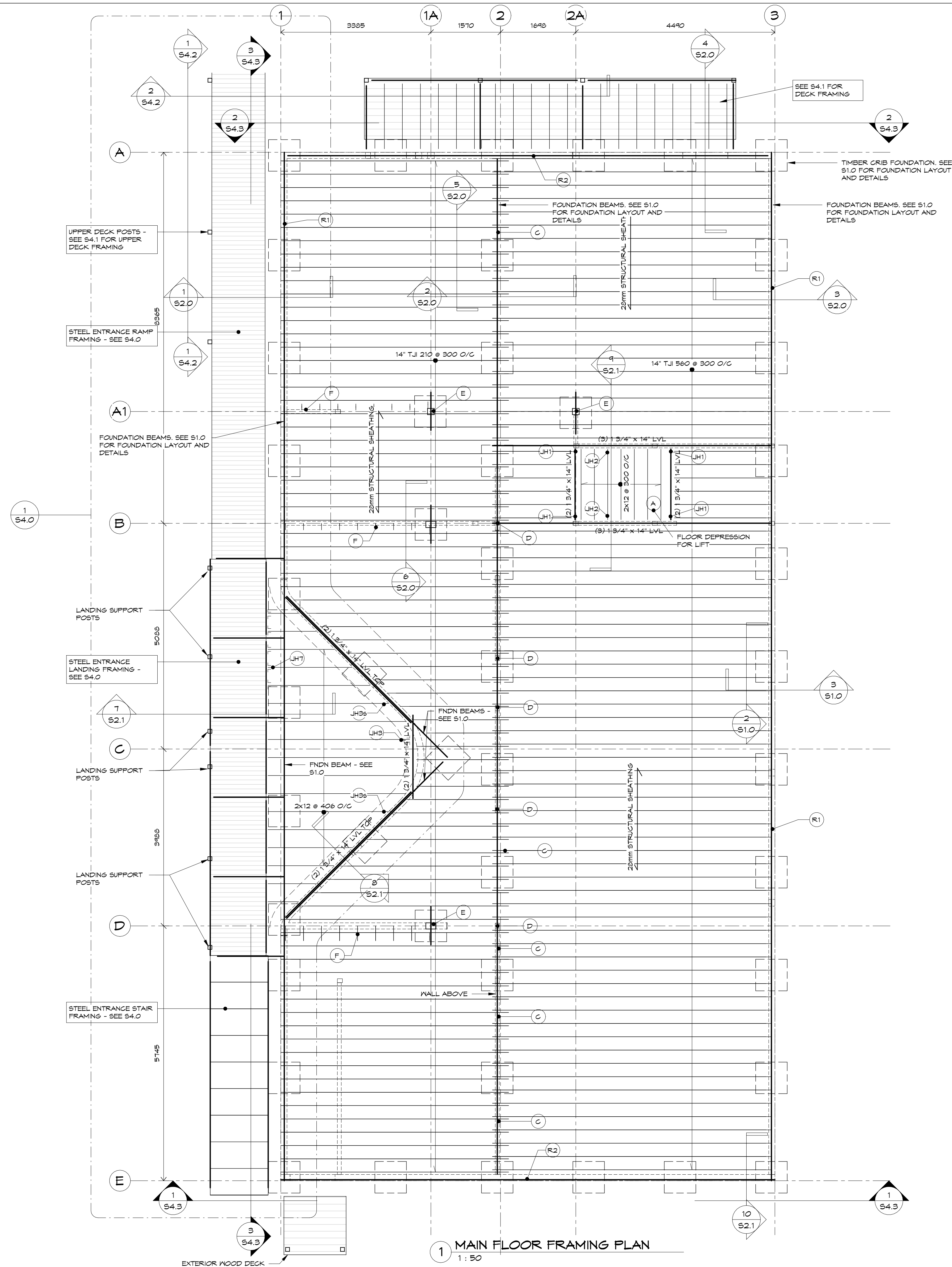
Door Schedule

Project #
20-040
Drawing #

A902



# S1.0



- ELEVATION NOTES:
- ELEVATIONS SHOWN ARE BASED ON A WORKING STRUCTURAL DATUM ELEVATION AT TOP OF MAIN FLOOR SUBFLOOR OF 0.000m.
  - NOTE THAT THERE IS A 16mm PLYWOOD OVERLAY SPECIFIED ON THE ARCHITECTURAL DRAWINGS THAT IS ASSOCIATED WITH THE TOP OF MAIN FLOOR SURVEY ELEVATION.
  - REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL SURVEY ELEVATIONS.

MAIN FLOOR FRAMING PLAN NOTES

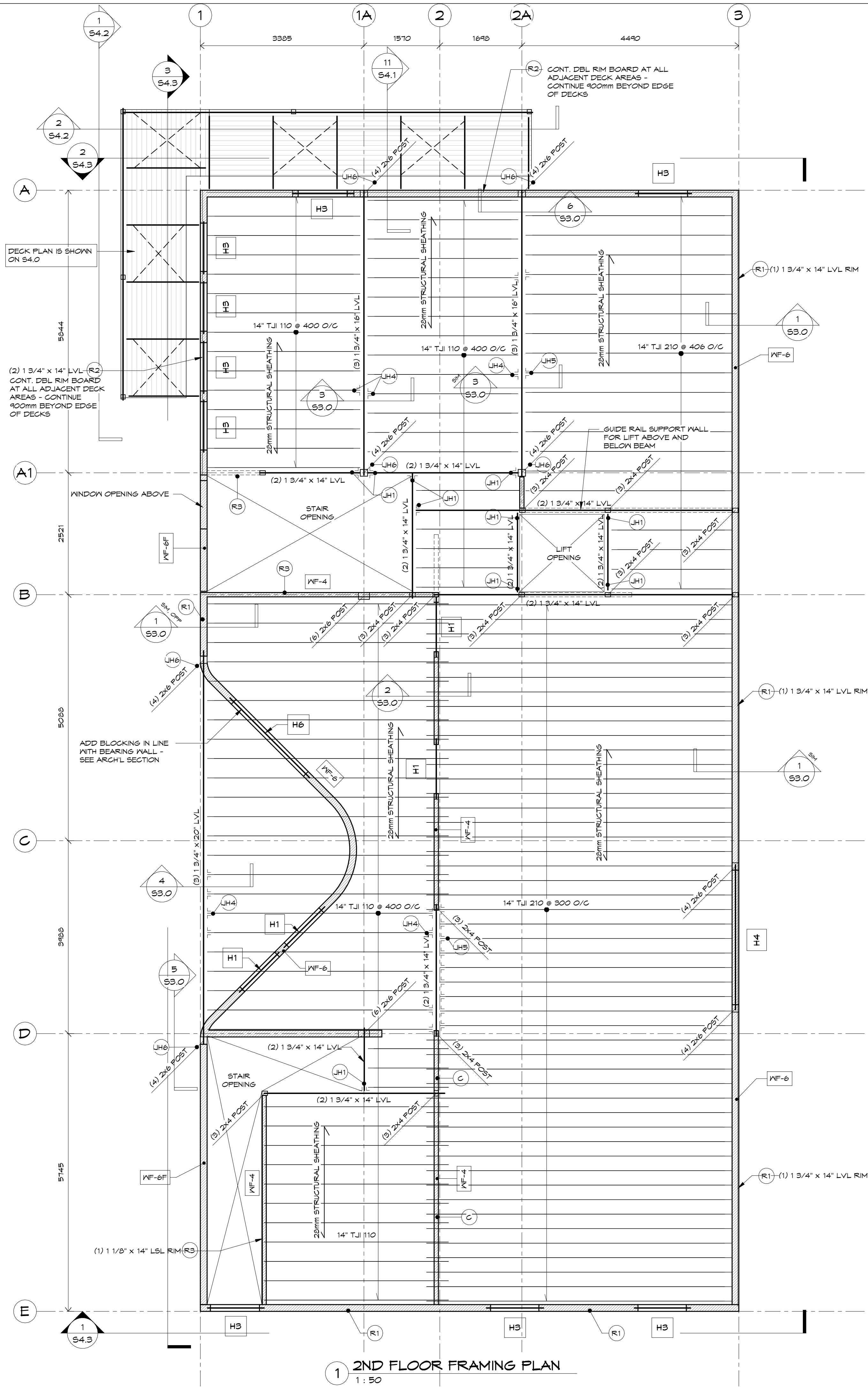
- SEE NOTES ON S5.0 FOR: DETAILED DESIGN LOADS, GENERAL NOTES, WOOD NOTES.
- SEE BOXED NOTE ON THIS SHEET REGARDING FLOOR ELEVATIONS AND STRUCTURAL DATUM ELEVATION.
- SEE S4.1 FOR DECK FRAMING, DETAIL, SECTIONS, NOTES.
- SEE S1.0 FOR FOUNDATION BEAMS, AND TIMBER GRIBS SHOWN IN FRAMING PLAN.
- SEE S4.2 FOR SHEAR WALL AND FLOOR DIAPHRAGM REQUIREMENTS.
- EXTERIOR WALL GRIDLINES ARE SHOWN AT THE OUTSIDE FACE OF WOOD FRAMED STUDS. INTERIOR GRIDLINE ARE WITH RESPECT TO POSTS AND WALLS AS NOTED.

(XX) MAIN FLOOR FRAMING - NOTE MARKS	
NO.	DETAILS
A	FLOOR DEPRESSION FOR LIFT, 75mm ASSUMED. COORDINATE DEPTH WITH APPROVED LIFT SHOP DRAWINGS.
C	14" I-JOIST BLOCKING PANELS BETWEEN I-JOISTS. TYPICAL ALONG GRIDLINE 2.
D	PROVIDE VERT. SQUASH BLOCKS WITHIN THE DEPTH OF THE FLOOR FRAMING BELOW ALL TRIMMER STUDS.
E	EXTEND POST THRU FLR TO TOP OF FNDN BEAM - SEE SECTION .
F	TJI BLKG BETWEEN JOIST BELOW ALL NON BEARING WALLS.
JH1	FACEMOUNT HANGER: U414, (16) 16d INTO HDR, (6) 10d, 4355H DFL
JH2	FACEMOUNT HANGER: U210L, (10) 10d INTO HDR, (6) 10dX1.5" INTO JOIST, 1110 SFF
JH3	FACEMOUNT HANGER: U210, (10) 16d INTO HDR, (6) 10x1.5", 2155H DFL
JH3S	FACEMOUNT HANGER: H3 KV SKEX
JH7	LIGHT FRAMING ANGLE: L80 EACH SIDE OF JOIST, (10) SDR4X1.5 SCREWS INTO RIM AND JOIST
R1	SINGLE RIM BOARD - TYPICAL EXCEPT WHERE NOTED
R2	DOUBLE RIM BOARD - TYP. AT ADJACENT EXTERIOR DECKS

NOT FOR CONSTRUCTION



PLOT DATE 2021-07-12	PROJ. NO. 20-0401
DESIGNED BY SLB	CHECKED BY SLB
DRAWN BY slb/	DWG. NO.



- ELEVATION NOTES:
- ELEVATIONS SHOWN ARE BASED ON A WORKING STRUCTURAL DATUM ELEVATION AT TOP OF MAIN FLOOR SUBFLOOR OF 0.000m.
  - NOTE THAT THERE IS A 16mm PLYWOOD OVERLAY SPECIFIED ON THE ARCHITECTURAL DRAWINGS THAT IS ASSOCIATED WITH THE TOP OF MAIN FLOOR SURVEY ELEVATION.
  - REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL SURVEY ELEVATIONS.

SECOND FLOOR FRAMING PLAN NOTES

- SEE NOTES ON S5.0 FOR: DETAILED DESIGN LOADS, GENERAL NOTES, WOOD NOTES.
- SEE BOXED NOTE ON THIS SHEET REGARDING FLOOR ELEVATIONS AND STRUCTURAL DATUM ELEVATION. T.O. 2ND FLOOR IS SET AT TOP OF WARMBOARD-S.
- SEE S4.1 FOR DECK FRAMING, DETAIL, SECTIONS, NOTES.
- SEE S4.2 FOR SHEAR WALL AND FLOOR DIAPHRAGM REQUIREMENTS.
- EXTERIOR WALL GRIDLINES ARE SHOWN AT THE OUTSIDE FACE OF WOOD FRAMED STUDS. INTERIOR GRIDLINE ARE WITH RESPECT TO POSTS AND WALLS AS NOTED
- FLOOR FRAMING SYSTEM IS SPECIFIED TO BE OF PRODUCTS MANUFACTURED BY TRUS JOIST - MEYERHAEUSER. SIZES AND SPACING FOR JOISTS, BEAMS AND RIM BOARD ARE SHOWN IN PLAN. FLOOR FRAMING SHOP DRAWINGS ARE REQUIRED TO BE SUBMITTED TO CONFIRM INTERPRETATION OF FRAMING PLANS. SHOP DRAWINGS MUST INCLUDE A LAYOUT PLAN AND MATERIALS LIST. IF HANGERS ARE BEING PROVIDED AS PART OF THE FLOOR FRAMING PACKAGE, HANGER LISTS AND MARKS MUST ALSO BE INDICATED AND INCLUDED. ANY SUBSTITUTIONS OF THE SPECIFIED MEMBERS OR HANGERS MUST BE SUBMITTED AND CLEARLY SHOW THAT THE MEMBER IS AN EQUIVALENT AND A SUITABLE SUBSTITUTION. DEPENDING ON THE SCOPE, SUBSTITUTIONS MAY REQUIRE STAMPED CALCULATIONS BY AN ENGINEERED LICENCED IN YUKON.

HEADER SCHEDULE (ALL FLOORS)		
MARK	SIZE	TRIMMER
H1	(3) 2x6	(2) 2x6 TRIMMER EACH END
H2	(2) 2x6	(1) 2x6 TRIMMER EACH END
H3	(3) 2x12	(2) 2x6 TRIMMER EACH END
H4	(3) 1 3/4" x 11 7/8" LVL	SEE PLAN
H6	(3) 2x10	(2) 2x6 TRIMMER EACH END

WOOD FRAMED WALL SCHEDULE		
MARK	DETAILS	COMMENTS
WF-4	2x4 @ 400 O/C SPACING IV 12.5 PLYWOOD ON ONE SIDE	BEARING WALL ON GRID 2
WF-6	2x6 @ 400 O/C SPACING IV 16 PLYWOOD ON OUTSIDE FACE	TYPICAL EXTERIOR WALL. SEE S4.2 FOR ADDITIONAL SHEAR WALL REQUIREMENTS.
WF-6F	(2) 2x6 @ 400 O/C SPACING IV 16 PLYWOOD ON OUTSIDE FACE	FULL HEIGHT WALL. ADD BLOCKING AT 1200, L50 EACH SIDE OF DBL STUD, TOP & BOT. 5D*9x1.5" SCREWS.

UPPER FLOOR FRAMING - NOTE MARKS	
NO.	DETAILS
C	14" I-JOIST BLOCKING PANELS BETWEEN I-JOISTS. TYPICAL ALONG GRIDLINE 2.
JH1	FACEMOUNT HANGER: U414, (16) 16d INTO HDR, (6) 10d, 4355# DFL
JH4	FACEMOUNT HANGER: U5118/14, (12) 10d INTO HDR, STRONG GRIP SEAT, 2565# DFL
JH5	FACEMOUNT HANGER: U52106/14, (12) 10d INTO HDR, STRONG GRIP SEAT, 2565# DFL
JH6	TIMST STRAP: H6, BOTH SIDES, RAIL
R1	SINGLE RIM BOARD - TYPICAL EXCEPT WHERE NOTED
R2	DOUBLE RIM BOARD - TYP. AT ADJACENT EXTERIOR DECKS
R3	SINGLE LSL RIM BOARD - TYP. AT EDGE OF STAIR
SW4	SHEAR WALL-4 - EAST WALL - NO BLOCKING

NOT FOR CONSTRUCTION

Jeje Zho TH Men's Shelter  
SECOND AVE. AND YORK STREET  
DANSON CITY, YUKON  
2ND FLOOR FRAMING PLAN

PLOT DATE 2021-07-12	PROJ. NO. 20-0401
DESIGNED BY SLB	CHECKED BY SLB
DRAWN BY slb/	DWG. NO.

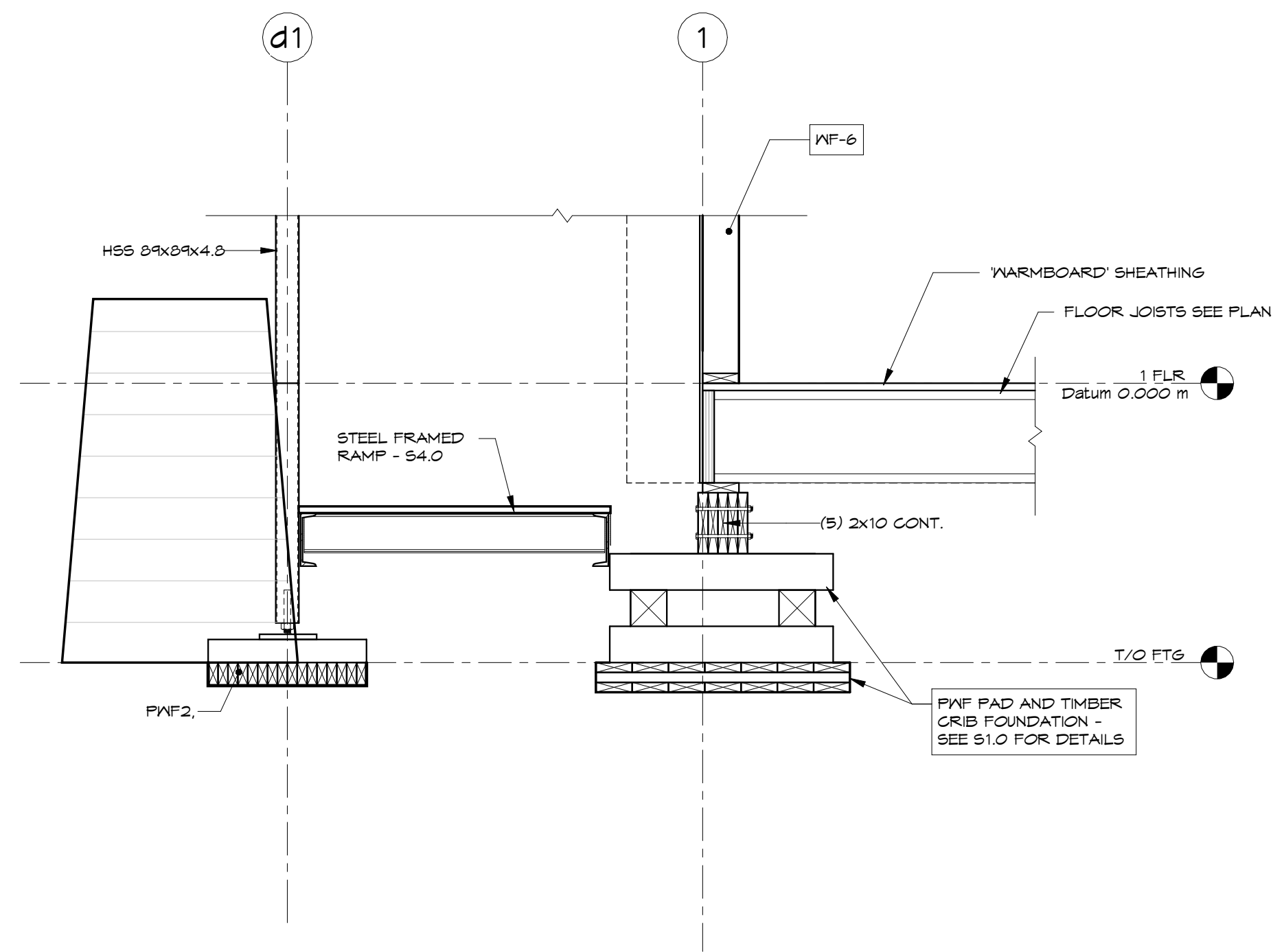
S1.2

BRADLEY  
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WHITEHORSE, YT 867-457-0357  
www.bradleystructuraleng.com

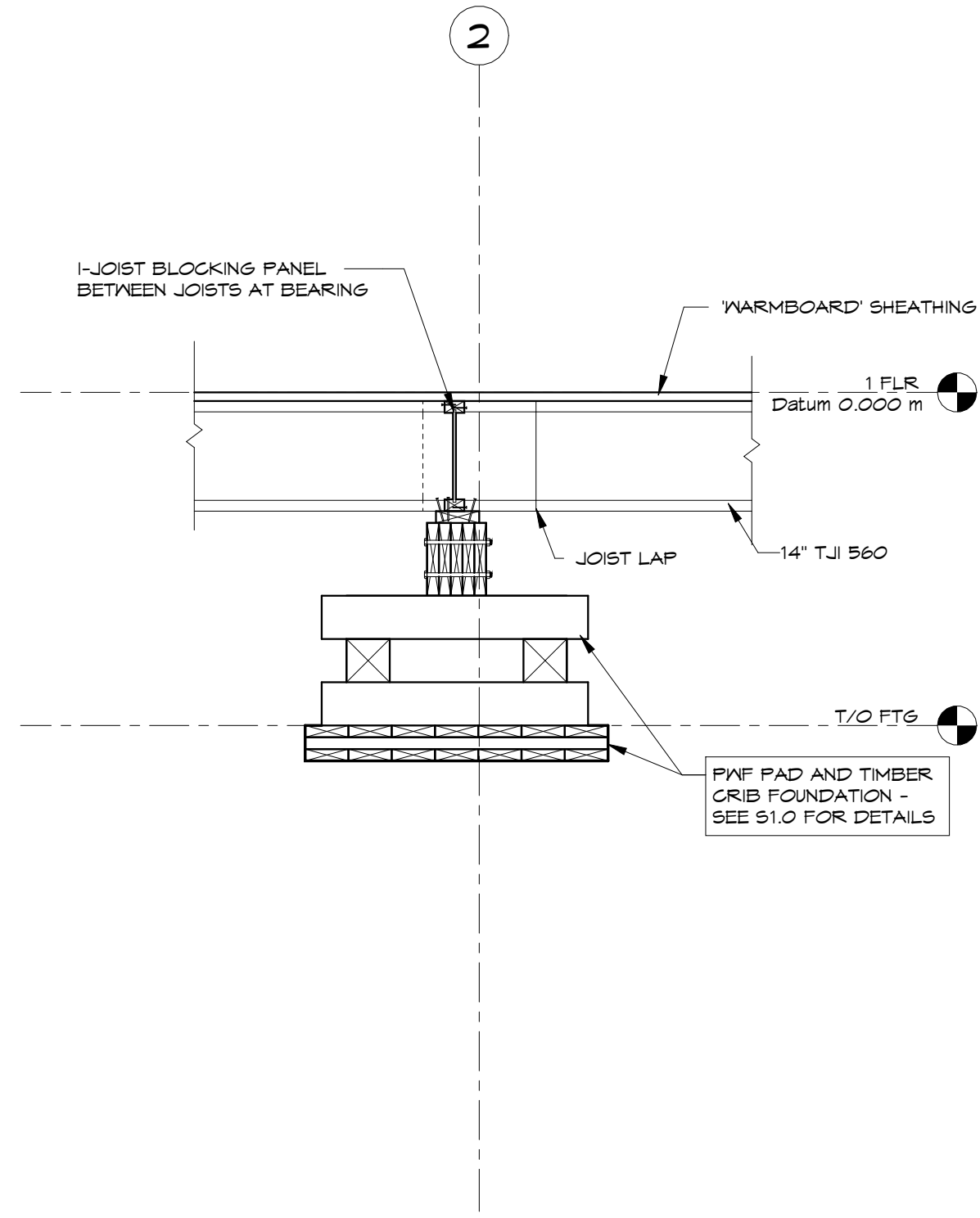
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NO.	DATE	ISSUED FOR TENDER	REVISION	SLB	SLB	SLB	DWG. NO.
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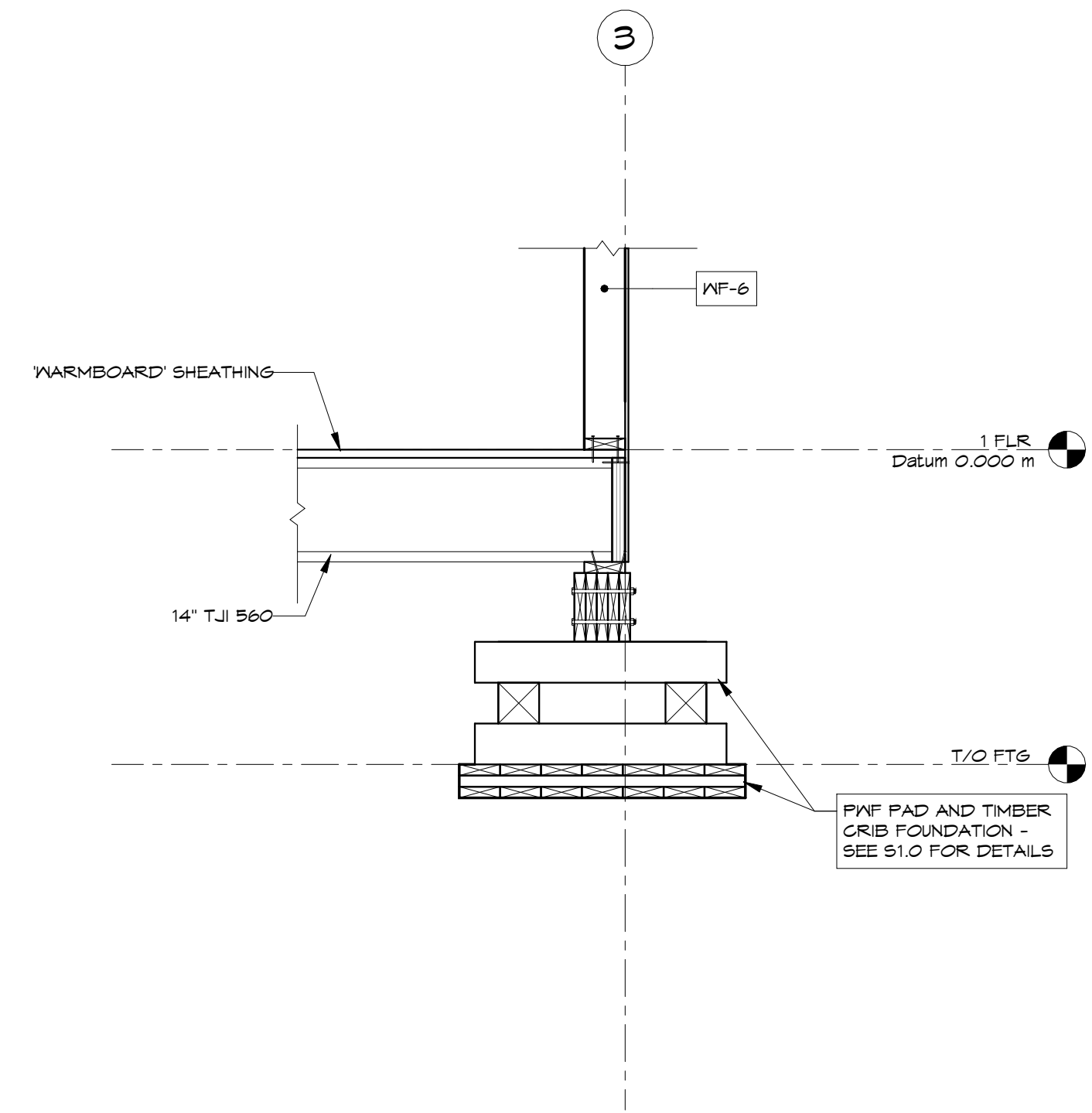




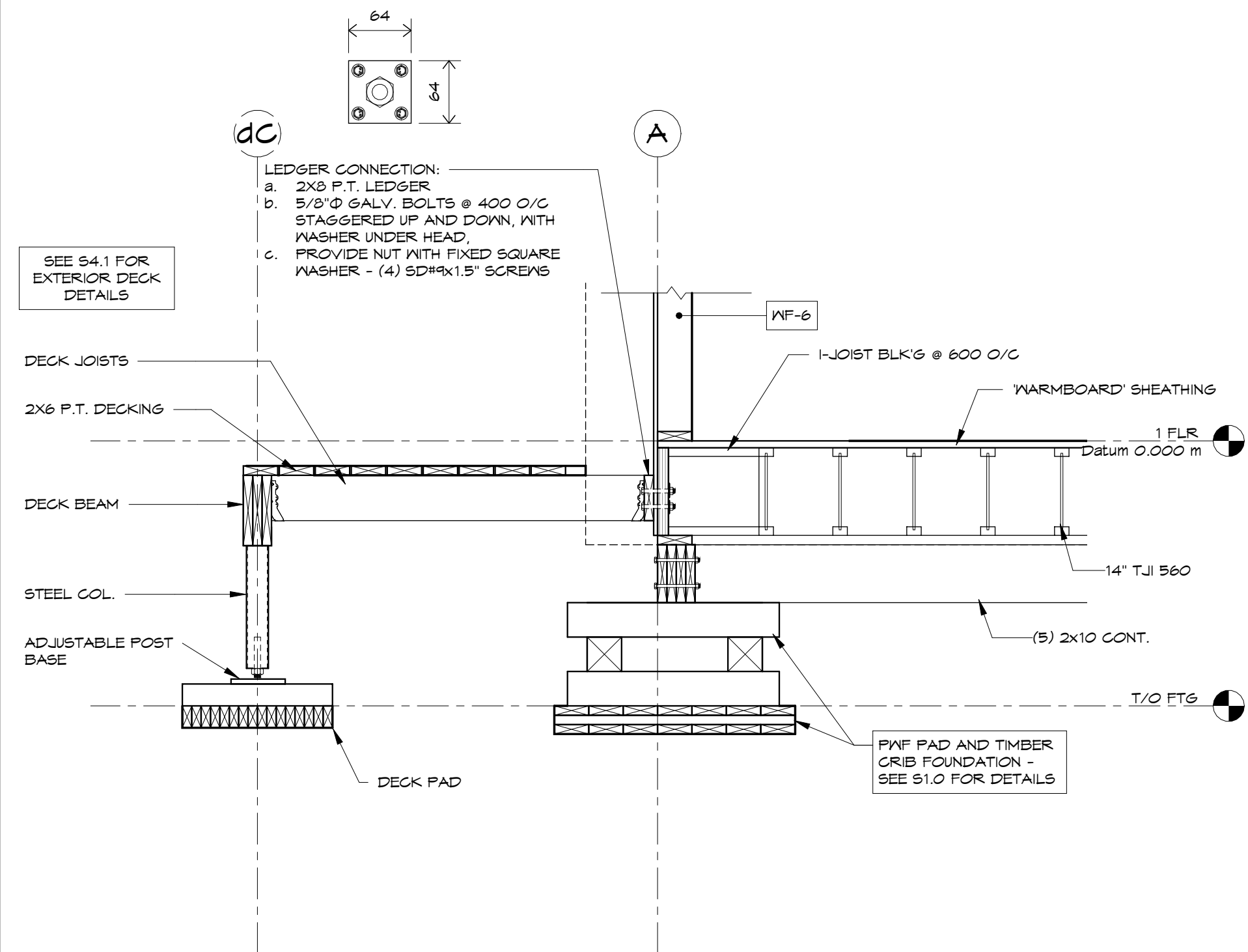
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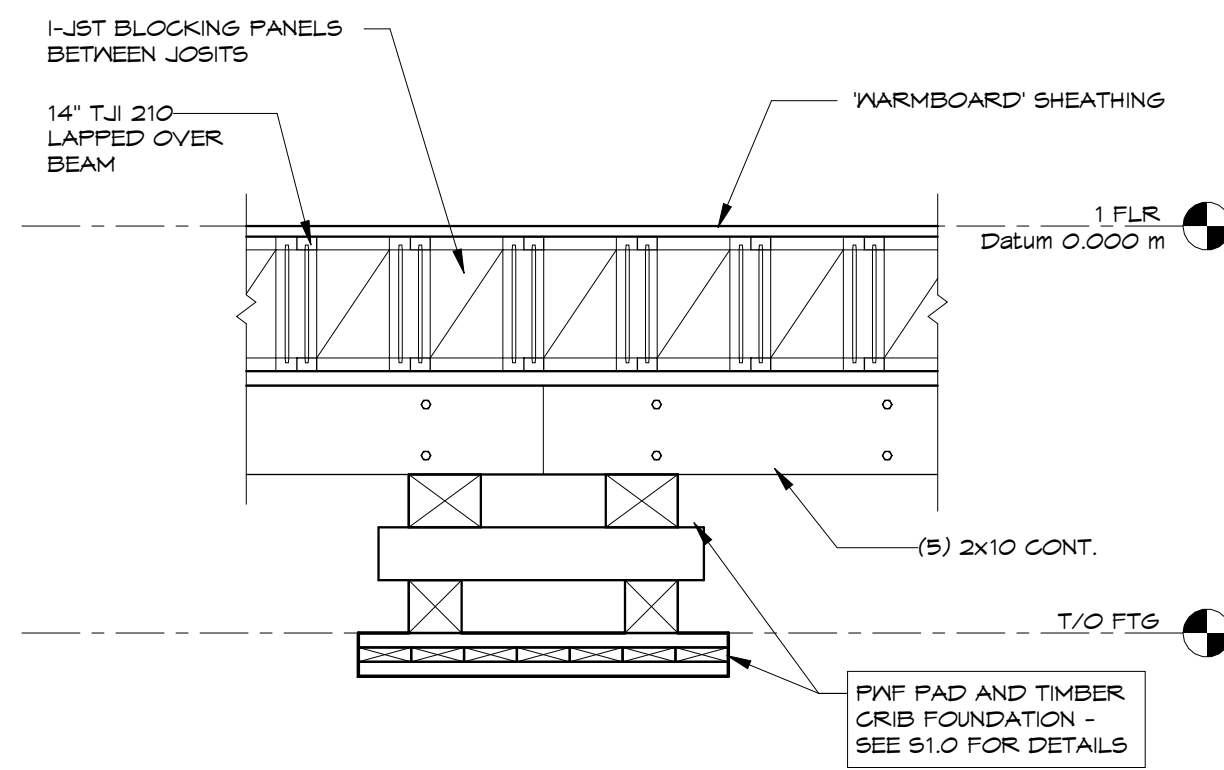
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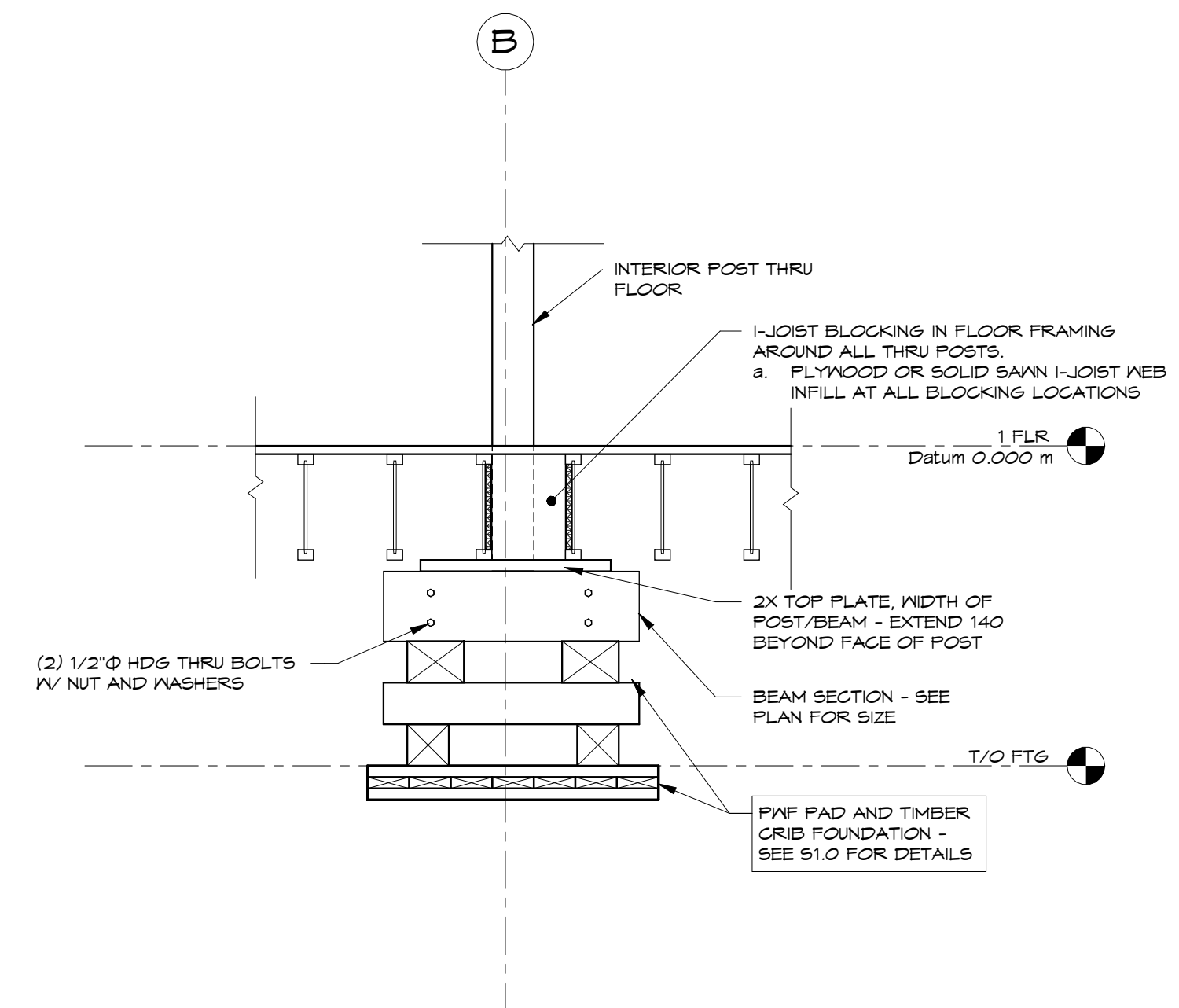
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4 FNDN SECTION  
1 : 20

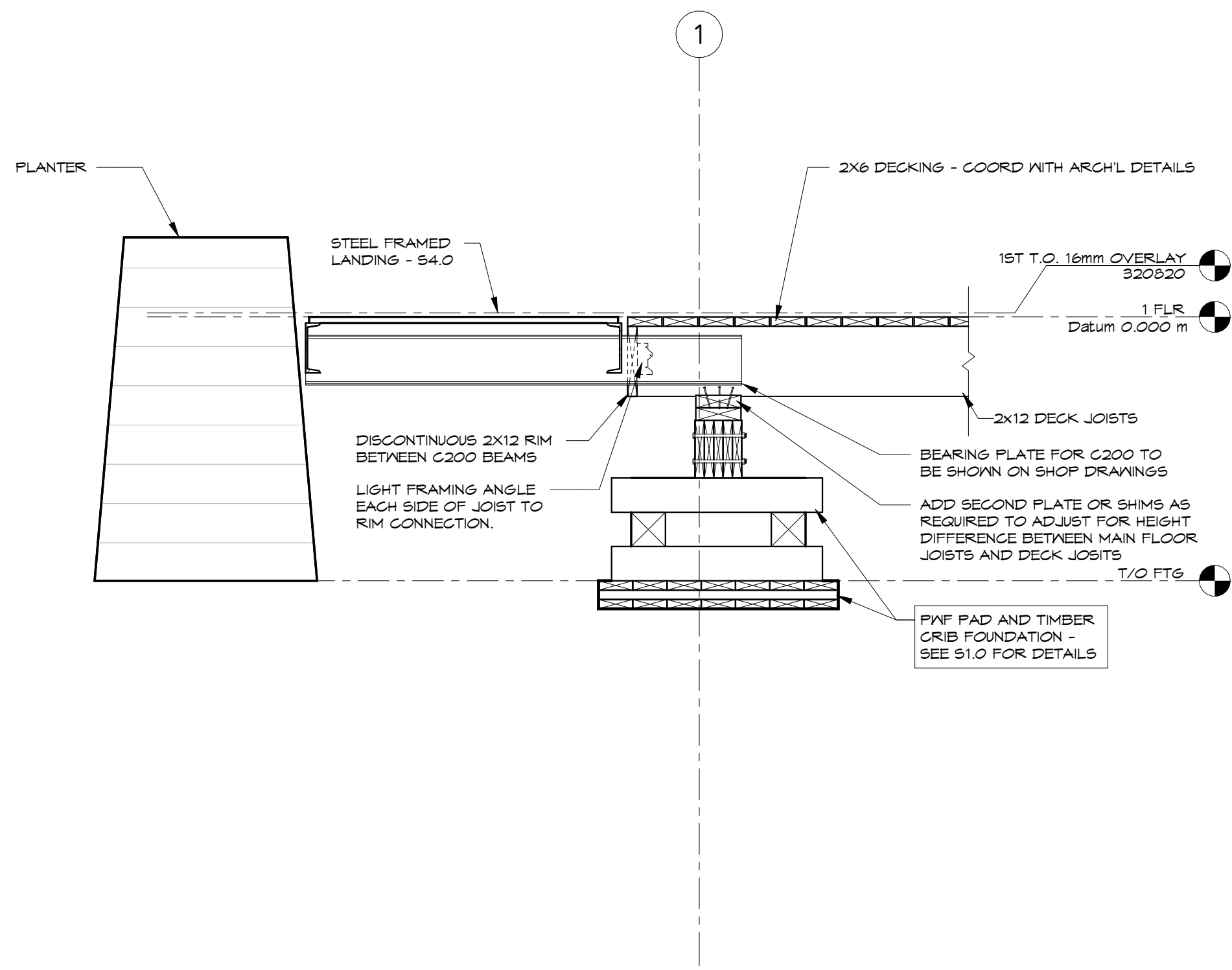


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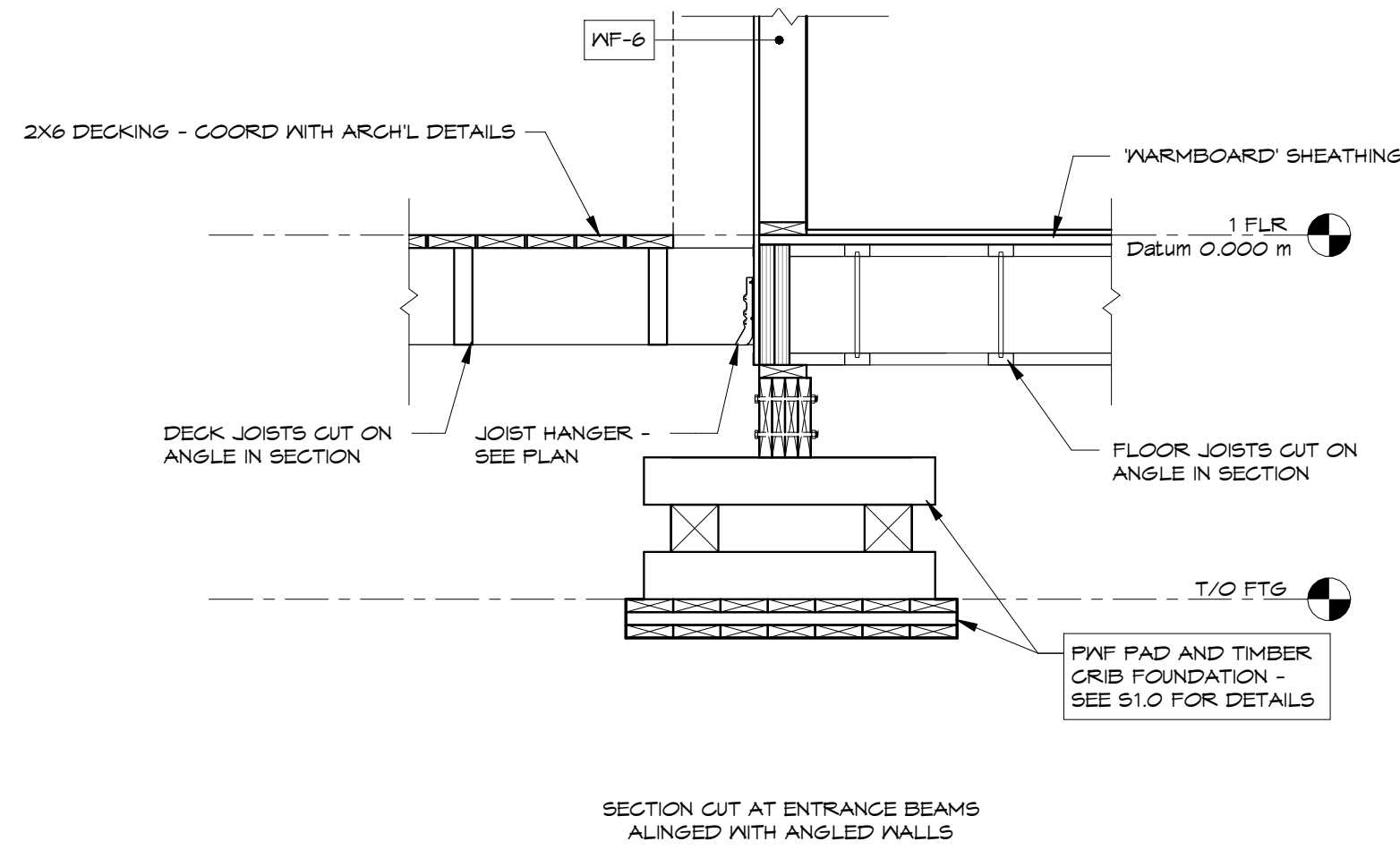


6 TIMBER FOUNDATION SECTION  
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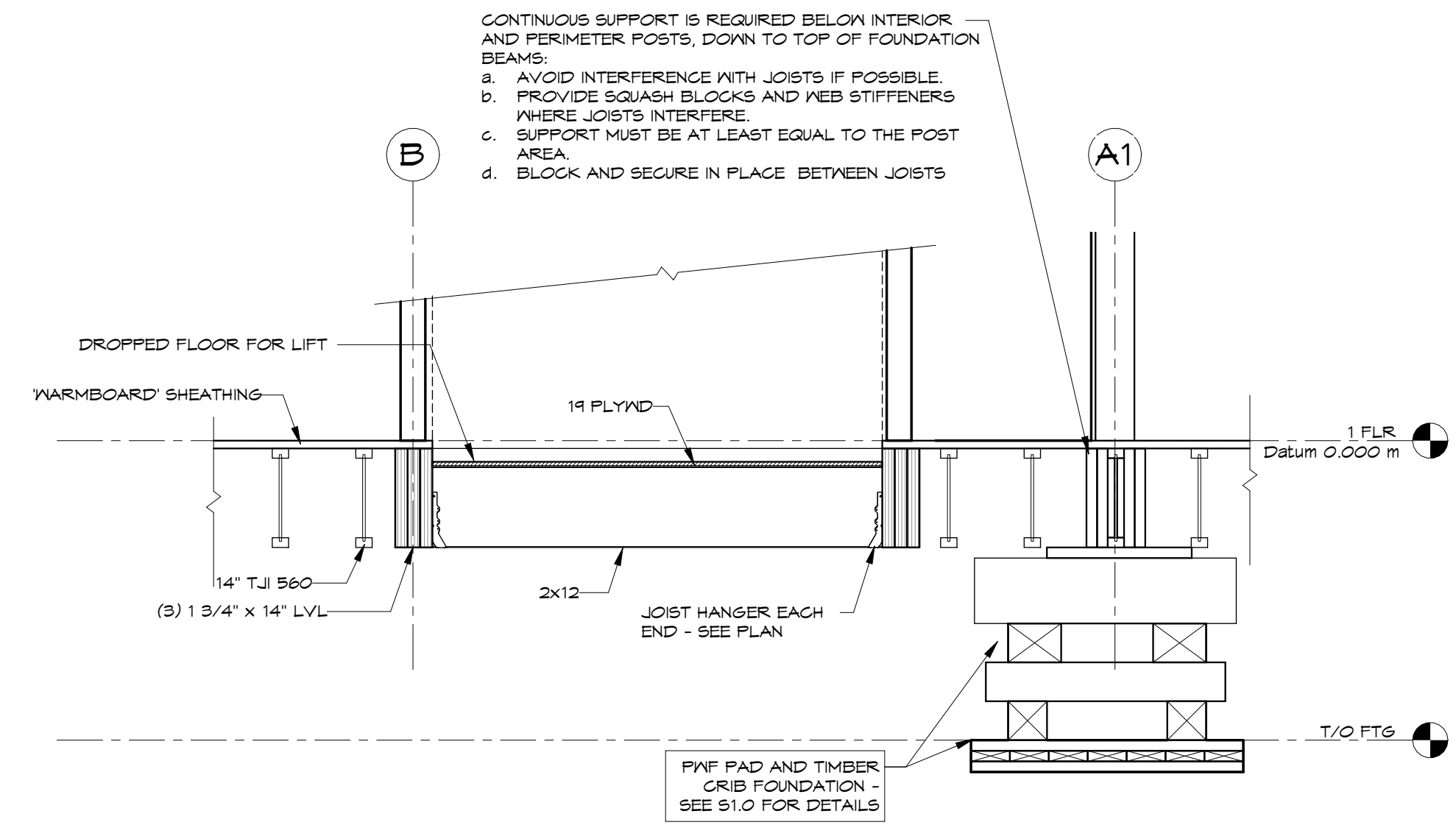
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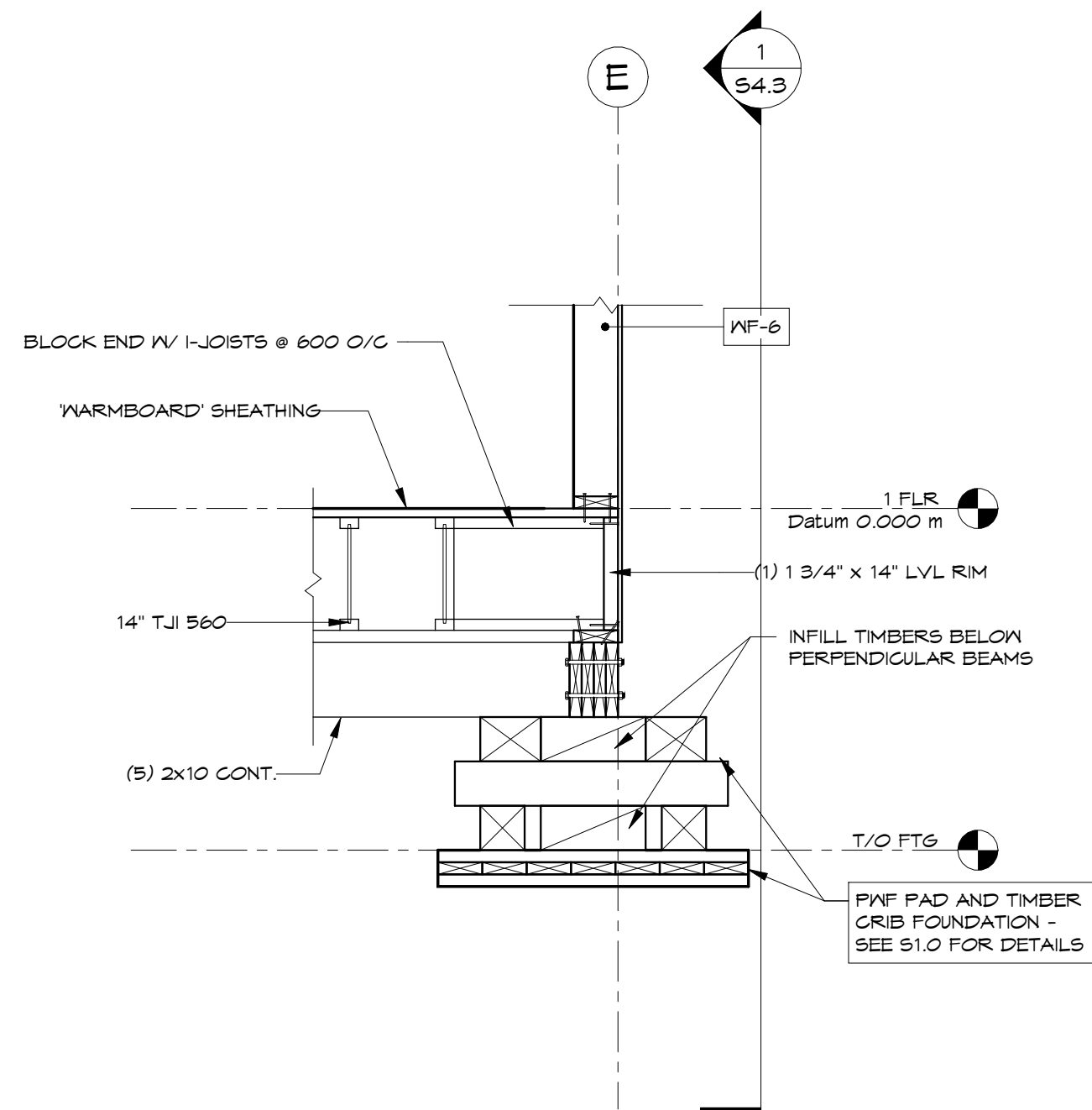
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8 FNDN SECTION  
1 : 20

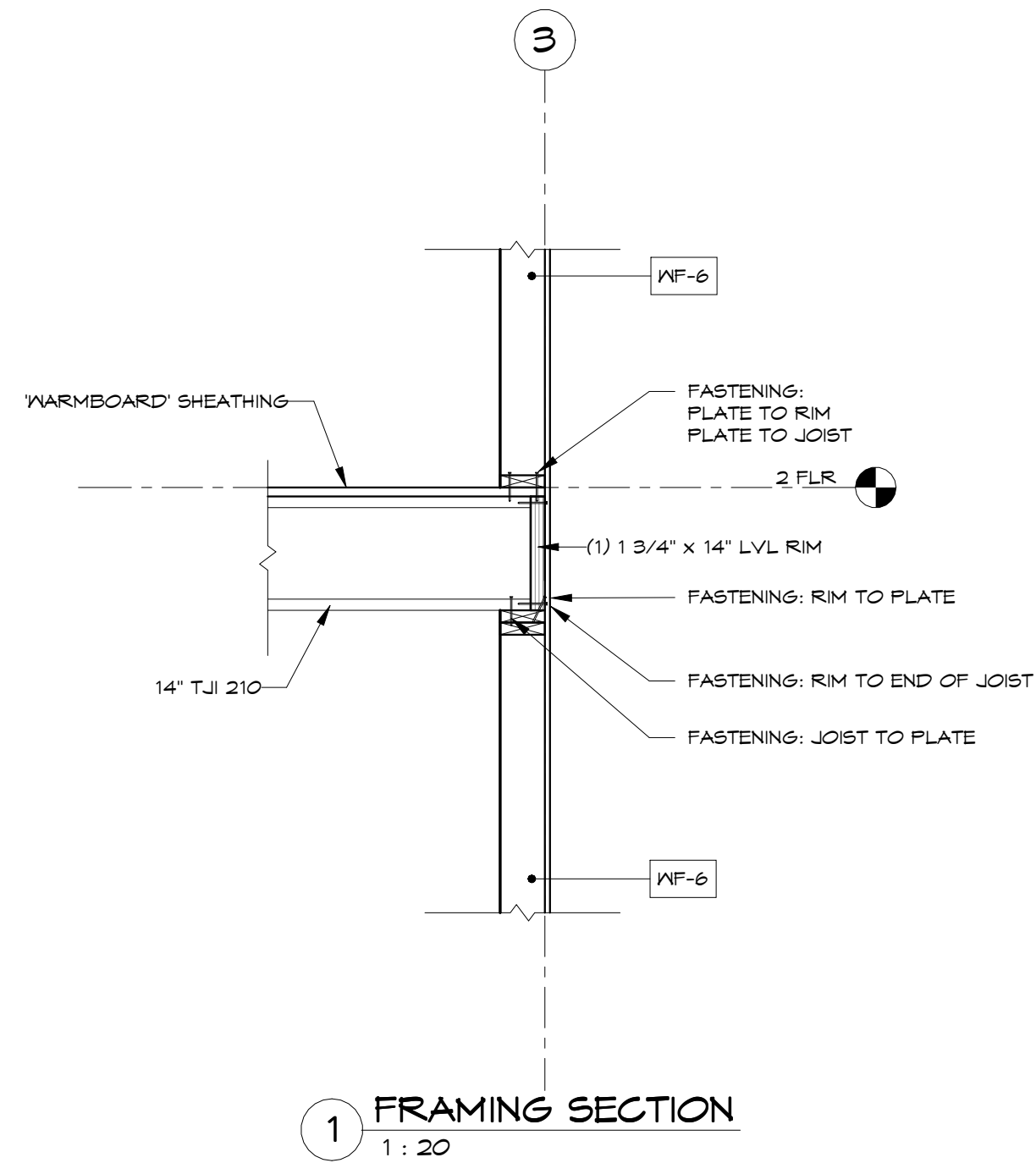


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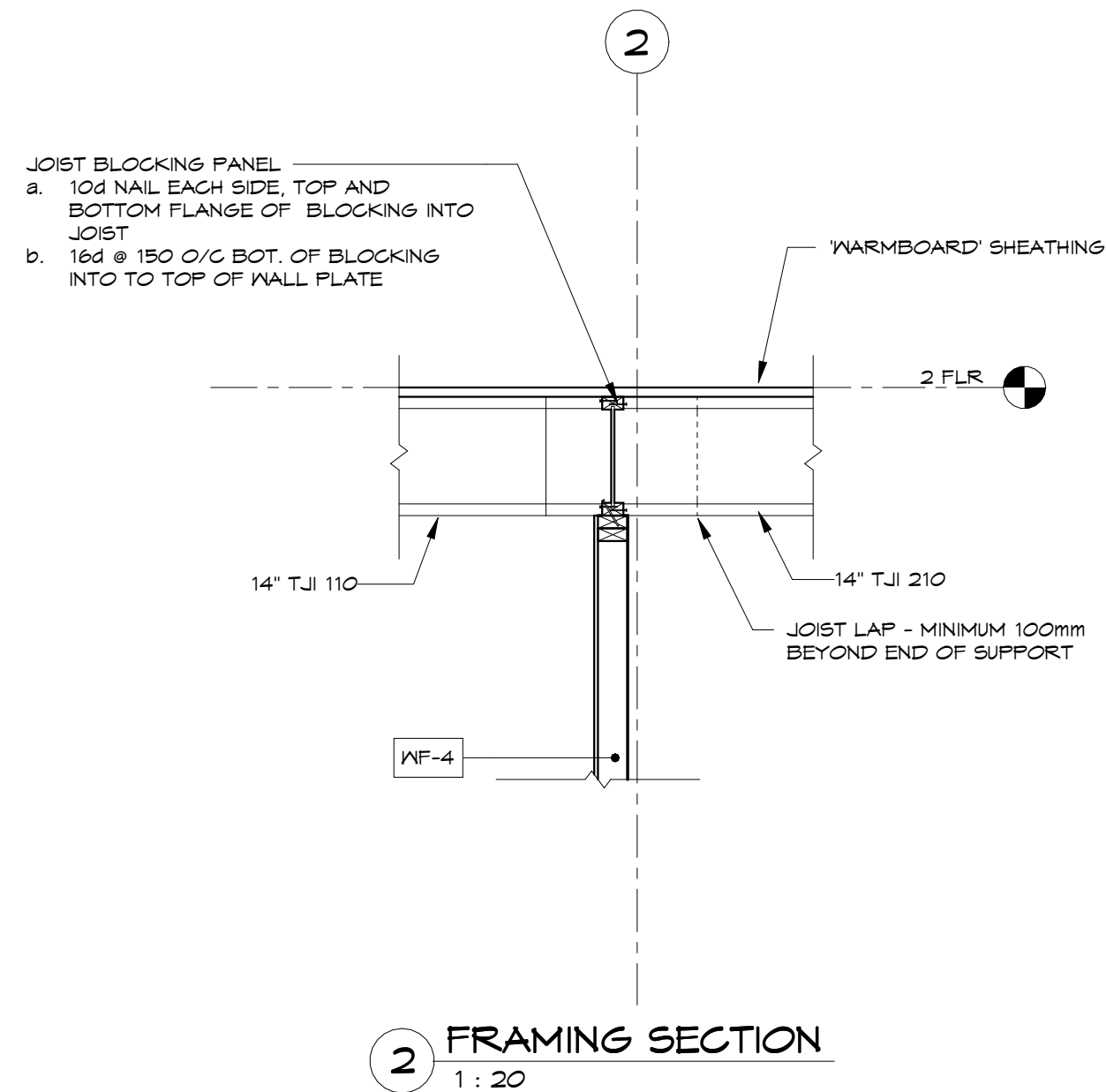


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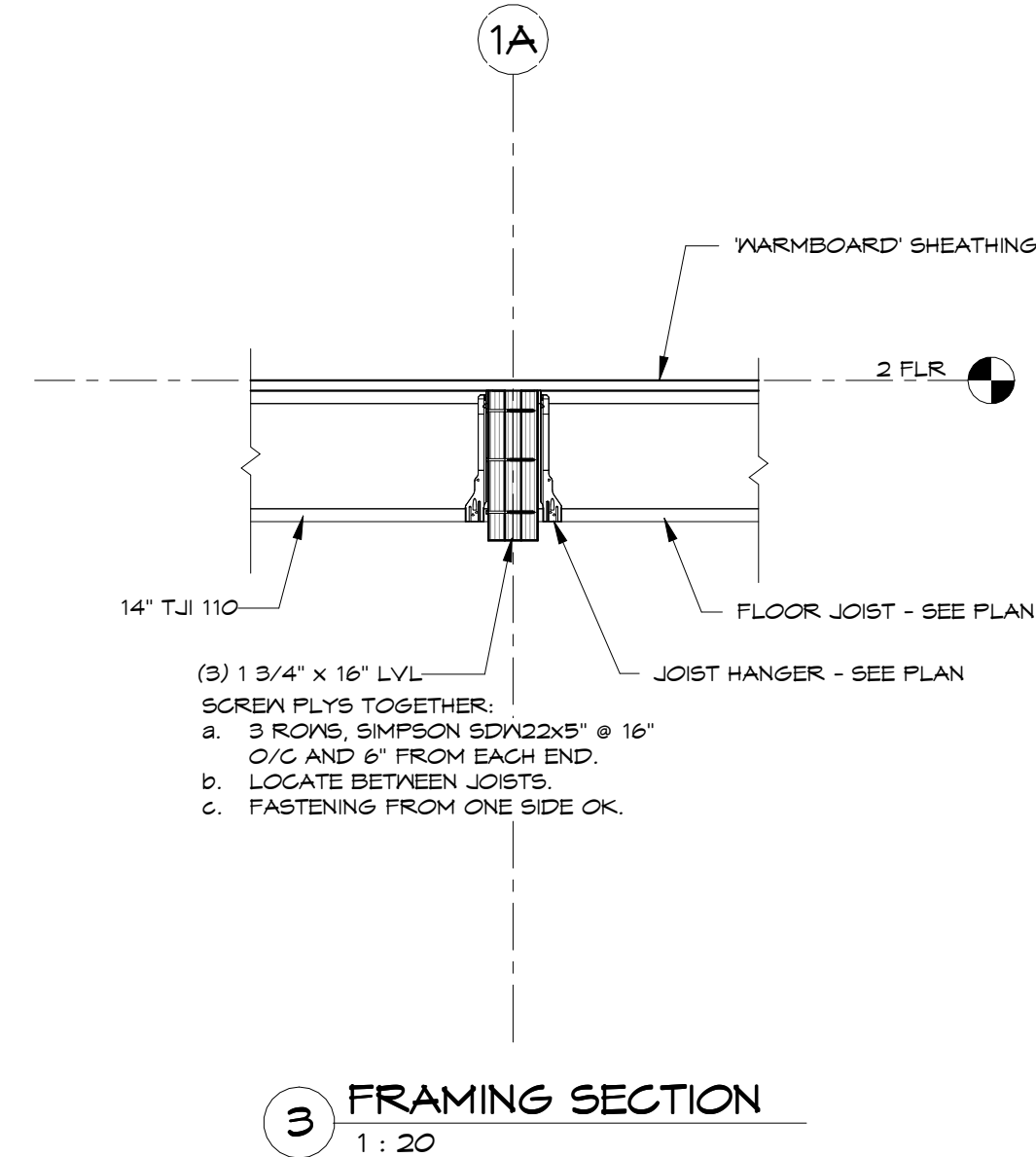
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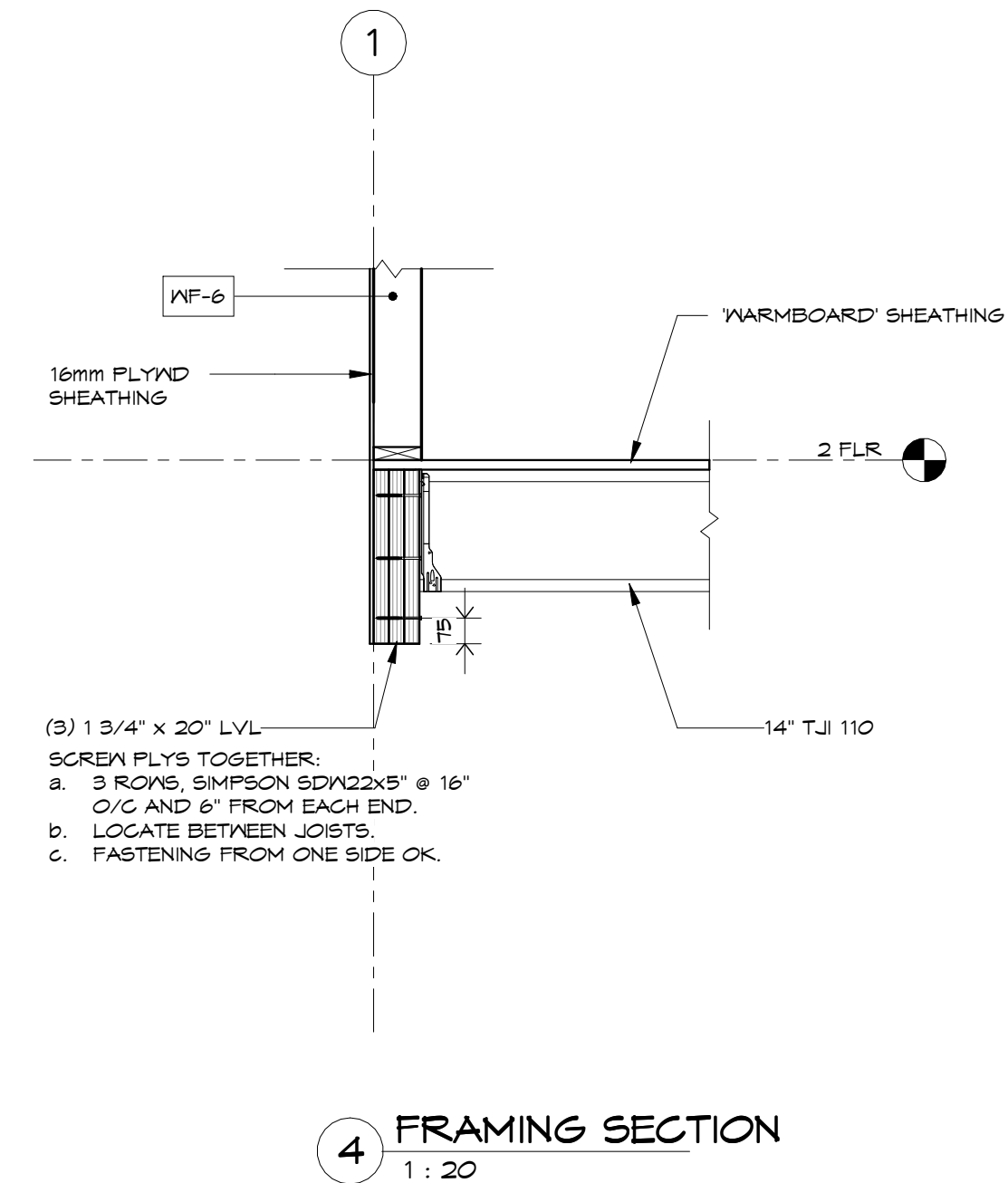
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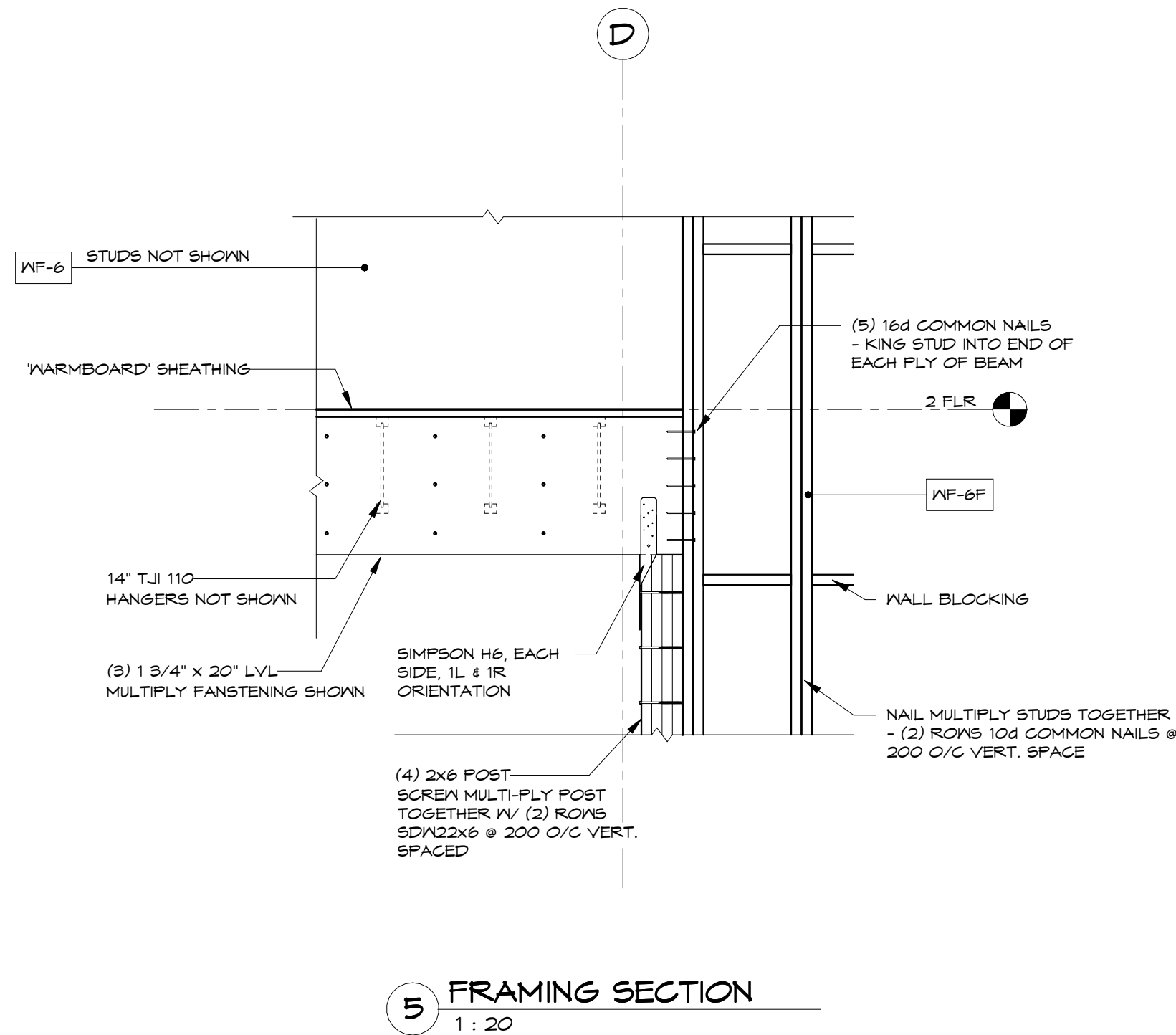
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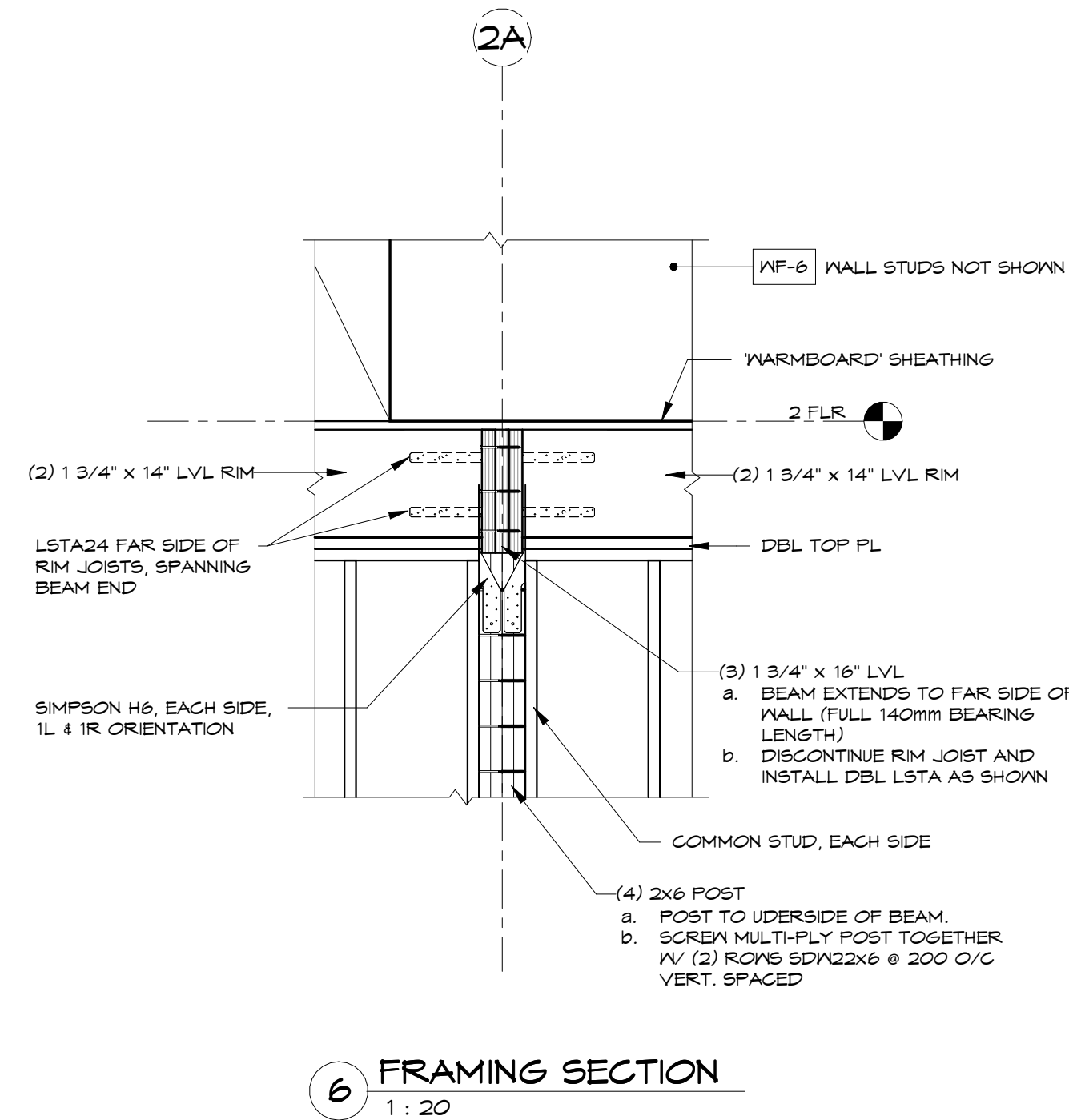
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4 FRAMING SECTION  
1 : 20

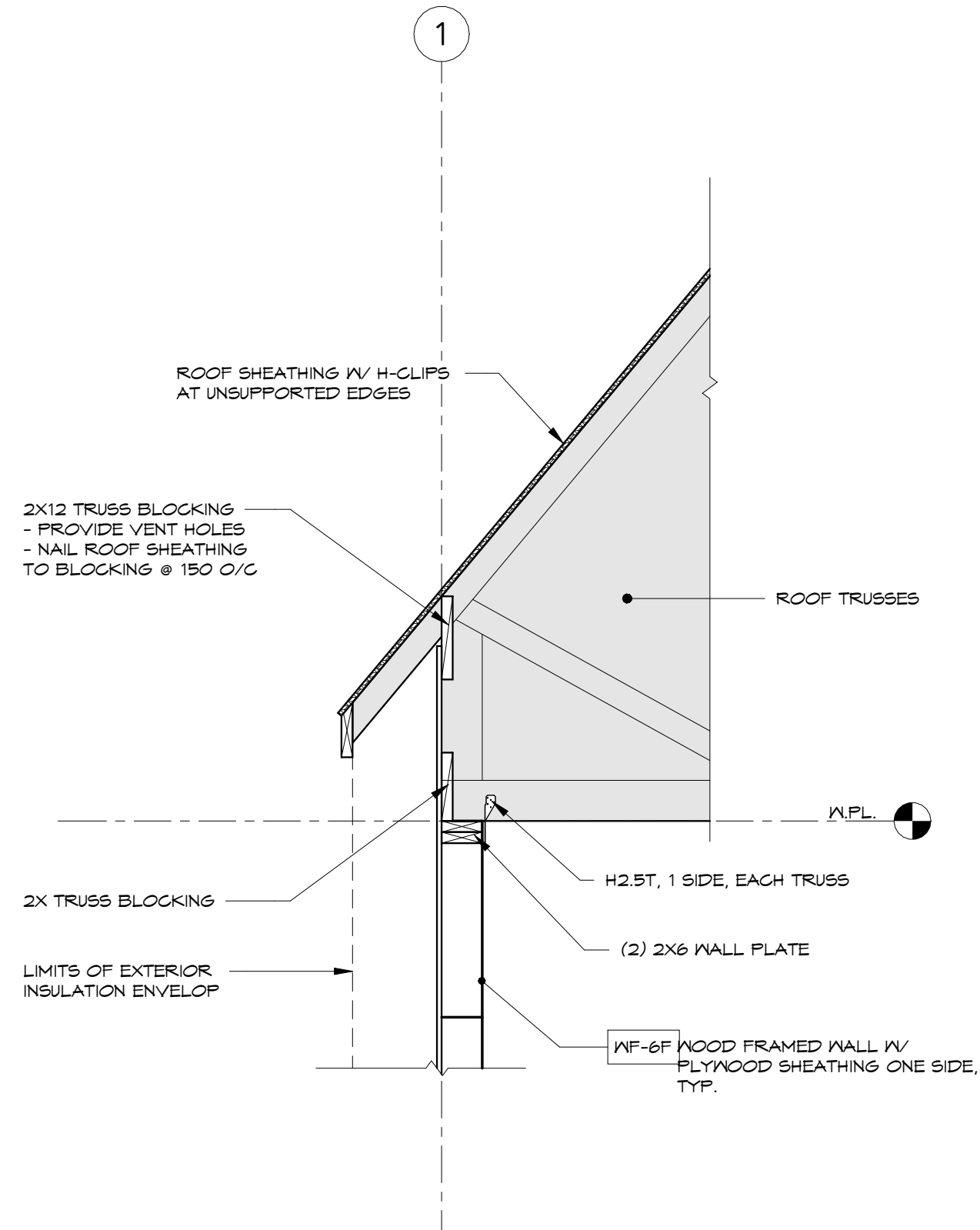


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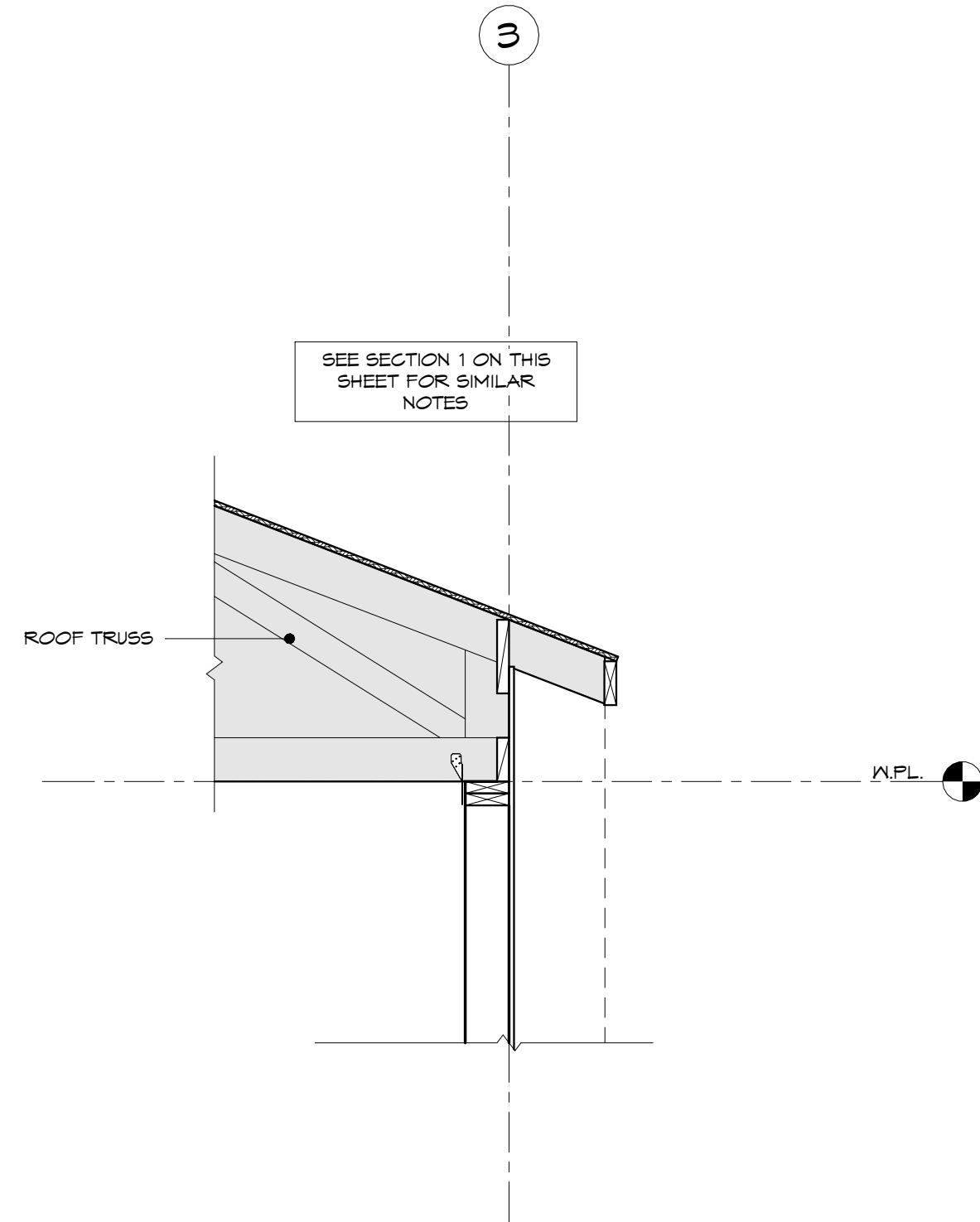


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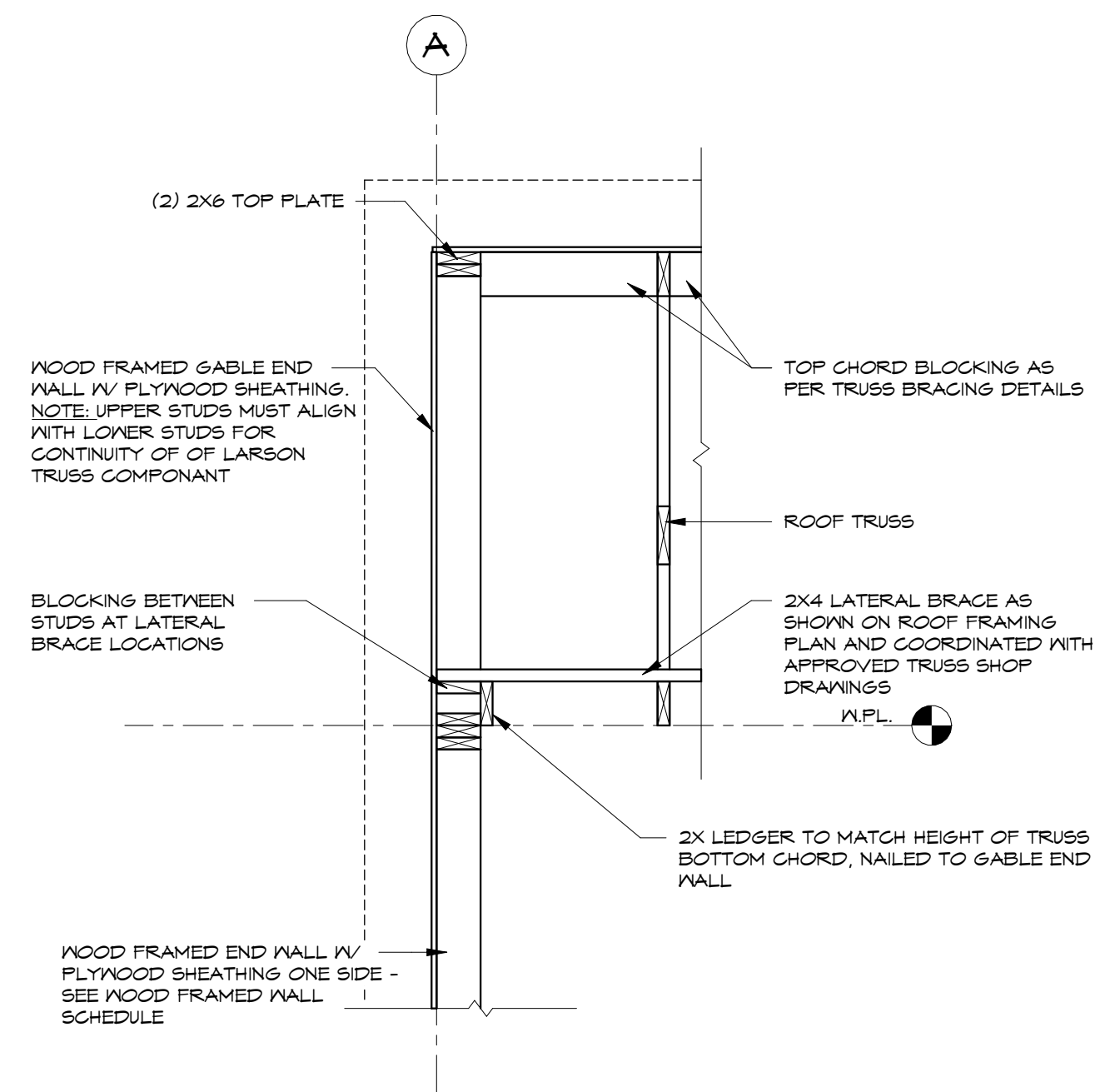
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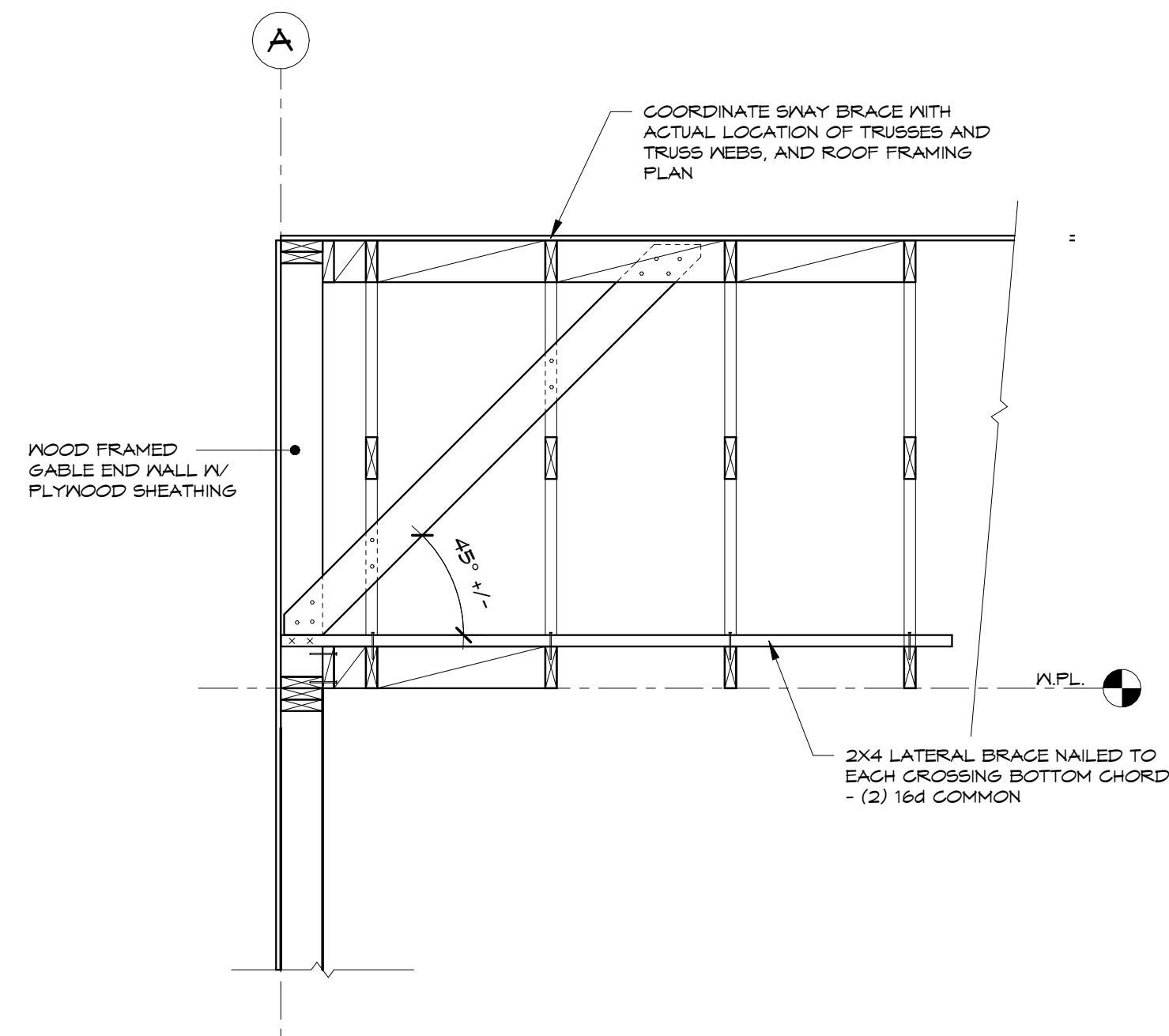
7 ROOF FRAMING SECTION  
1 : 20



3 ROOF FRAMING SECTION  
1 : 20

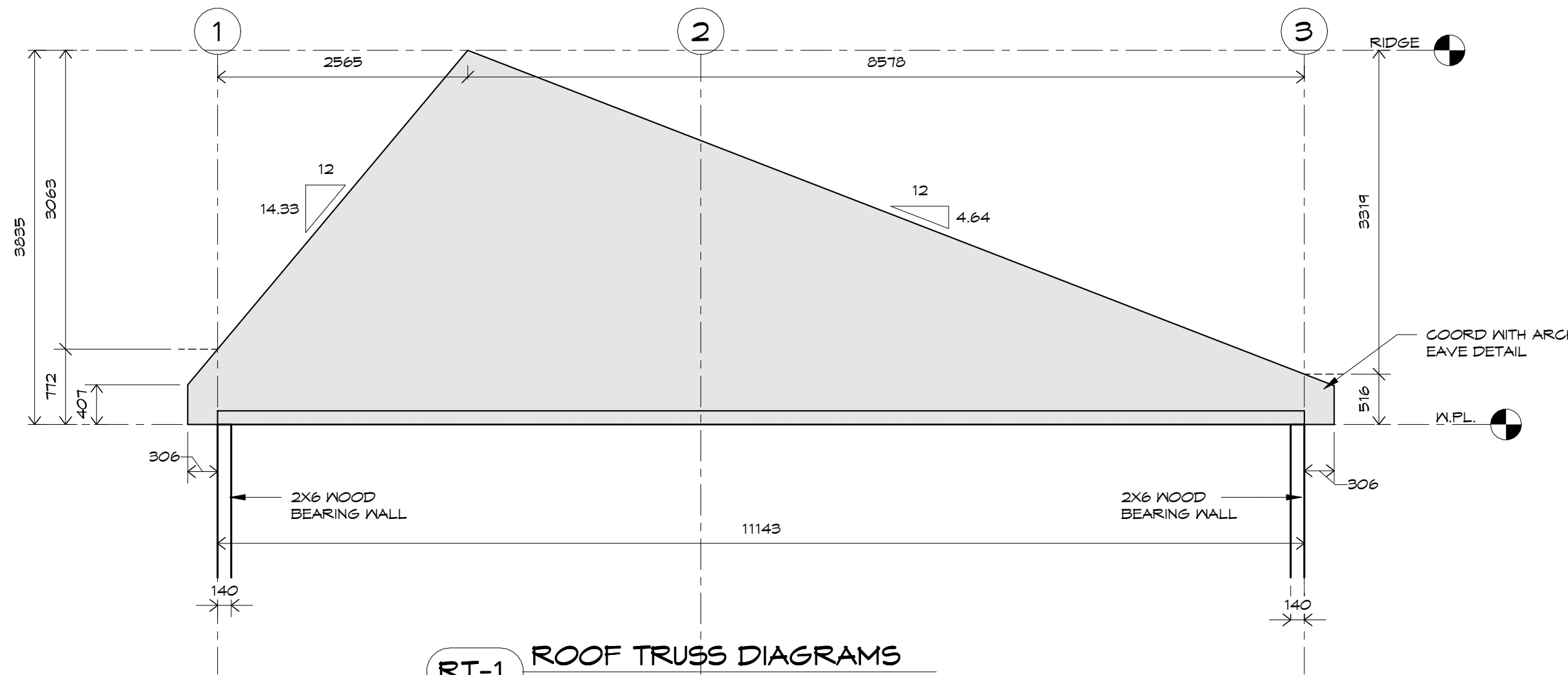


8 ROOF FRAMING SECTION  
1 : 20

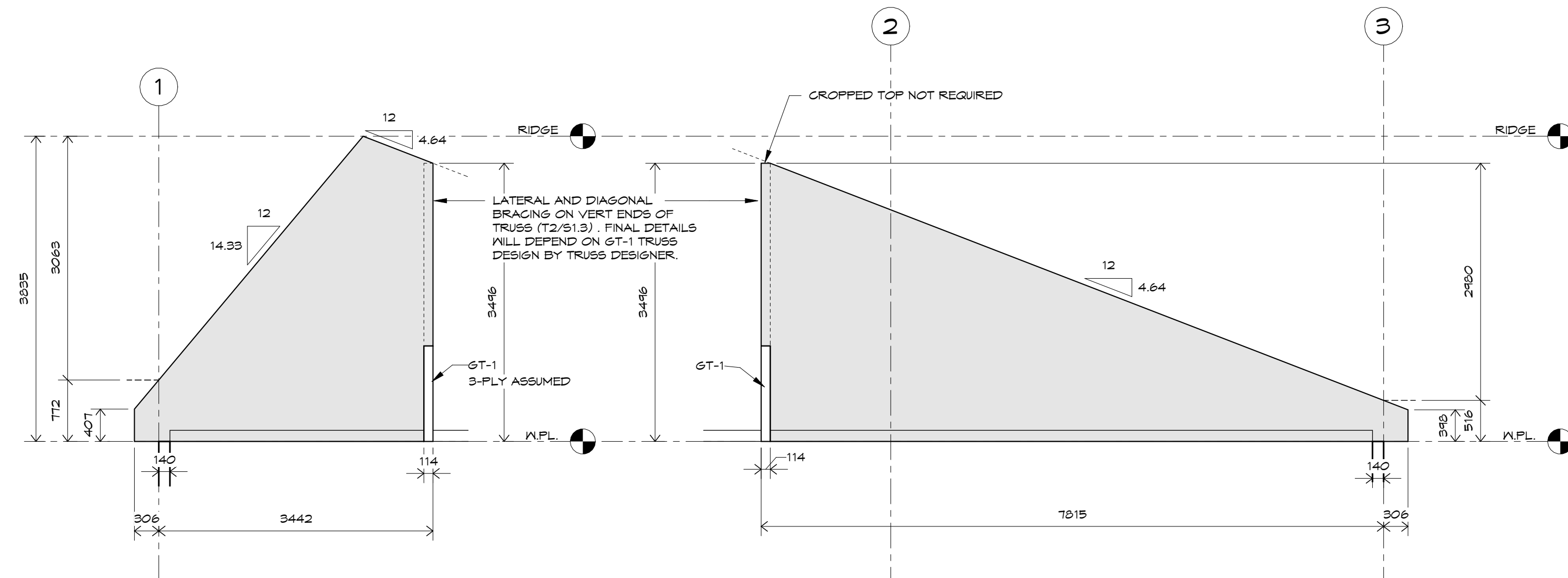


10 ROOF FRAMING SECTION  
1 : 20

BALANCED DESIGN LOADS (UNFACTORED):  
 TG SNOW LOAD = 2.50 KPa  
 TG DEAD LOAD = 0.35 KPa  
 BG DEAD LOAD = 0.60 KPa  
 BG LIVE LOAD = 0.50 KPa  
 a. INCLUDES A MECH 4 ELEC ALLOWANCE ON BOT. CHORD OF 0.20 KPa (4 PSF).  
 b. UNBALANCED LOAD CASES MUST BE CONSIDERED.  
 c. NO REDUCTION FOR 'SLIPPERY' ROOFS IS PERMITTED.  
 d. ROOF TRUSSES MUST ALSO BE DESIGNED SOLAR READY - SEE 55.0 FOR TRUSS NOTES.  
 e. ALL DESIGN PARAMETERS AND LOADS ARE ON 55.0.

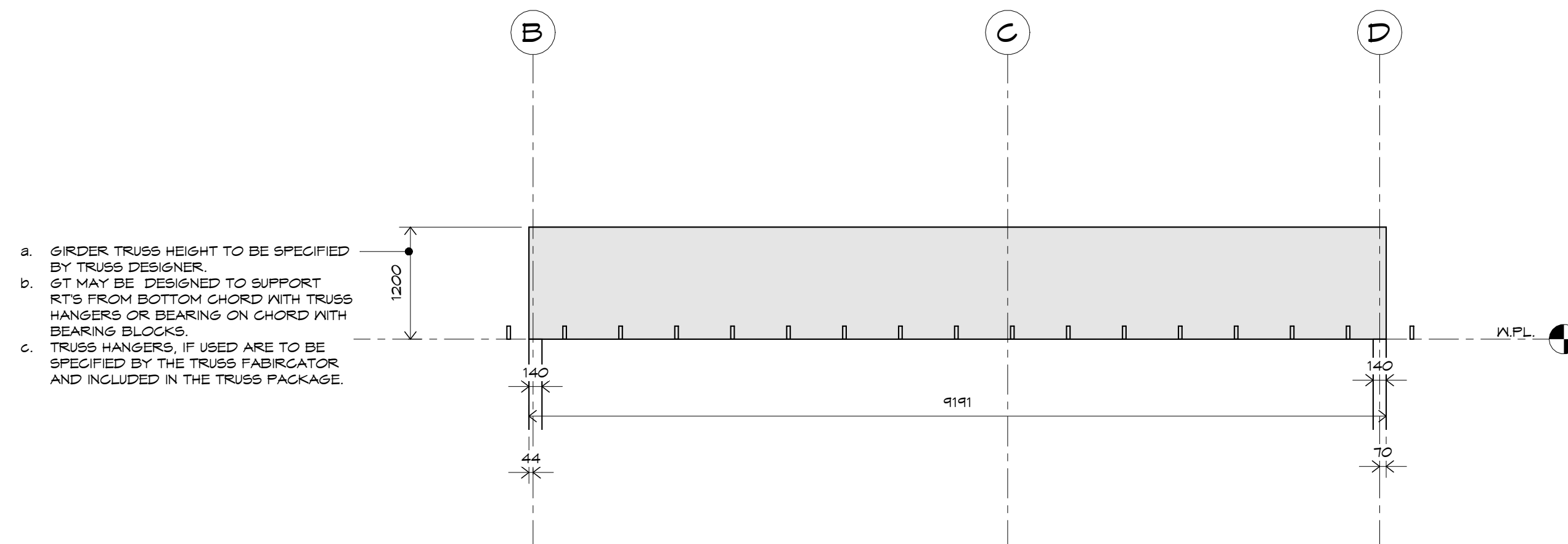


RT-1 ROOF TRUSS DIAGRAMS  
1 : 50



RT-3 ROOF TRUSS DIAGRAMS  
1 : 50

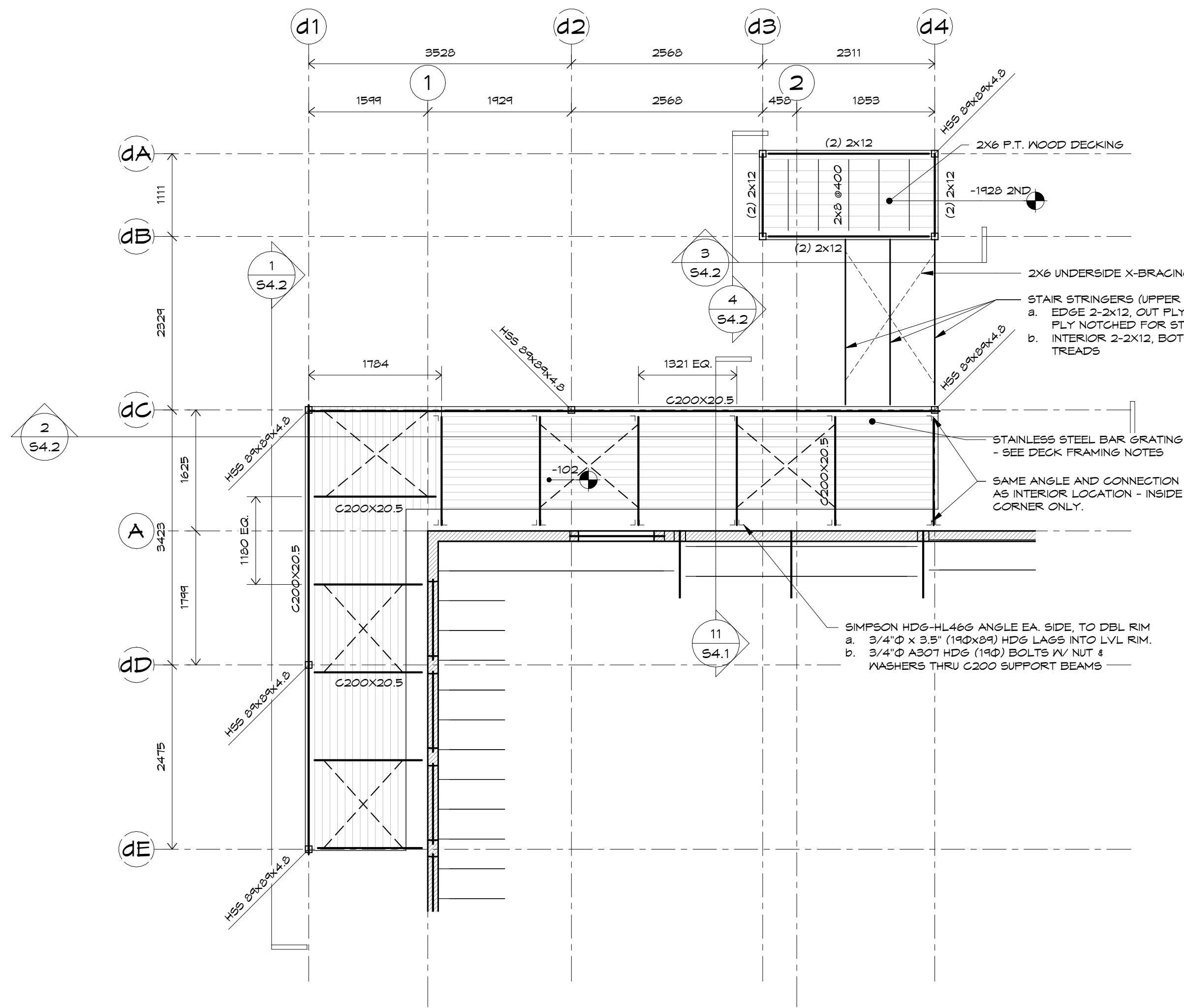
RT-2 ROOF TRUSS DIAGRAMS  
1 : 50



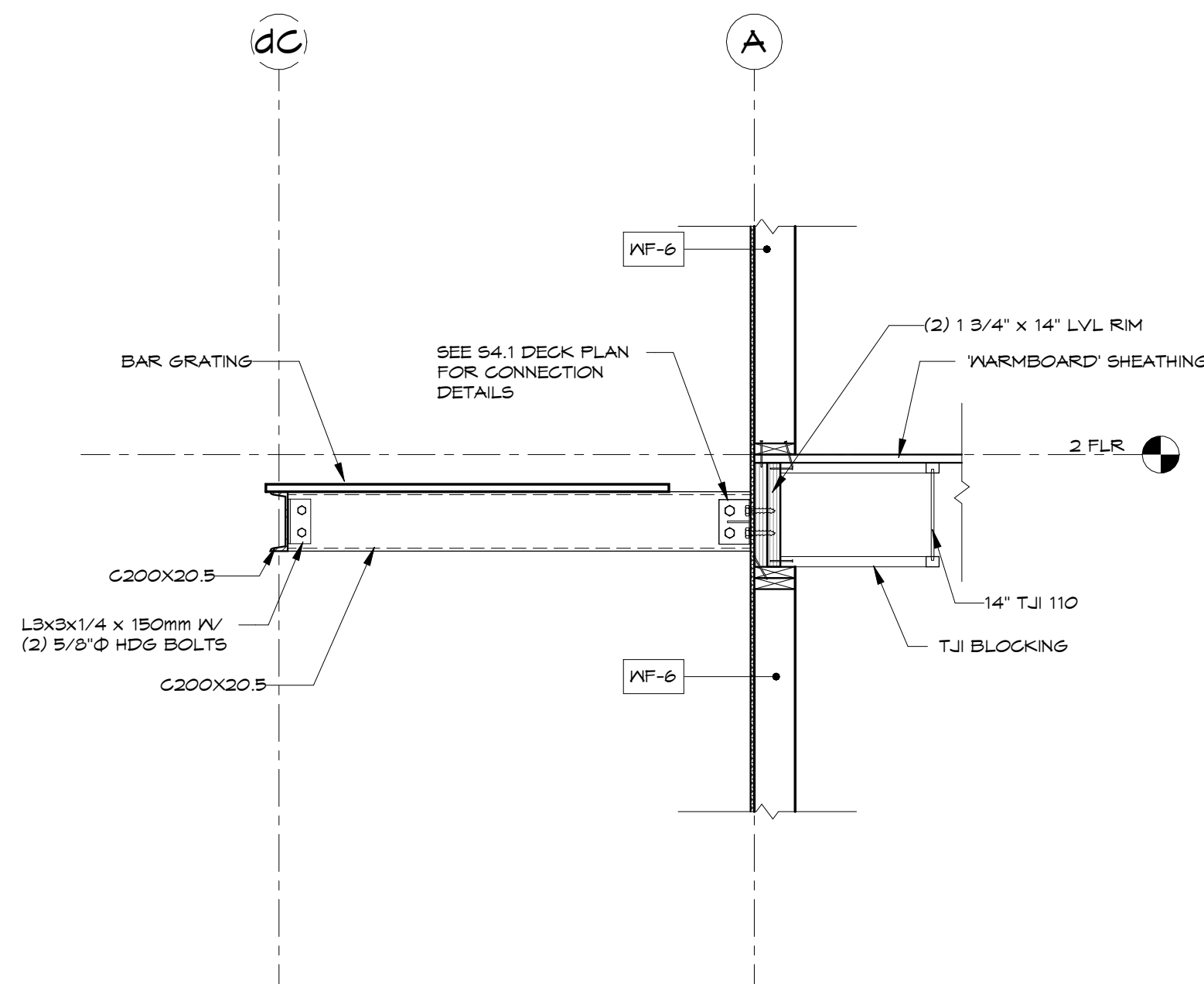
a. GIRDER TRUSS HEIGHT TO BE SPECIFIED BY TRUSS DESIGNER.  
 b. GT MAY BE DESIGNED TO SUPPORT RTS FROM BOTTOM CHORD WITH TRUSS HANGERS OR BEARING ON CHORD WITH BEARING BLOCKS.  
 c. TRUSS HANGERS, IF USED ARE TO BE SPECIFIED BY THE TRUSS FABRICATOR AND INCLUDED IN THE TRUSS PACKAGE.

GT-1 ROOF TRUSS DIAGRAMS  
1 : 50

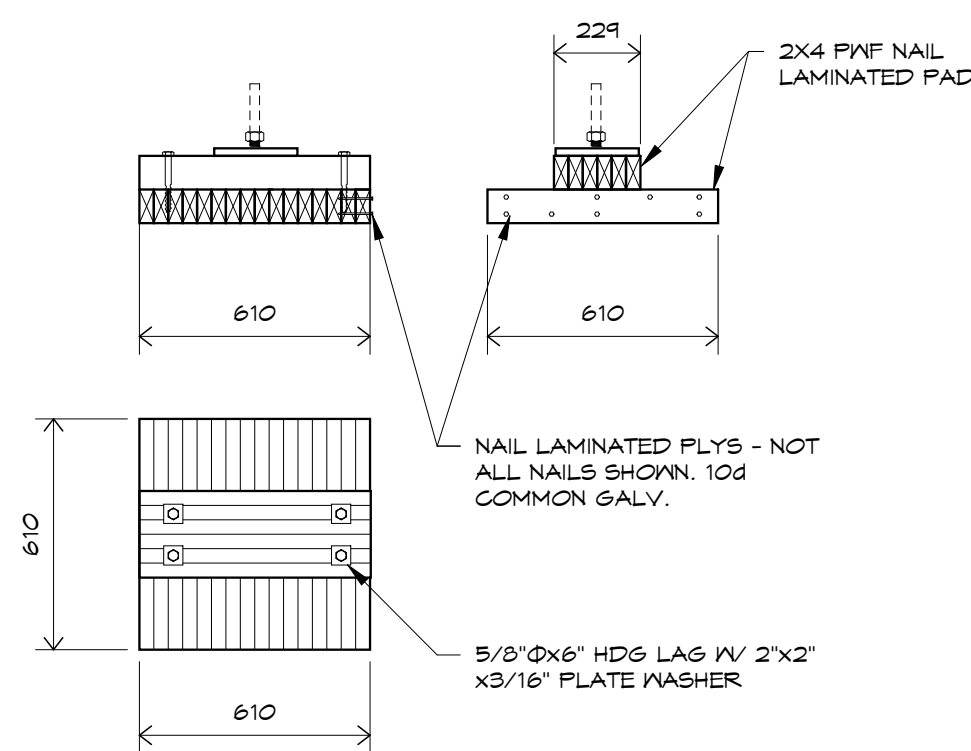
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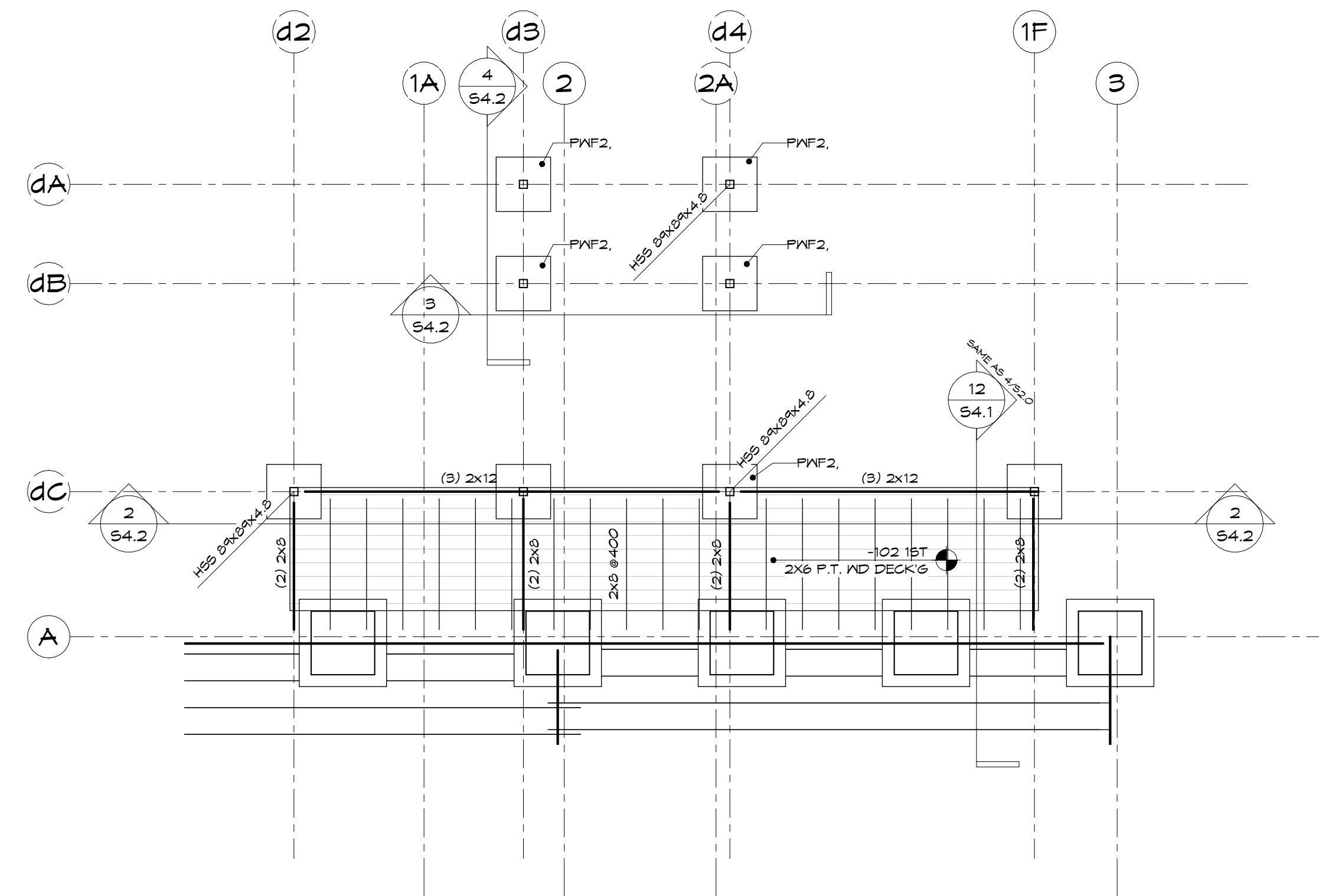
1 2ND FLOOR DECK PLAN  
1: 50



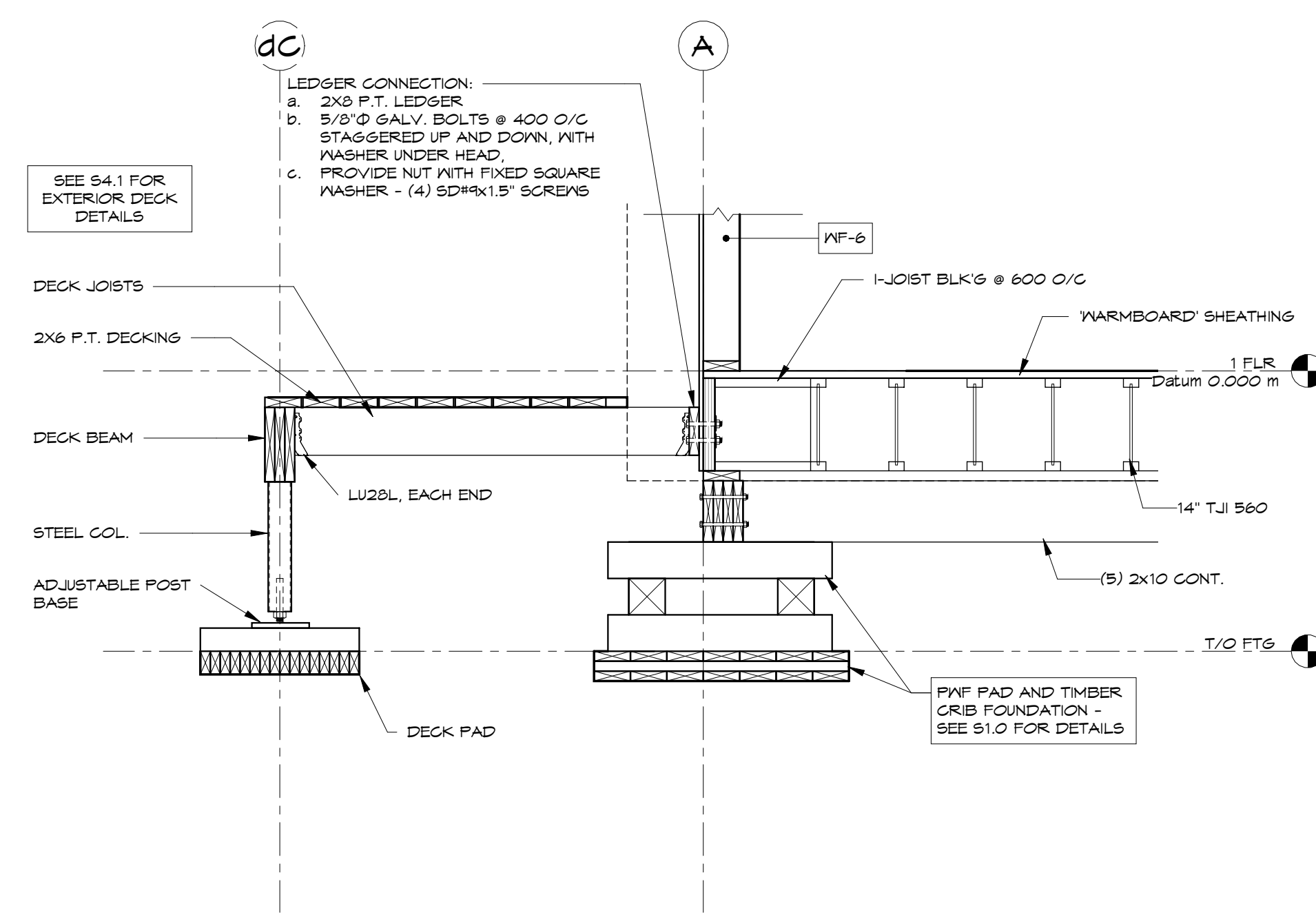
11 DECK FRAMING SECTION  
1: 20



PW2 DECK PAD  
1: 20



2 1ST FLOOR DECK AND FTG PLAN  
1: 50



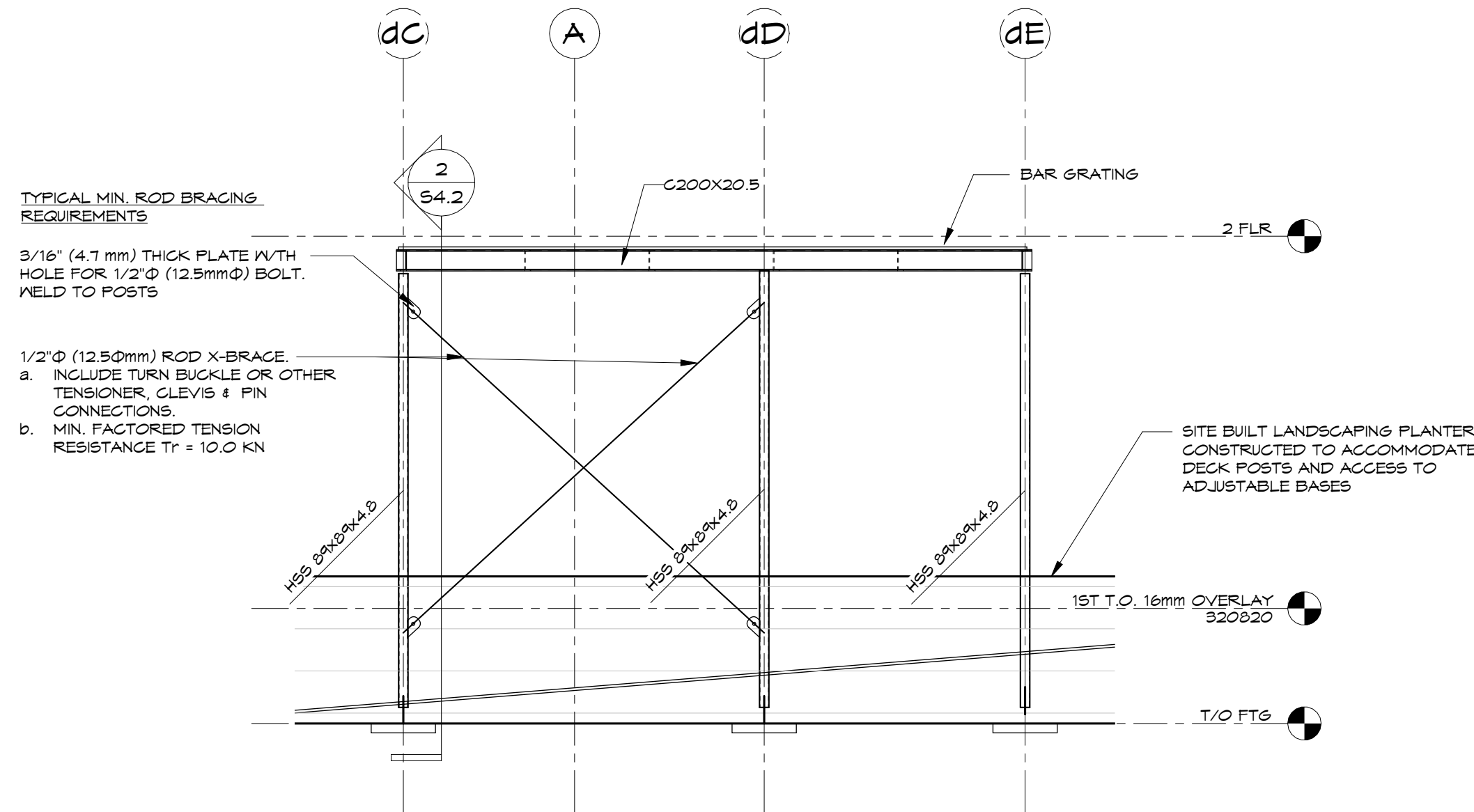
12 FNDN SECTION  
1: 20

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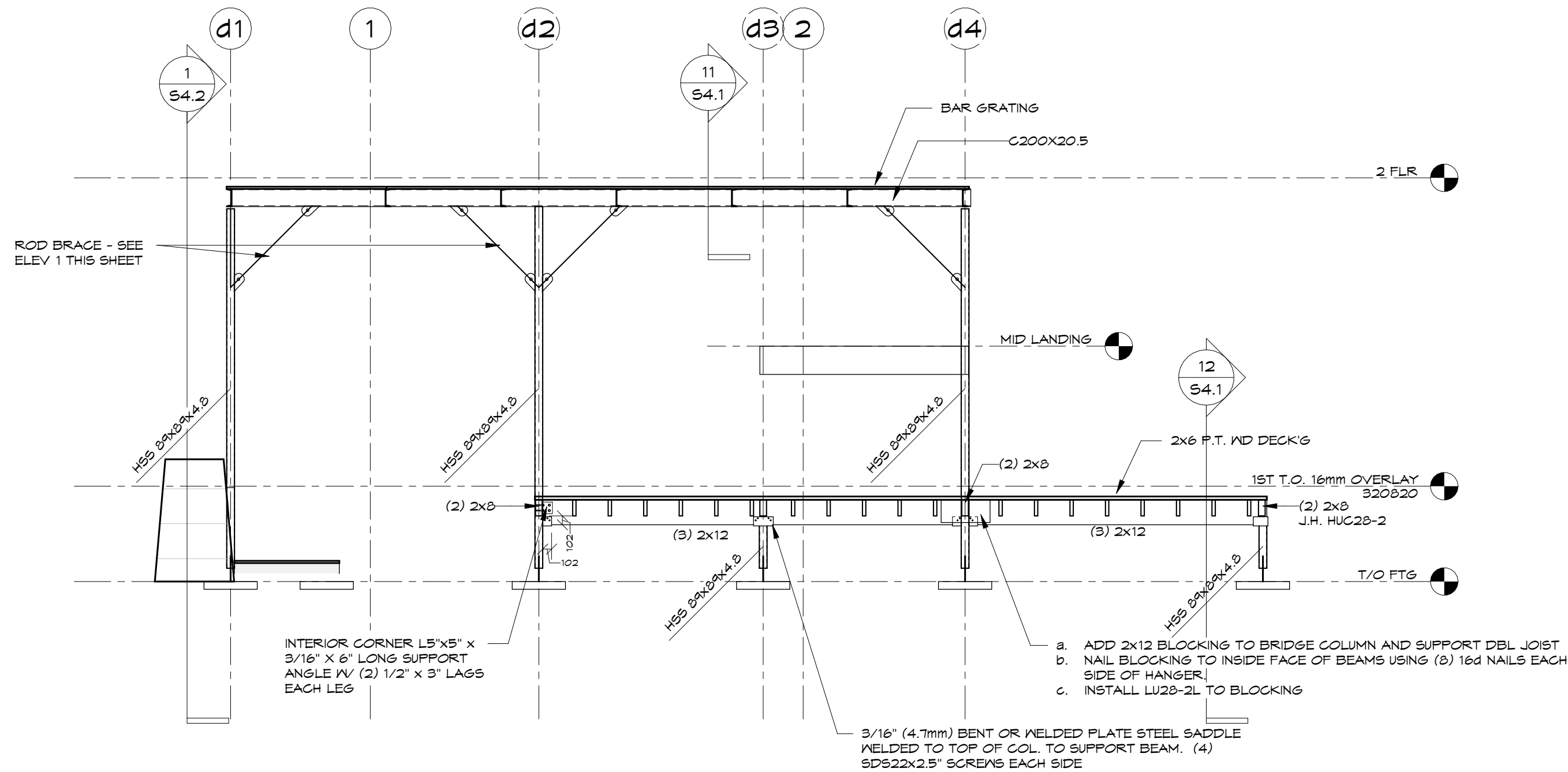
#### EXTERIOR DECK FRAMING NOTES

- NON-COMBUSTIBLE CONSTRUCTION: THE 2<sup>ND</sup> FLOOR DECK IS REQUIRED TO BE NON-COMBUSTIBLE CONSTRUCTION ON THE SOUTH SIDE OF THE BUILDING. THIS SAME CONSTRUCTION WILL CONTINUE AROUND THE CORNER ONTO THE WEST END.
- DESCRIPTION: DECK POSTS ARE HSS STEEL COLUMNS, AND SUPPORT STEEL CHANNEL, EDGE BEAMS, STEEL CHANNEL FURLINS SPAN BETWEEN THE EDGE BEAMS AND THE BUILDINGS RM JOISTS. RM JOISTS IN THE AREA OF THE EXTERIOR DECK ARE ALL 2-PLY 1 3/8\" LVL MATERIAL. STEEL BAR GRATING SPANS BETWEEN FURLINS.
- BAR GRATING: EXTERIOR UPPER FLOOR DECKING IS WELDED STAINLESS STEEL GRATING, 1/4-30-102 (28.4 X4.8). SUBMIT SHOP DRAWINGS FOR LAYOUT AND PRODUCT SPECIFICATION AS PART OF STRUCTURAL STEEL SHOP DRAWING PACKAGE. (SPECIFIED FOR 4.8KPA LIVE LOAD). BAR GRATING TO RECEIVE A BLACK FINISH.
- NON-COMBUSTIBLE CONSTRUCTION AT THE LOWER LEVEL ON THE WEST SIDE: THE FIRST FLOOR RAMP, STAIRS AND LANDINGS THAT LEAD TO THE MAIN ENTRANCE ON THE WEST SIDE OF THE BUILDING ARE ALSO REQUIRED TO BE NON-COMBUSTIBLE CONSTRUCTION AT ALL AREAS BEYOND THE FACE OF THE BUILDING ENVELOP. DETAILS ARE SHOWN FOR LANDING, RAMP AND STAIRS.
- STRUCTURAL STEEL SHOP DRAWINGS ARE REQUIRED FOR THE EXTERIOR STEEL DECK LANDINGS, RAMPS, STAIRS COMPONENTS. TYPICAL DETAILS ARE PROVIDED AND SHOULD BE CONSIDERED SIMILAR FOR SIMILAR CONDITIONS. SHOP DRAWINGS SHALL INCLUDE: POSTS AND ADJUSTABLE BASES, STEEL BAR GRATING AND CONNECTIONS, C-BEAMS, C-JOISTS, ROD BRACING AND ALL CONNECTIONS.
- THE CONTRACTOR SHALL COORDINATE WITH THE DETAILER SUCH THAT COMPONENTS ARE FABRICATED IN ASSEMBLIES AND CONNECTIONS (BOLTED OR WELDED) ARE DETAILED TO SUIT THE CONTRACTORS MEANS AND METHODS OF CONSTRUCTION.
- REFER TO STEEL NOTES ON S5.0.
- ALL EXPOSED STRUCTURAL STEEL SHALL BE PREFINISHED BLACK. CONTRACTOR SHALL FIELD TOUCH UP ALL DAMAGED FINISHES.

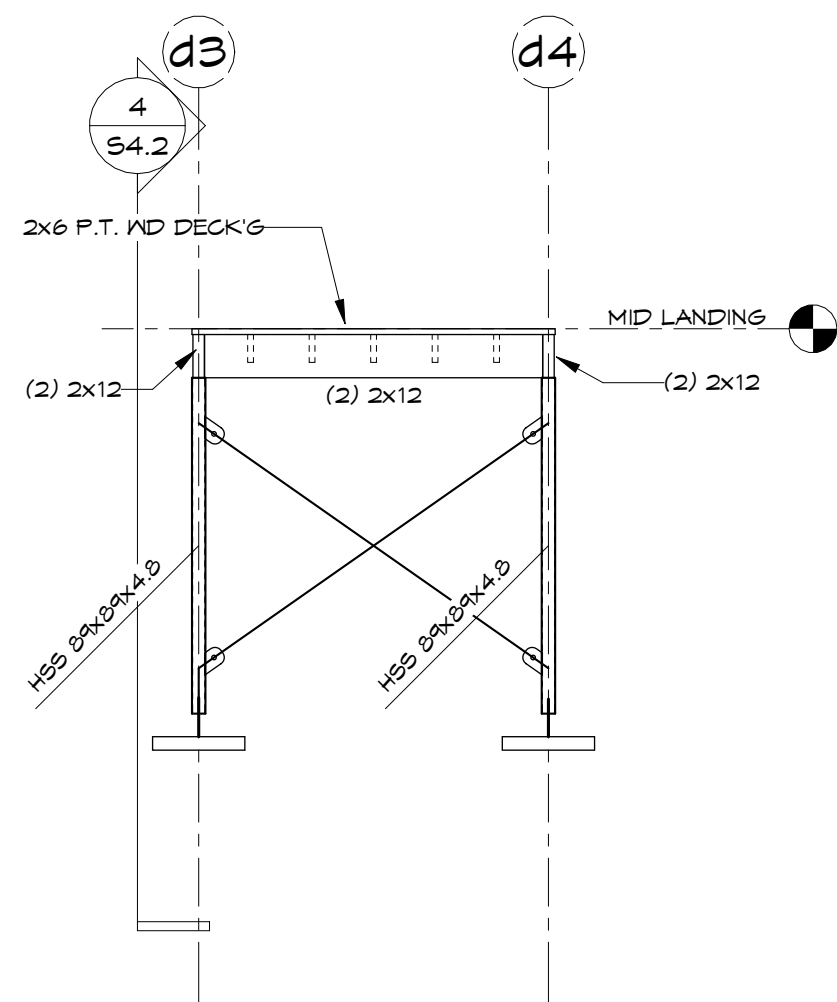
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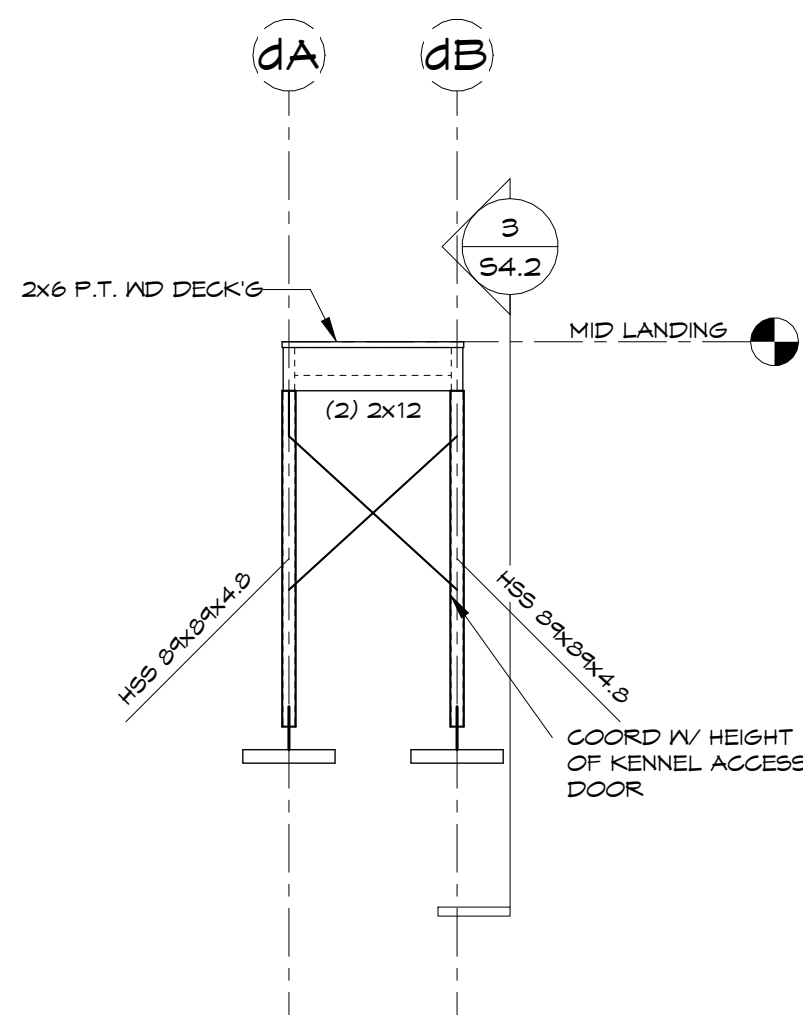
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1 : 50



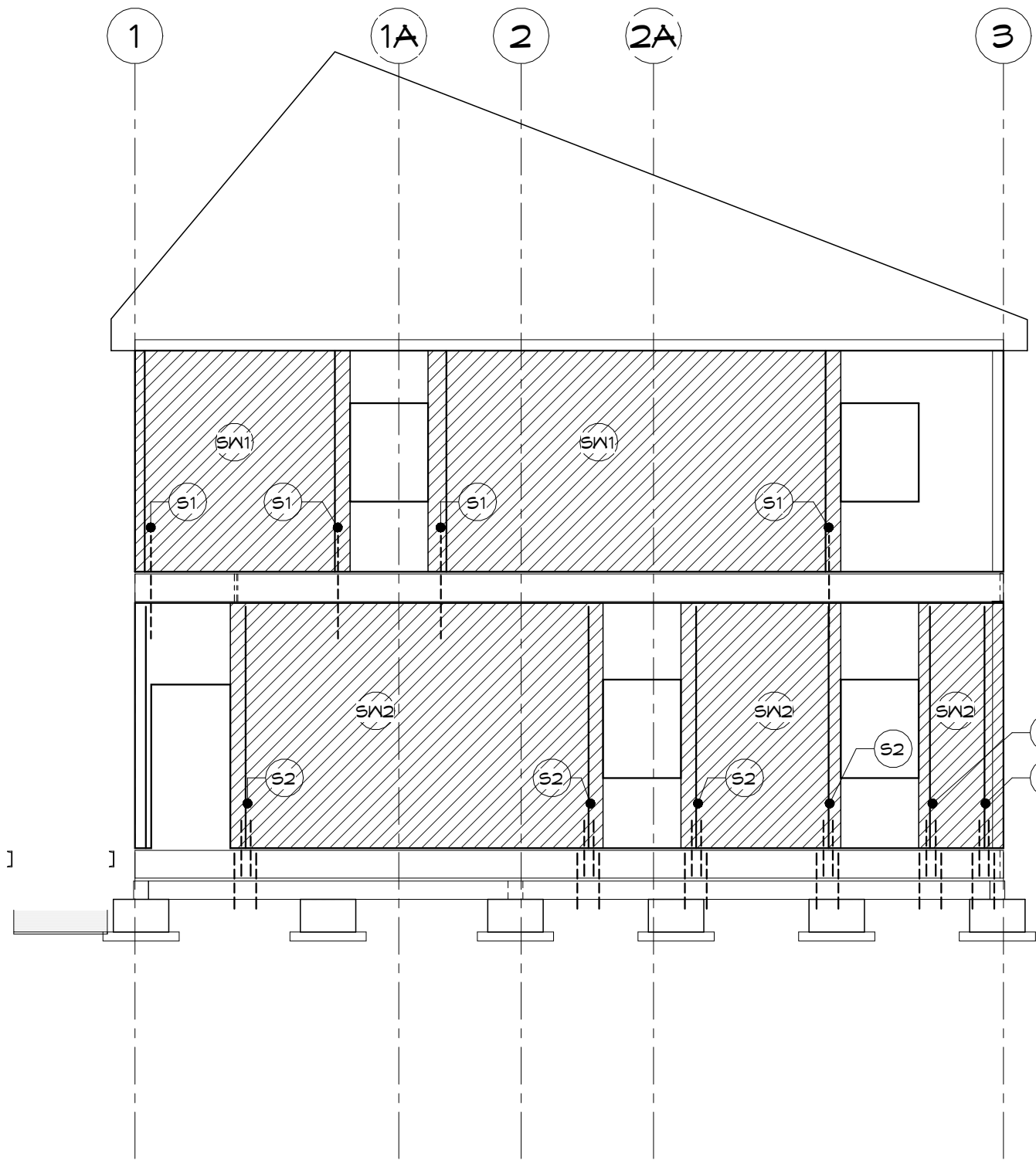
2 DECK STEEL FRAMING ELEV  
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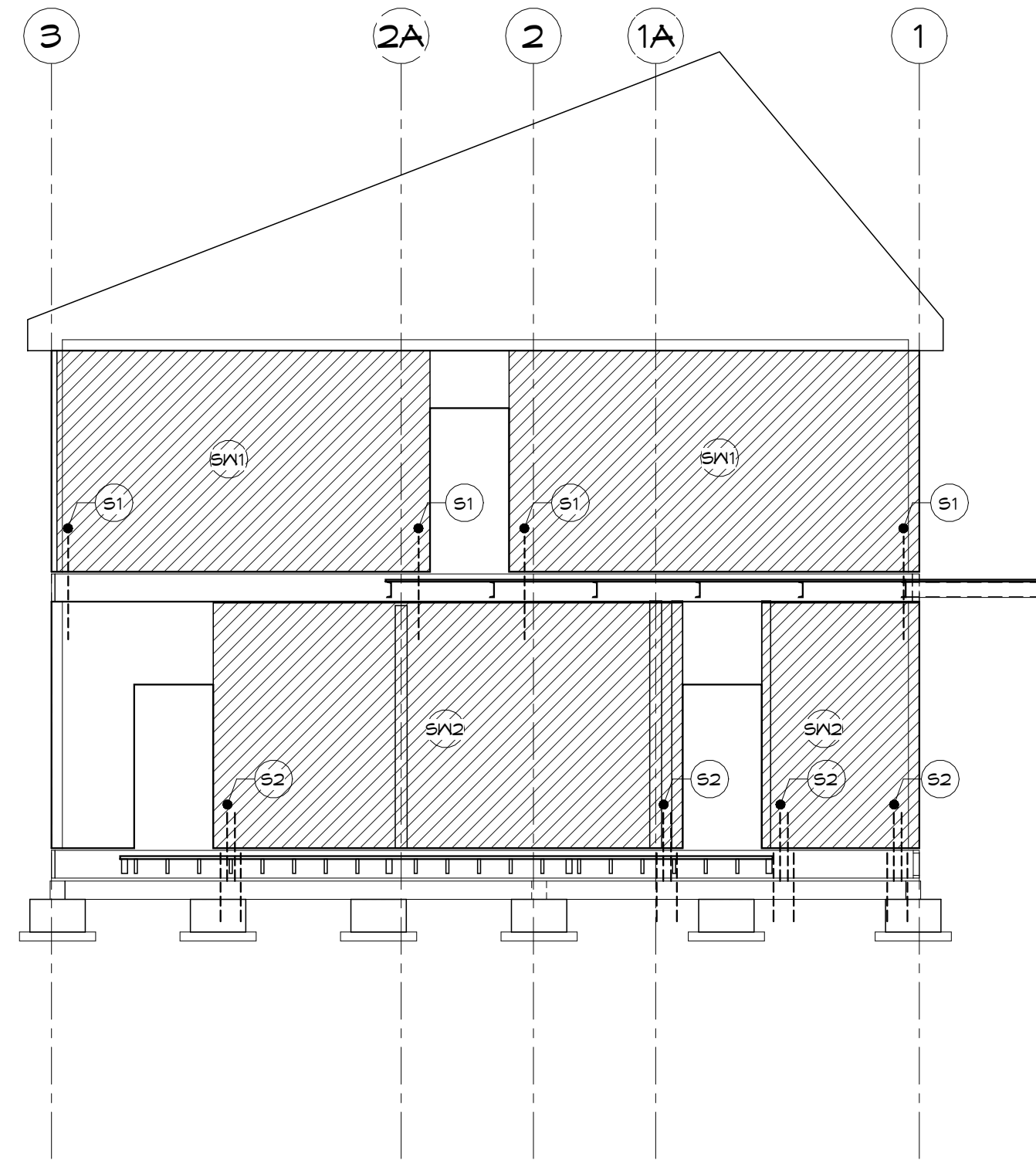
3 DECK STEEL FRAMING ELEV  
1 : 50



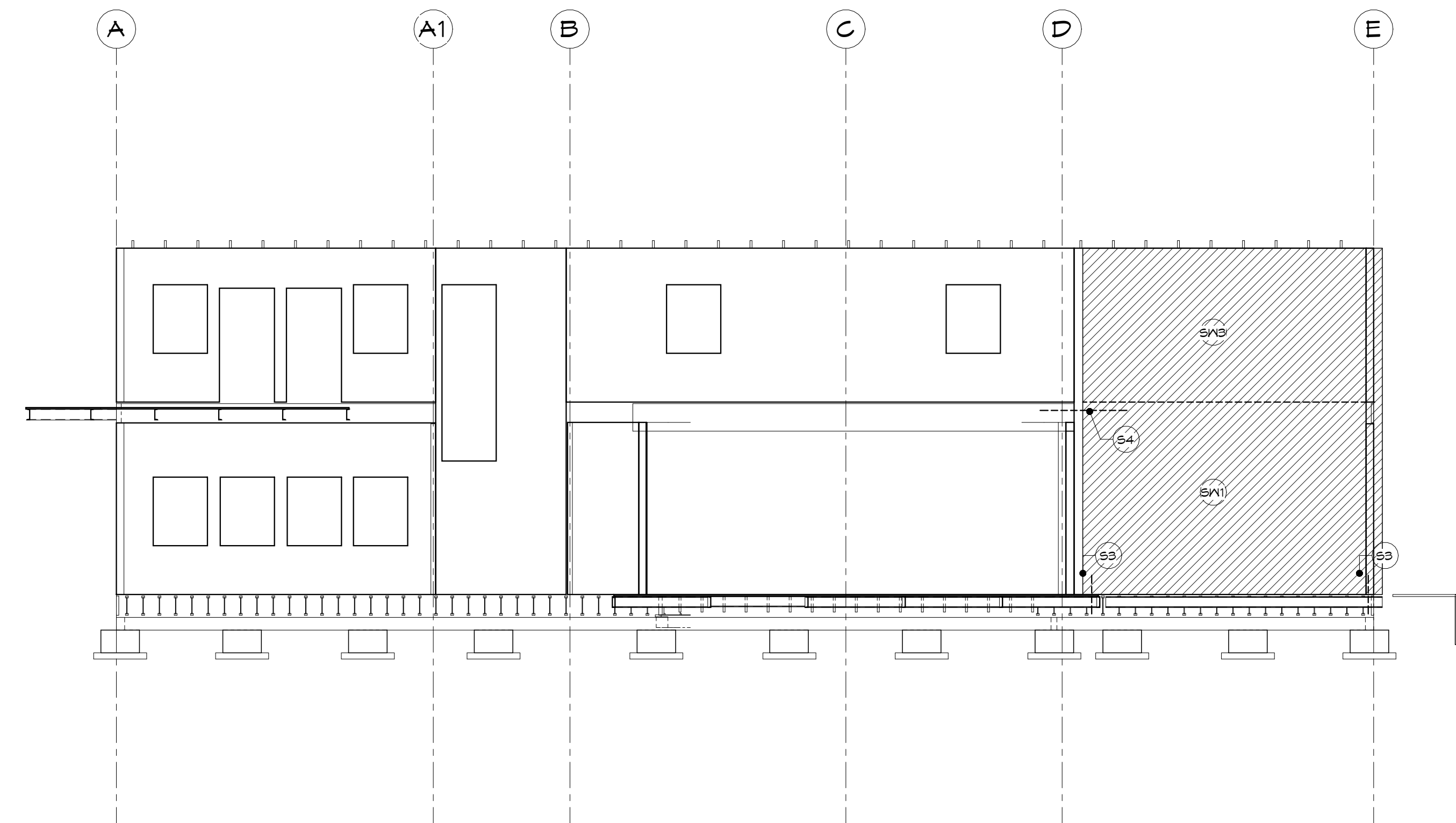
4 DECK STEEL FRAMING ELEV  
1 : 50



1 SHEAR WALL ELEVATION - SOUTH END WALL  
1 : 75



2 SHEAR WALL ELEVATION - NORTH END WALL  
1 : 75



3 SHEAR WALL ELEVATION - WEST WALL  
1 : 75

S4 NO ELEVATION IS SHOWN FOR THE EAST WALL.  
THE EAST WALL IS AN UNBLOCKED SHEAR WALL.

4 SHEAR WALL - EAST WALL

#### SHEAR WALL NOTES

- S1 2x6 WOOD STUDS IV 16 PLYND SHEATHING.  
a. LAYUP HORIZONTAL.  
b. BLOCK ALL PLYWOOD EDGES.  
c. NAIL PANEL EDGES TO FRAMING AND BLOCKING @ 125 (5') O/C.  
d. NAIL INTERIOR OF PANEL TO FRAMING @ 300 O/C.  
e. NAILS: 8d COMMON (64 x 9.3 Ø mm).
- S2 SAME AS S1, EXCEPT:  
a. NAIL PANEL EDGES TO FRAMING AND BLOCKING @ 75 (3') O/C.
- S3 SAME AS S1, EXCEPT:  
a. NAIL PANEL EDGES TO FRAMING AND BLOCKING @ 150 (6') O/C.
- S4 2x6 WOOD STUDS IV 16 PLYND SHEATHING.  
a. LAYUP HORIZONTAL.  
b. NO BLOCKING REQUIRED AT HORIZONTAL EDGES.  
c. NAIL PANEL EDGES TO FRAMING AND BLOCKING @ 150 (6') O/C.  
d. NAIL INTERIOR OF PANEL TO FRAMING @ 300 O/C.  
e. NAILS: 8d COMMON (64 x 9.3 Ø mm).

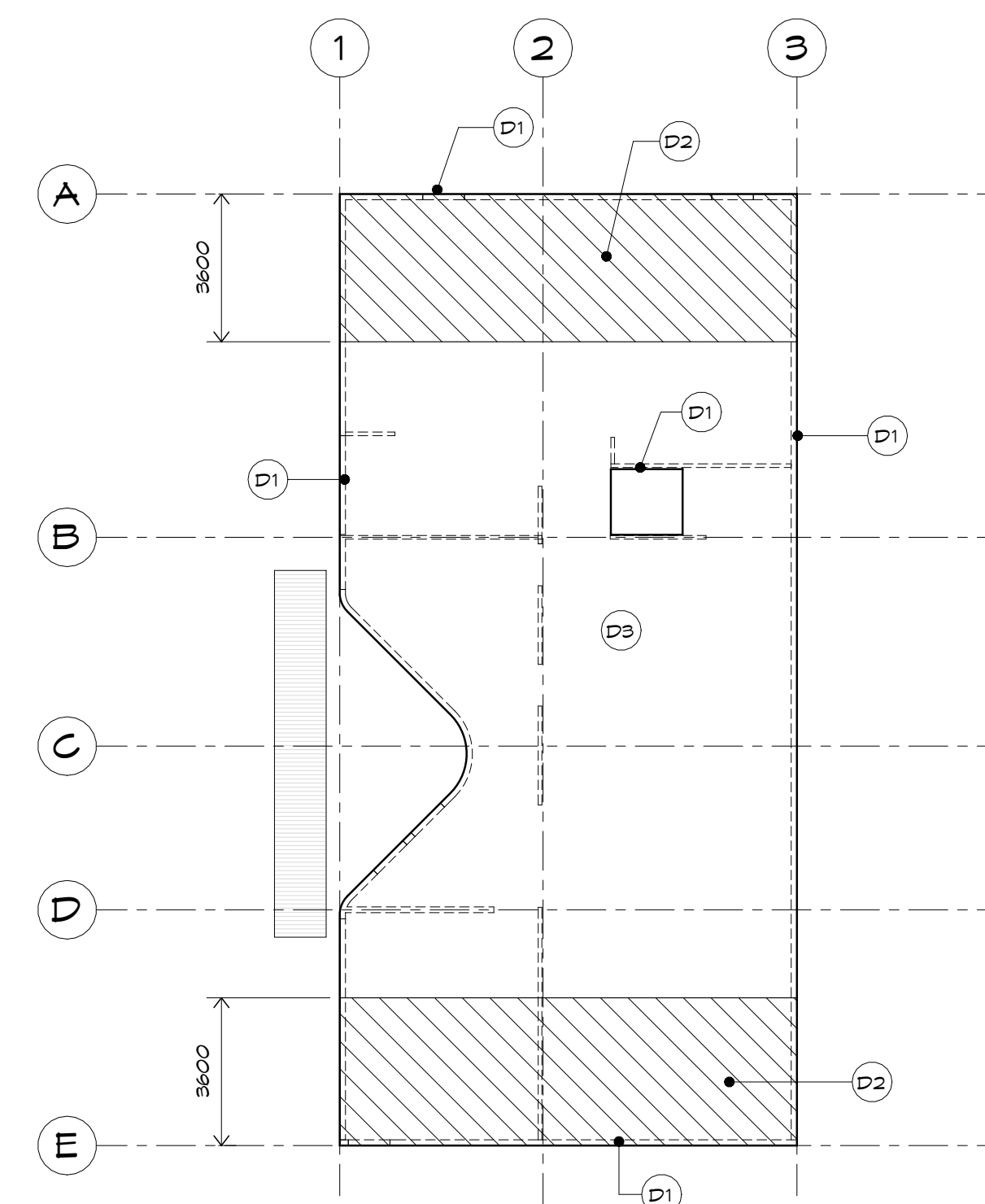
ALL OTHER PLYWOOD WALL SHEATHING, NOT SPECIFICALLY NOTED AS A SHEAR WALL 'S', SHALL:  
a. HAVE PANEL EDGES NAILED TO THE FRAMING MEMBERS @ 150 (6') O/C.  
b. PANEL INTERIOR LOCATIONS NAILED TO THE FRAMING MEMBERS @ 300 (12') O/C.  
c. NO BLOCKING IS REQUIRED AT HORIZONTAL EDGES.

NOT FOR CONSTRUCTION

#### HOLD DOWN STRAP NOTES

- S1 a. HOLDDOWN STRAP: MSTC22, (40)-10d NAILS, 51#B\*, Kd=1.15  
b. STUD, (2) 2x6 ABOVE AND BELOW.  
c. STRAP SPECIFIED TO CROSS 450mm (18") GAP AT FLOOR FRAMING. NO NAILING REQUIRED TO RIM BOARD.
- S2 a. S2 CONSISTS OF 2 PAIRS OF HOLDOWNS. ONE PAIR CONNECTS STUDS ABOVE TO THE RIMBOARD. THE SECOND PAIR CONNECTION THE RIM BOARD TO THE FOUNDATION BEAM BELOW.  
b. HOLDDOWN STRAP: MSTC22, 32-10d NAILS, 4200#, Kd=1.15  
c. STUD, (4) 2x6 ABOVE.  
d. STRAP SPECIFIED TO WRAP TO THE UNDERSIDE OF THE FOUNDATION BEAM.
- S3 a. HOLDDOWN STRAP: MSTC22, 32-10d NAILS, 4200#, Kd=1.15  
b. STUD, (2) 2x6 ABOVE.  
c. STRAP SPECIFIED TO WRAP TO THE UNDERSIDE OF THE FOUNDATION BEAM.
- S4 DRAGSTRUT - TBD

WOOD FRAMED WALL SCHEDULE		
MARK	DETAILS	COMMENTS
WF-4	2x4 @ 400 O/C SPACING IV 12.5 PLYWOOD ON ONE SIDE	BEARING WALL ON GRID 2
WF-6	2x6 @ 400 O/C SPACING IV 16 PLYWOOD ON OUTSIDE FACE.	TYPICAL EXTERIOR WALL. SEE S4.2 FOR ADDITIONAL SHEAR WALL REQUIREMENTS.
WF-6F	(2) 2x6 @ 400 O/C SPACING IV 16 PLYWOOD ON OUTSIDE FACE.	FULL HEIGHT WALL. ADD BLOCKING AT 1200 L50 EACH SIDE OF DBL STUD, TOP & BOT. SDF#X15" SCREWS.

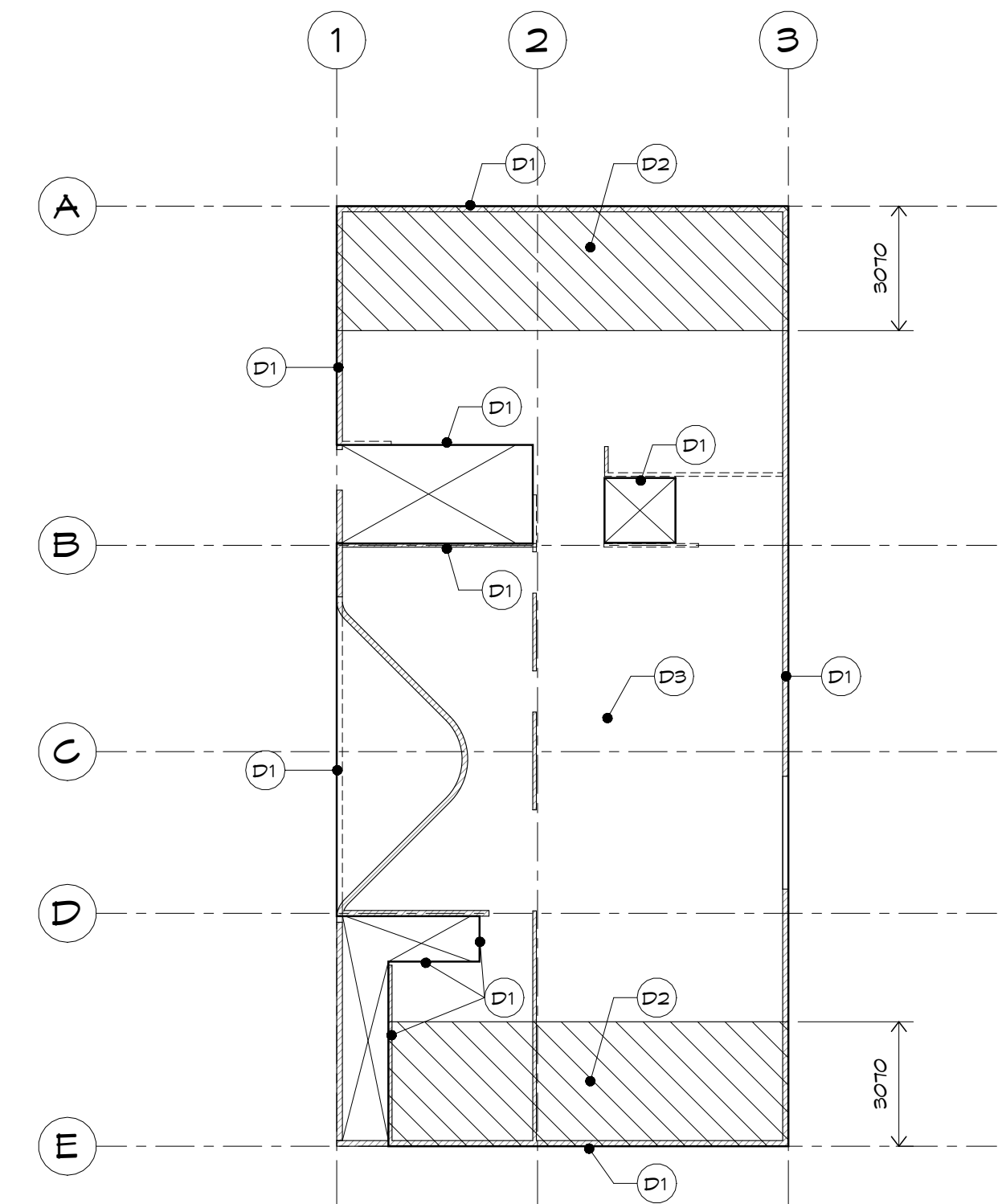


5 MAIN FLOOR DIAPHRAGM  
1 : 150

- D1 FLOOR BOUNDARY NAILING 100 O/C. FASTENERS AS PER D2/D4.
- D2 WARMBOARD-S SHEATHING PANEL INSTALLATION IN HATCHED AREA:  
a. BLOCK PANEL EDGES WITH 38mm BLOCKING (HORIZONTAL OR VERTICAL).  
b. NAIL ALL PANEL EDGES AT 150mm O/C TO FRAMING AND BLOCKING (EXCEPT AS NOTED AT FLOOR BOUNDARY).  
c. NAIL INTERIOR OF PANEL TO FRAMING AT 300mm O/C.  
d. NAILS SHALL BE 3.25dX75mm. ALL OTHER FASTENERS TO BE REVIEWED WITH ENGINEER.

- D3 WARMBOARD-S SHEATHING PANEL INSTALLATION IN ALL OTHER AREAS DOES NOT REQUIRE BLOCKING. PANEL EDGE NAILING ALONG FRAMING MEMBERS AT 150mm O/C TO FRAMING AND PANEL INTERIOR NAILING AT 300mm O/C.

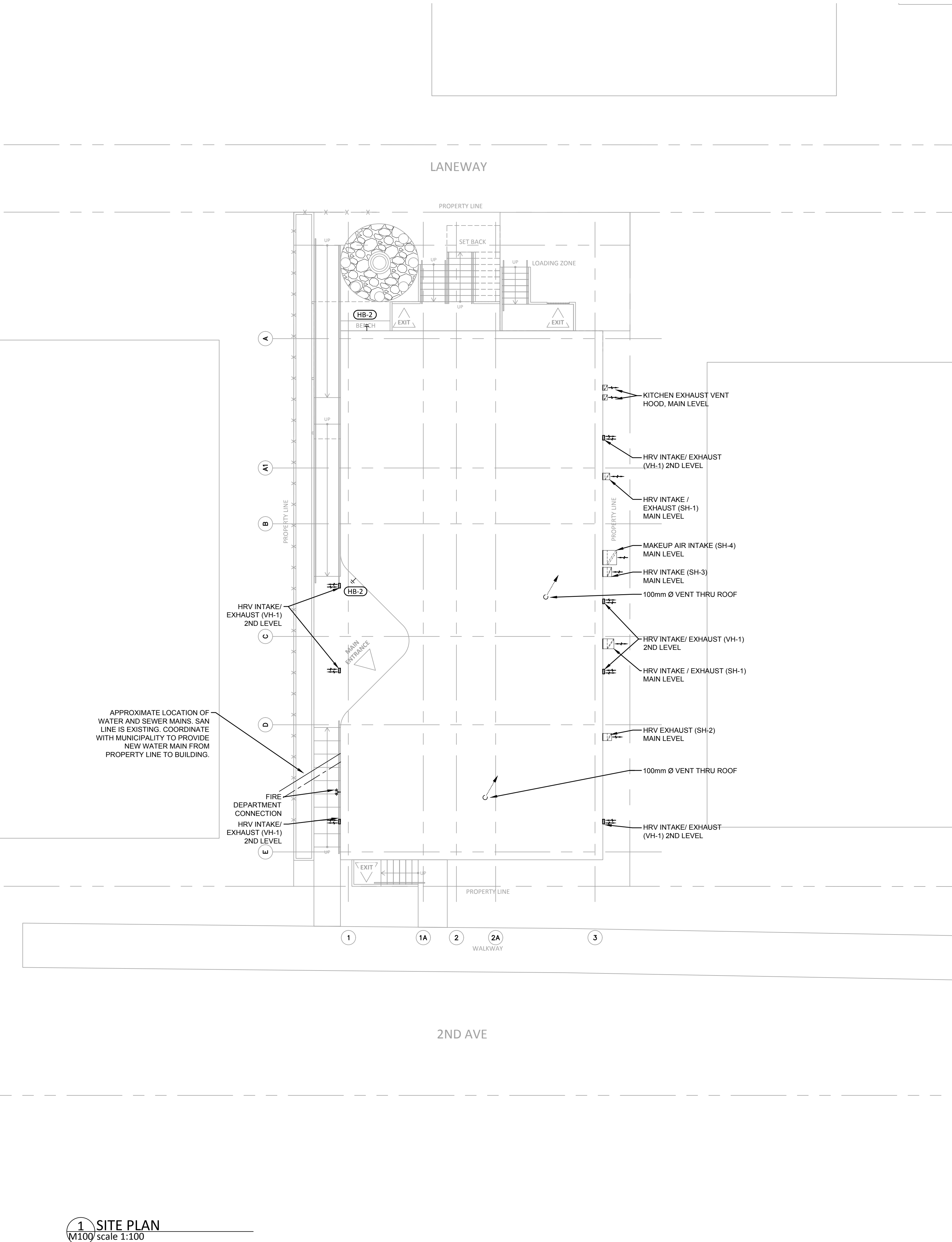
- D4 ROOF DIAPHRAGM: BLOCK PLYWOOD EDGES IN END TWO TRUSS BAYS (NORTH AND SOUTH ENDS). PLYWOOD EDGE NAILING ALONG TRUSS MEMBERS AT 150mm O/C TO FRAMING AND PANEL INTERIOR NAILING AT 300mm O/C. NAILS SHALL BE 8d (64 x 9.33 Ø mm).



6 2ND FLOOR DIAPHRAGM  
1 : 150

PLOT DATE 2021-07-12	PROJ. NO. 20-0401
DESIGNED BY SLB	CHECKED BY SLB
DRAWN BY slb/	DNV. NO.





1 SITE PLAN  
M100 scale 1:100

MECHANICAL SYMBOLS SCHEDULE		
NOTES: NEW EXISTING DEMOLITION RELOCATED ISOMETRIC GATE VALVE ISOMETRIC BALL VALVE		
PLUMBING	HEATING & COOLING	VENTILATION
<div><div>DOMESTIC COLD WATER (DCW)</div><div>DOMESTIC HOT WATER (DHW)</div><div>DOMESTIC HOT WATER RECIRC. (DHWRC)</div><div>DOMESTIC TEMPERED WATER (DTW)</div><div>SANITARY VENT</div><div>SANITARY ABOVE GRADE</div><div>SANITARY BELOW GRADE</div><div>STORM ABOVE GRADE</div><div>STORM BELOW GRADE</div><div>PERIMETER DRAIN</div><div>DRAIN LINE</div><div>NATURAL GAS - LOW PRESSURE</div><div>NATURAL GAS - HIGH PRESSURE</div><div>FUEL OIL SUPPLY</div><div>FUEL OIL RETURN</div><div>COMPRESSED AIR</div><div>HOSE BIBB</div><div>P-TRAP</div><div>SANITARY VENT UP</div><div>FLOOR CLEANOUT</div><div>END OF LINE CLEANOUT</div><div>OPEN DRAIN</div><div>STANDARD FLOOR DRAIN</div><div>HUB FLOOR DRAIN</div><div>FUNNEL FLOOR DRAIN</div><div>ROOF DRAIN</div><div>AREA DRAIN - ROUND</div><div>AREA DRAIN - SQUARE</div><div>CATCH BASIN</div><div>MANHOLE</div><div>GAS METER</div><div>WATER METER</div><div>FLOW METER</div><div>FUEL OIL METER</div><div>MANIFOLD - PLAN</div><div>MANIFOLD - SCHEMATIC</div><div>CLOTHES WASHER OUTLET BOX</div><div>PLUMBING OUTLET BOX</div></div>	<div><div>HEATING WATER SUPPLY</div><div>HEATING WATER RETURN</div><div>CONDENSER WATER SUPPLY</div><div>CONDENSER WATER RETURN</div><div>GLYCOL SUPPLY</div><div>GLYCOL RETURN</div><div>LOW PRESSURE STEAM</div><div>HIGH PRESSURE STEAM</div><div>LOW PRESSURE CONDENSATE</div><div>HIGH PRESSURE CONDENSATE</div><div>CHILLED WATER SUPPLY</div><div>CHILLED WATER RETURN</div><div>REFRIGERANT</div><div>RADIANT CEILING PANEL</div><div>RADIANT FIN HEATER W/O CABINET</div><div>RADIANT FIN HEATER W/ CABINET</div><div>HYDRONIC COIL</div><div>UNIT HEATER</div></div> <div><div>DIRECTION OF FLOW</div><div>PIPE/DUCT SLOPE DIRECTION</div><div>PIPE ELBOW DOWN</div><div>PIPE ELBOW UP</div><div>PIPE TEE DOWN</div><div>PIPE TEE UP</div><div>PIPE TEE</div><div>PIPE BREAK</div><div>PIPE ENDCAP/PLUG</div><div>PIPE REDUCER</div><div>UNION CONNECTION</div><div>FLANGE CONNECTION</div><div>FLEXIBLE CONNECTION</div><div>CONNECTION TO EXISTING GATE VALVE</div><div>GATE VALVE W/ TAMPER SWITCH</div><div>BALL VALVE</div><div>BUTTERFLY VALVE</div><div>GLOBE VALVE</div><div>PLUG VALVE</div><div>NEEDLE VALVE</div><div>LOCKSHIELD VALVE</div><div>CHECK VALVE</div><div>PRESSURE REDUCING VALVE</div><div>BALANCING VALVE</div><div>2-WAY ELECTRIC CONTROL VALVE</div><div>2-WAY PNEUMATIC CONTROL VALVE</div><div>2-WAY SOLENOID CONTROL VALVE</div><div>2-WAY MOTORIZED CONTROL VALVE</div><div>2-WAY FUSIBLE LINK CONTROL VALVE</div><div>3-WAY ELECTRIC CONTROL VALVE</div><div>3-WAY PNEUMATIC CONTROL VALVE</div><div>MIXING VALVE</div><div>GAS EMERGENCY SHUTOFF VALVE</div><div>GAS SIESMIC SHUTOFF VALVE</div><div>ANGLE VALVE</div><div>TRIPLE DUTY VALVE</div><div>BACKFLOW PREVENTOR</div><div>STRAINER</div><div>SUCTION DIFFUSER STRAINER</div><div>ANTI-SIPHON VALVE</div><div>PRESSURE RELIEF VALVE</div><div>WATER HAMMER ARRESTOR</div><div>AUTOMATIC AIR VENT</div><div>MANUAL AIR VENT</div><div>EXPANSION JOINT</div><div>PIPE GUIDE</div><div>PIPE ANCHOR</div><div>ORIFICE PLATE</div><div>STEAM TRAP</div><div>HEAT TRACE &amp; INSULATION</div><div>PETE'S PLUG</div><div>THERMOMETER W/ WELL/TAP</div><div>TEMPERATURE GAUGE W/ WELL/TAP</div><div>PRESSURE GAUGE</div><div>CIRCULATION PUMP</div></div>	<div><div>SUPPLY/OUTSIDE AIR DUCT UP</div><div>SUPPLY/OUTSIDE AIR DUCT DOWN</div><div>RETURN AIR DUCT UP</div><div>RETURN AIR DUCT DOWN</div><div>EXHAUST AIR DUCT UP</div><div>EXHAUST AIR DUCT DOWN</div><div>ROUND DUCT UP</div><div>ROUND DUCT DOWN</div><div>ROUND DUCT TEE DOWN</div><div>TURNING VANES</div><div>ROUND DUCT BREAK</div><div>SQUARE DUCT BREAK</div><div>DUCT ENDCAP</div><div>BALANCING DAMPER</div><div>BACKDRAFT DAMPER</div><div>FIRE DAMPER</div><div>MOTORIZED DAMPER</div><div>SMOKE DAMPER</div><div>SINGLE LINE DUCT TAKE-OFF</div><div>ACOUSTIC INSULATION</div><div>THERMAL INSULATION</div><div>AIRFLOW DIRECTION</div><div>SQUARE SUPPLY DIFFUSER</div><div>ROUND SUPPLY DIFFUSER</div><div>LINEAR SUPPLY DIFFUSER</div><div>CEILING SUPPLY GRILLE</div><div>CEILING RETURN GRILLE</div><div>CEILING EXHAUST GRILLE</div><div>SIDEWALL SUPPLY GRILLE</div><div>SIDEWALL RETURN/EXHAUST GRILLE</div><div>DOOR GRILLE</div><div>DOOR UNDERCUT</div><div>SUPPLY/EXHAUST FAN</div><div>SIDEWALL FAN</div><div>CEILING FAN</div></div> <div><div>CONTROL WIRING</div><div>GENERIC CONTROL DEVICE</div><div>THERMOSTAT</div><div>HUMIDISTAT</div><div>ELECTRIC SWITCH</div><div>TEMPERATURE SENSOR</div><div>FLOW SWITCH</div><div>PRESSURE SWITCH</div><div>FLOW ELEMENT</div><div>PRESSURE INDICATOR</div><div>PRESSURE TRANSDUCER</div><div>RELAY</div><div>TEMPERATURE INDICATOR</div><div>LOW WATER CUT-OFF</div><div>TEMPERATURE TRANSMITTER</div><div>AUXILIARY HIGH LIMIT</div></div> <div><div>EQUIPMENT/FIXTURE TAG</div><div>AIR TERMINAL TAG</div><div>TERMINAL UNIT TAG</div><div>RADIANT HEATER TAG</div><div>CONTROL POINT TAG</div><div>DRAWING KEYNOTE</div><div>DRAWING KEYNOTE</div><div>DETAIL NOTE</div><div>REVISION TAG</div></div>
PIPING & ACCESSORIES		
<div><div>FIRE LINE</div><div>WET SPRINKLER LINE</div><div>DRY SPRINKLER LINE</div><div>PREACTION SPRINKLER LINE</div><div>DRAIN LINE</div><div>STANDARD PENDANT SPRINKLER</div><div>EXTENDED PENDANT SPRINKLER</div><div>STANDARD UPRIGHT SPRINKLER</div><div>EXTENDED UPRIGHT SPRINKLER</div><div>STANDARD UPDOWN SPRINKLERS</div><div>EXTENDED UPDOWN SPRINKLERS</div><div>STANDARD NON-FREEZE SPRINKLER</div><div>EXTENDED NON-FREEZE SPRINKLER</div><div>STANDARD SIDEWALL (SW) SPRINKLER</div><div>EXTENDED SIDEWALL (SW) SPRINKLER</div><div>STANDARD NON-FREEZE SAW SPRINKLER</div><div>EXTENDED NON-FREEZE SAW SPRINKLER</div><div>ON/OFF SPRINKLER</div><div>SPRINKLER CONTROL CABINET</div><div>FIRE HOSE CABINET</div><div>FIRE DEPARTMENT CONNECTION</div><div>ANGLE VALVE FIRE HOSE CONNECTION</div><div>FIRE ALARM VALVE</div><div>WALL MOUNTED FIRE EXTINGUISHER</div><div>RECESSED FIRE EXTINGUISHER</div><div>SMOKE DETECTOR</div></div> <div><div>ACID VENT</div><div>ACID WASTE ABOVE GRADE</div><div>ACID WASTE BELOW GRADE</div><div>LABORATORY AIR</div><div>LABORATORY VACUUM</div><div>LABORATORY NITROGEN</div><div>MEDICAL AIR</div><div>MEDICAL VACUUM</div><div>OXYGEN</div><div>CARBON DIOXIDE</div><div>NITROGEN</div><div>NITROUS OXIDE</div><div>GAS TURRET - 1 OUTLET</div><div>GAS TURRET - 2 OUTLETS</div><div>GAS TURRET - 4 OUTLETS</div><div>COMPRESSED AIR - HOSE OUTLET</div><div>COMPRESSED AIR OUTLET</div><div>LABORATORY COMPRESSED AIR OUTLET</div><div>LABORATORY VACUUM OUTLET</div><div>LABORATORY NITROGEN OUTLET</div><div>MEDICAL AIR OUTLET</div><div>MEDICAL VACUUM OUTLET</div><div>OXYGEN OUTLET</div></div>		
FIRE SUPPRESSION		
<div><div>CONTROL WIRING</div><div>GENERIC CONTROL DEVICE</div><div>THERMOSTAT</div><div>HUMIDISTAT</div><div>ELECTRIC SWITCH</div><div>TEMPERATURE SENSOR</div><div>FLOW SWITCH</div><div>PRESSURE SWITCH</div><div>FLOW ELEMENT</div><div>PRESSURE INDICATOR</div><div>PRESSURE TRANSDUCER</div><div>RELAY</div><div>TEMPERATURE INDICATOR</div><div>LOW WATER CUT-OFF</div><div>TEMPERATURE TRANSMITTER</div><div>AUXILIARY HIGH LIMIT</div></div> <div><div>EQUIPMENT/FIXTURE TAG</div><div>AIR TERMINAL TAG</div><div>TERMINAL UNIT TAG</div><div>RADIANT HEATER TAG</div><div>CONTROL POINT TAG</div><div>DRAWING KEYNOTE</div><div>DRAWING KEYNOTE</div><div>DETAIL NOTE</div><div>REVISION TAG</div></div>		
TAGS & LABELS		
<div><div>EQUIPMENT/FIXTURE TAG</div><div>AIR TERMINAL TAG</div><div>TERMINAL UNIT TAG</div><div>RADIANT HEATER TAG</div><div>CONTROL POINT TAG</div><div>DRAWING KEYNOTE</div><div>DRAWING KEYNOTE</div><div>DETAIL NOTE</div><div>REVISION TAG</div></div>		

TAG

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PROFESSIONAL  
20-040  
21-07-12  
YUKON  
NICHOLAS SHOPIAN  
TERRITORY  
ENGINEER

PERMIT TO PRACTICE  
TAG ENGINEERING LTD.  
SIGNATURE: *Nicholas Shopian*  
Date: Jul. 12, 2021  
PERMIT NUMBER PP604  
Association of Professional  
Engineers of Yukon

NOT FOR CONSTRUCTION

ALL DIMENSIONS TO BE SITE VERIFIED BY CONTRACTOR

#	Date	Description
4	21-July-12	Issued for Tender
3	21-June-16	Issued for 100% Construction Document
2	21-May-06	Issued for 50% Construction Document
1	21-Mar-08	Issued for Design Development

Revisions

March 8, 2021

Project: JEJE ZHO TH MEN'S SHELTER

Dawson City, YT

project north  
true north

Design by: N.S.  
Drawing by: A.M., J.L.  
Scale: As Noted

Sheet name: Mechanical Site Plan and Symbol Legend

Project # 20-040

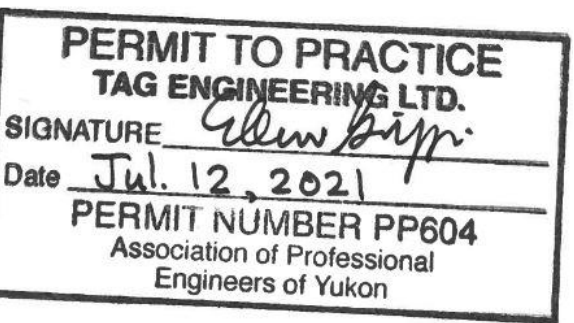
Drawing # M100

### GENERAL NOTES

- CLEANOUTS TO BE INSTALLED AT ALL CHANGES IN DIRECTION GREATER THAN 45° ON SANITARY WASTE LINES.
- COORDINATE WITH GENERAL CONTRACTOR TO PROVIDE ACCESS TO ALL CLEANOUTS IN NON-ACCESSIBLE LOCATIONS.
- PROVIDE FIRE-RATED CAULKING AT PENETRATIONS IN FIRE-RATED WALLS AND FLOORS (SEE ARCHITECTURE).
- EXCEPT WHERE NOTED OTHERWISE, SANITARY LINES TO BE ROUTED THROUGH JOIST SPACE AND DROP CEILING SPACE. REFER TO STRUCTURAL FOR ACCEPTABLE SIZE AND LOCATIONS OF HOLES IN TJI JOISTS.
- PROVIDE TRAP PRIMER FOR FLOOR DRAINS (FD-1) IN MECHANICAL ROOM, UTILITY CLOSET, AND STORAGE ROOM 106.
- COORDINATE FLOOR PENETRATIONS WITH STRUCTURAL.

### KEYNOTES

- HEAT-TRACE SAN LINES IN UTILIDETTE USING ELECTRIC HEAT-TRACE (EHT-1).
- ACCESS HATCHES AT ENDS OF UTILIDETTE (SEE ARCHITECTURE).
- DDC TEMPERATURE SENSOR FOR CONTROL OF UTILIDETTE HEAT-TRACE (EHT-1)
- DOMESTIC PIPING UP TO ABOVE
- PROVIDE INDIRECT CONNECTION FROM HRV CONDENSATE DRAIN TO SINK.
- ROOF VENTS TO BE LOCATED ON NORTH-SLOPING HALF OF ROOF TO AVOID CONFLICT WITH FUTURE SOLAR PANELS.



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#	Date	Description
Revisions		
1	March 8, 2021	

Project: JEJE ZHO TH MEN'S SHELTER

Dawson City, YT

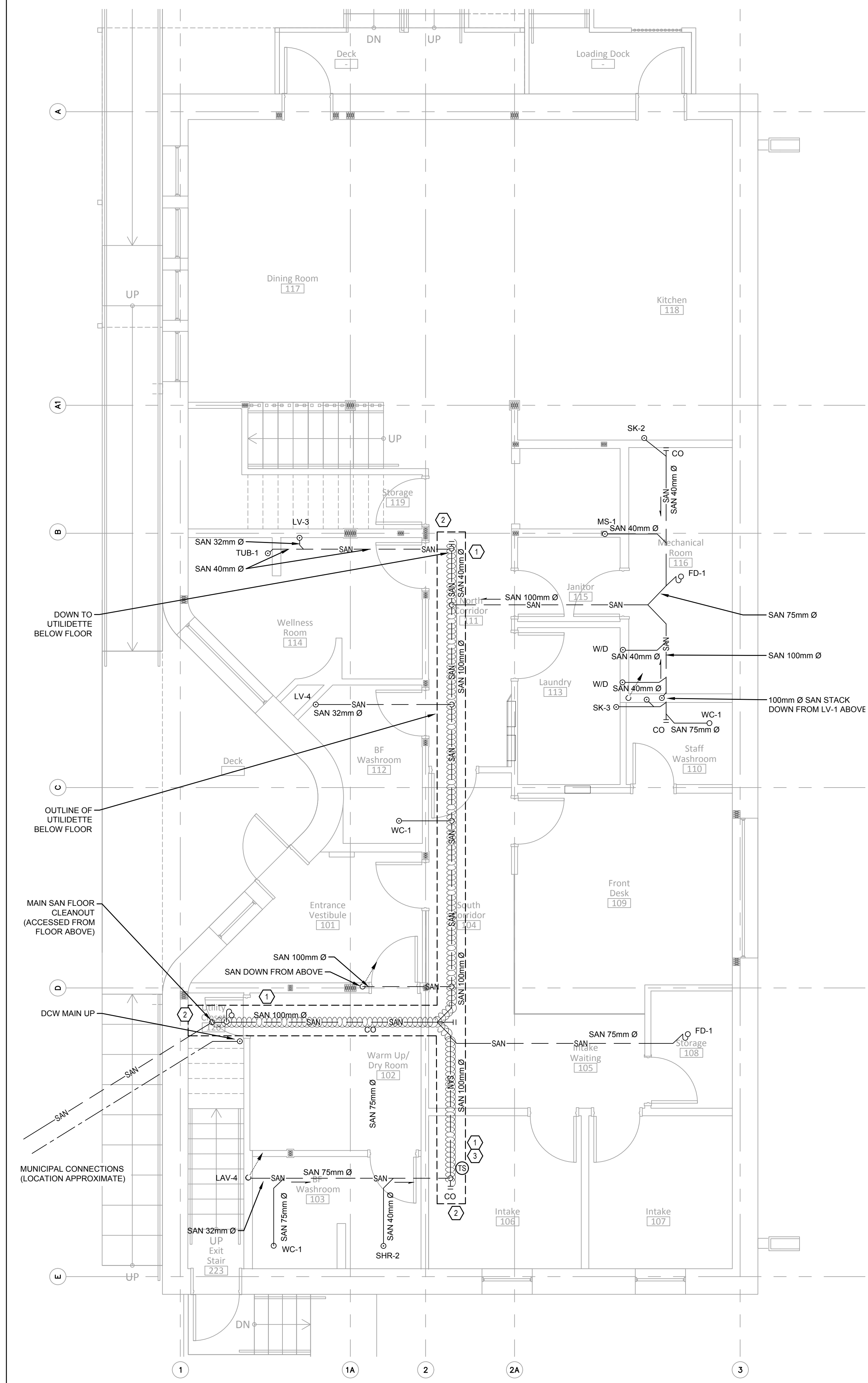
project north	Design by: N.S.
	Drawing by: N.S., J.L.
	Scale: As Noted

Sheet name: Mechanical Plumbing Main Floor

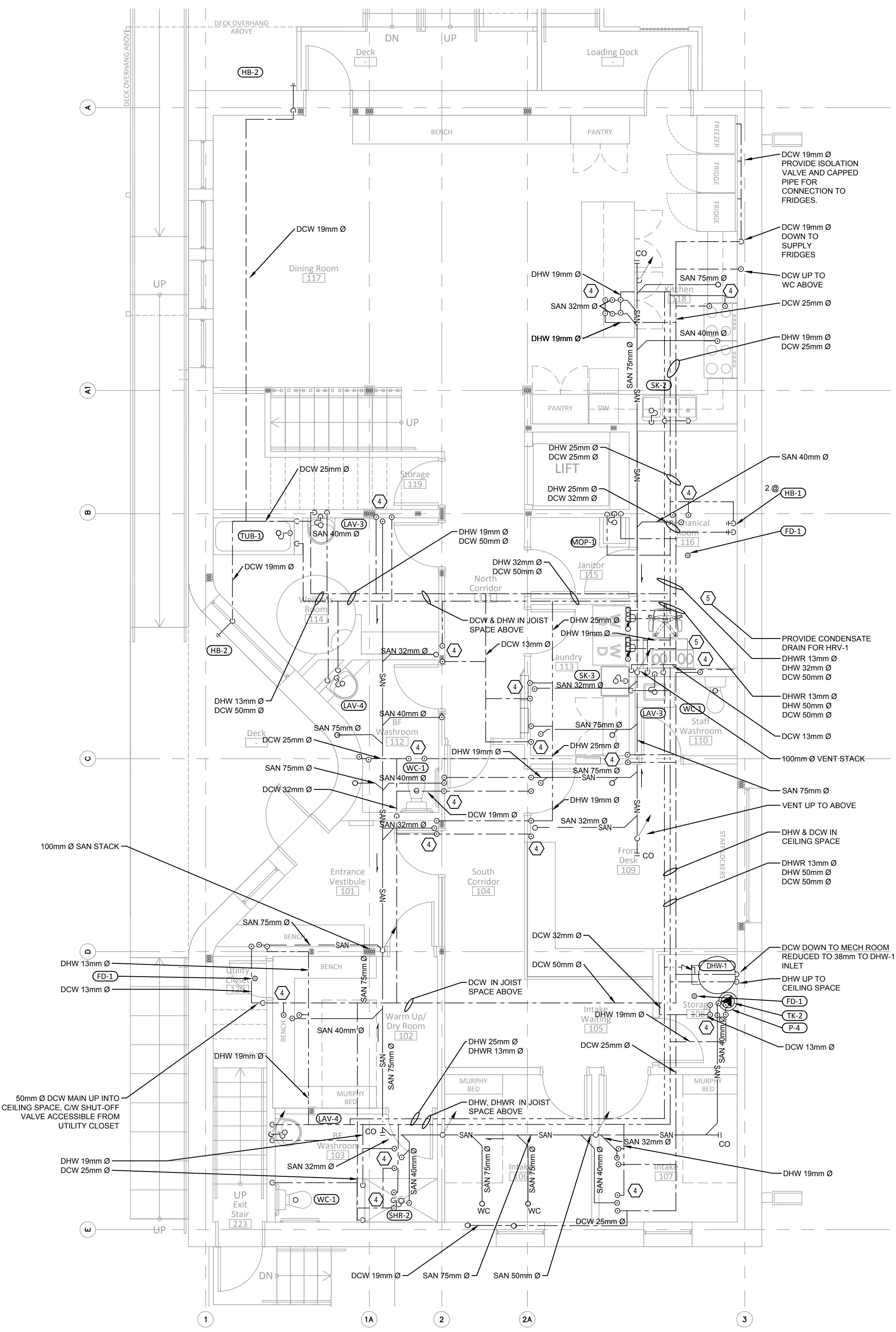
Project # 20-040

Drawing #

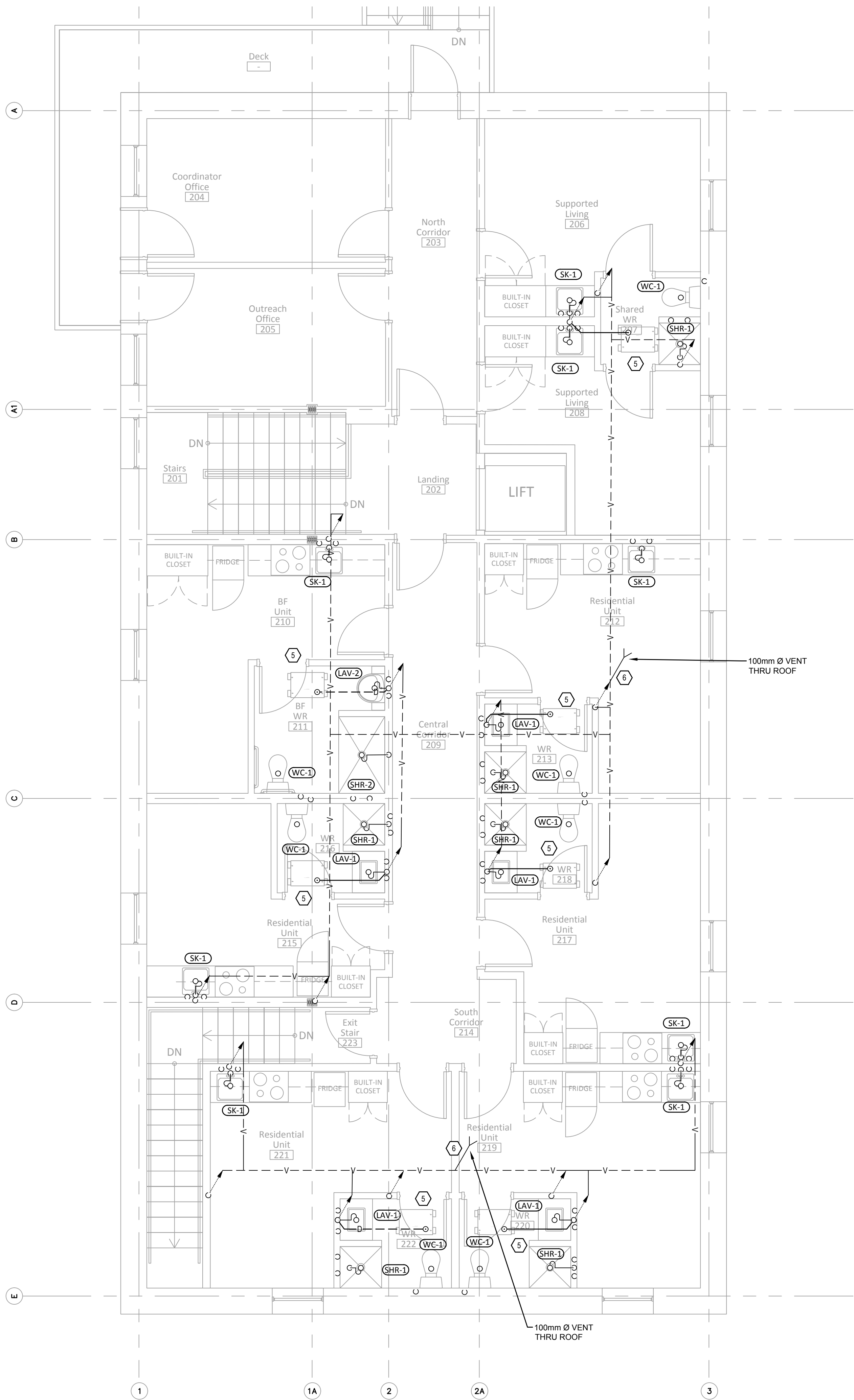
M200



1 MAIN FLOOR SUB-FLOOR PLAN  
M200 scale 1:50



2 FIRST FLOOR PLAN  
M200 scale 1:50



PLUMBING FIXTURES MIN ROUGH-IN PIPE SCHEDULE				
TAG #	DCW	DHW	SAN	VENT
LAV-	10mm Ø	10mm Ø	32mm Ø	32mm Ø
WC-	10mm Ø	-	75mm Ø	50mm Ø
TUB-	13mm Ø	13mm Ø	40mm Ø	32mm Ø
SHR-	13mm Ø	13mm Ø	40mm Ø	32mm Ø
SK-	13mm Ø	13mm Ø	40mm Ø	32mm Ø
FD-	-	-	75mm Ø	-

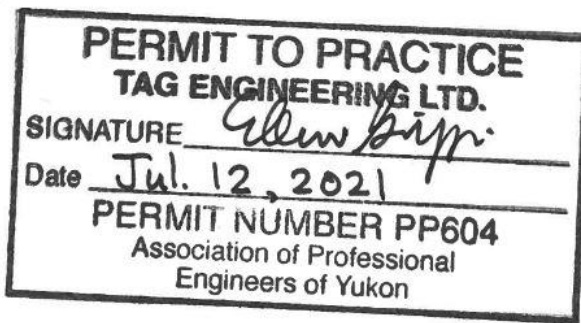
1 SECOND FLOOR PLAN  
M201 scale 1:50

## GENERAL NOTES

- CLEANOUTS TO BE INSTALLED AT ALL CHANGES IN DIRECTION GREATER THAN 45° ON SANITARY WASTE LINES.
- COORDINATE WITH GENERAL CONTRACTOR TO PROVIDE ACCESS TO ALL CLEANOUTS IN NON-ACCESSIBLE LOCATIONS.
- PROVIDE FIRE-RATED CAULKING AT PENETRATIONS IN FIRE-RATED WALLS AND FLOORS (SEE ARCHITECTURE).
- EXCEPT WHERE NOTED OTHERWISE, SANITARY LINES TO BE ROUTED THROUGH JOIST SPACE AND DROP CEILING SPACE. REFER TO STRUCTURAL FOR ACCEPTABLE SIZE AND LOCATIONS OF HOLES IN TJI JOISTS.
- PROVIDE TRAP PRIMER FOR FLOOR DRAINS (FD-1) IN MECHANICAL ROOM, UTILITY CLOSET, AND STORAGE ROOM 106.
- COORDINATE FLOOR PENETRATIONS WITH STRUCTURAL.

## KEYNOTES

- HEAT-TRACE SAN LINES IN UTILIDETTE USING ELECTRIC HEAT-TRACE (EHT-1).
- ACCESS HATCHES AT ENDS OF UTILIDETTE (SEE ARCHITECTURAL).
- DDC TEMPERATURE SENSOR FOR CONTROL OF UTILIDETTE HEAT-TRACE (EHT-1)
- DOMESTIC PIPING UP TO ABOVE
- PROVIDE INDIRECT CONNECTION FROM HRV CONDENSATE DRAIN TO SINK.
- ROOF VENTS TO BE LOCATED ON NORTH-SLOPING HALF OF ROOF TO AVOID CONFLICT WITH FUTURE SOLAR PANELS.



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Revisions

Date: March 8, 2021

Project: JEJE ZHO TH MEN'S SHELTER

Dawson City, YT

project north true north	Design by: N.S.
	Drawing by: N.S., J.L.
	Scale: As Noted

Sheet name:

Mechanical Plumbing  
2nd Floor

Project #

20-040

Drawing #

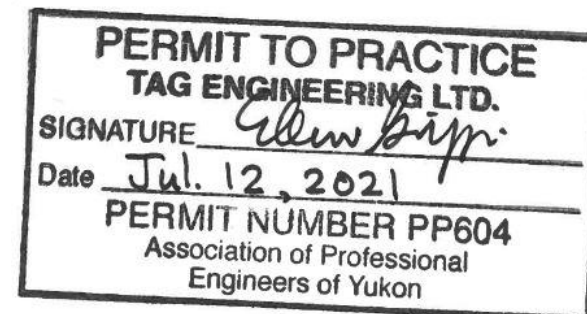
M201

### GENERAL NOTES

- 1 IN-FLOOR HEATING TO BE IN WARMBOARD-S STRUCTURAL FLOOR PANELS. SEE ARCHITECTURAL AND STRUCTURAL.
- 2 PROVIDE FIRE-RATED CAULKING AT PENETRATIONS IN FIRE-RATED WALLS AND FLOORS (SEE ARCHITECTURE).

### KEYNOTES

- 1 PROVIDE LOCKING ACCESS HATCH TO HEATING MANIFOLDS, ACCESSIBLE FROM JANITOR ROOM OR CORRIDOR-SIDE.



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Revisions		

Date: March 8, 2021

Project: JEJE ZHO TH MEN'S SHELTER

Dawson, YT

project north  
true north  
Design by: N.S.  
Drawing by: A.M., J.L.  
Scale: As Noted

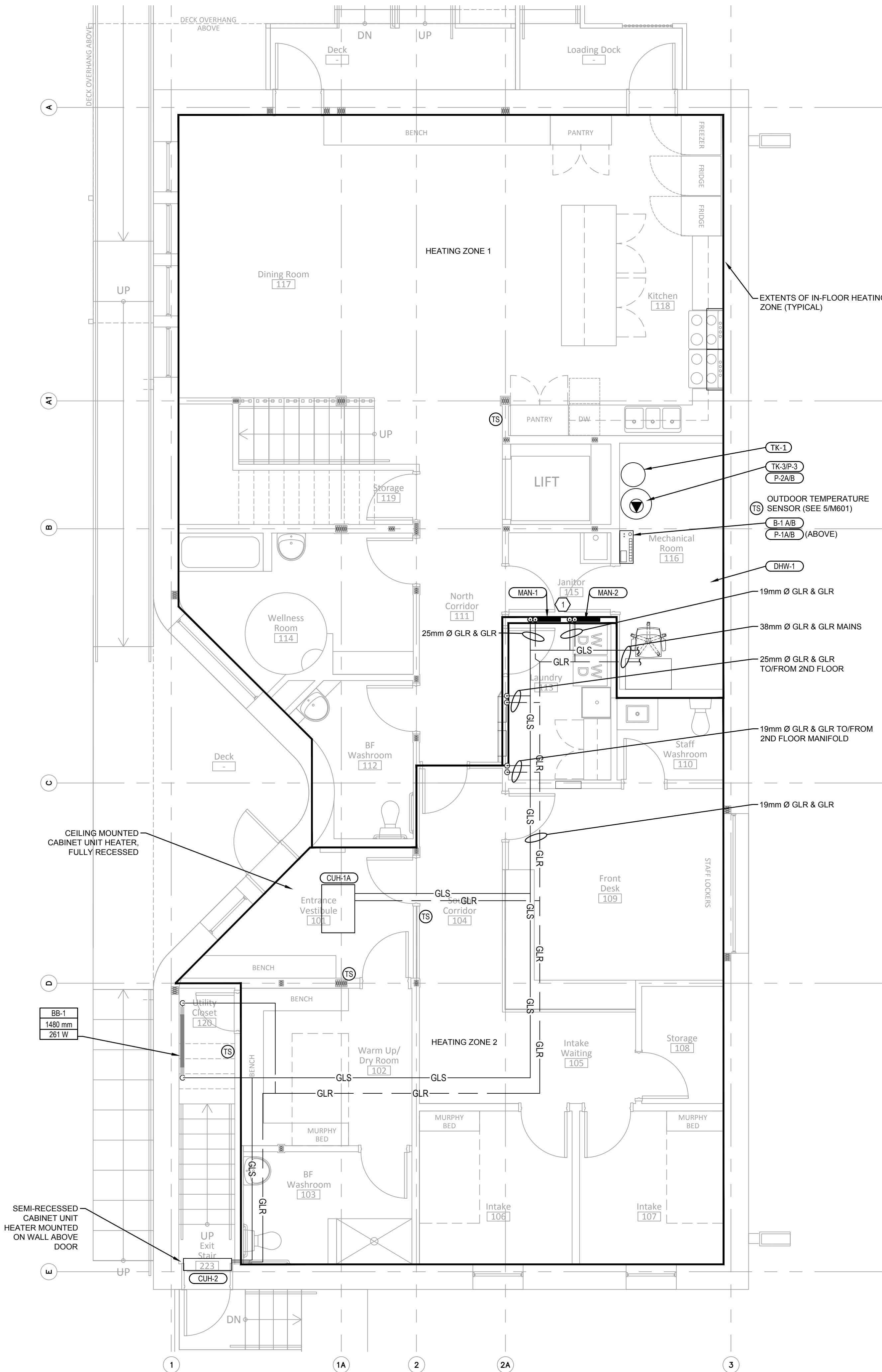
Sheet name:  
Mechanical Heating Plans

Project #

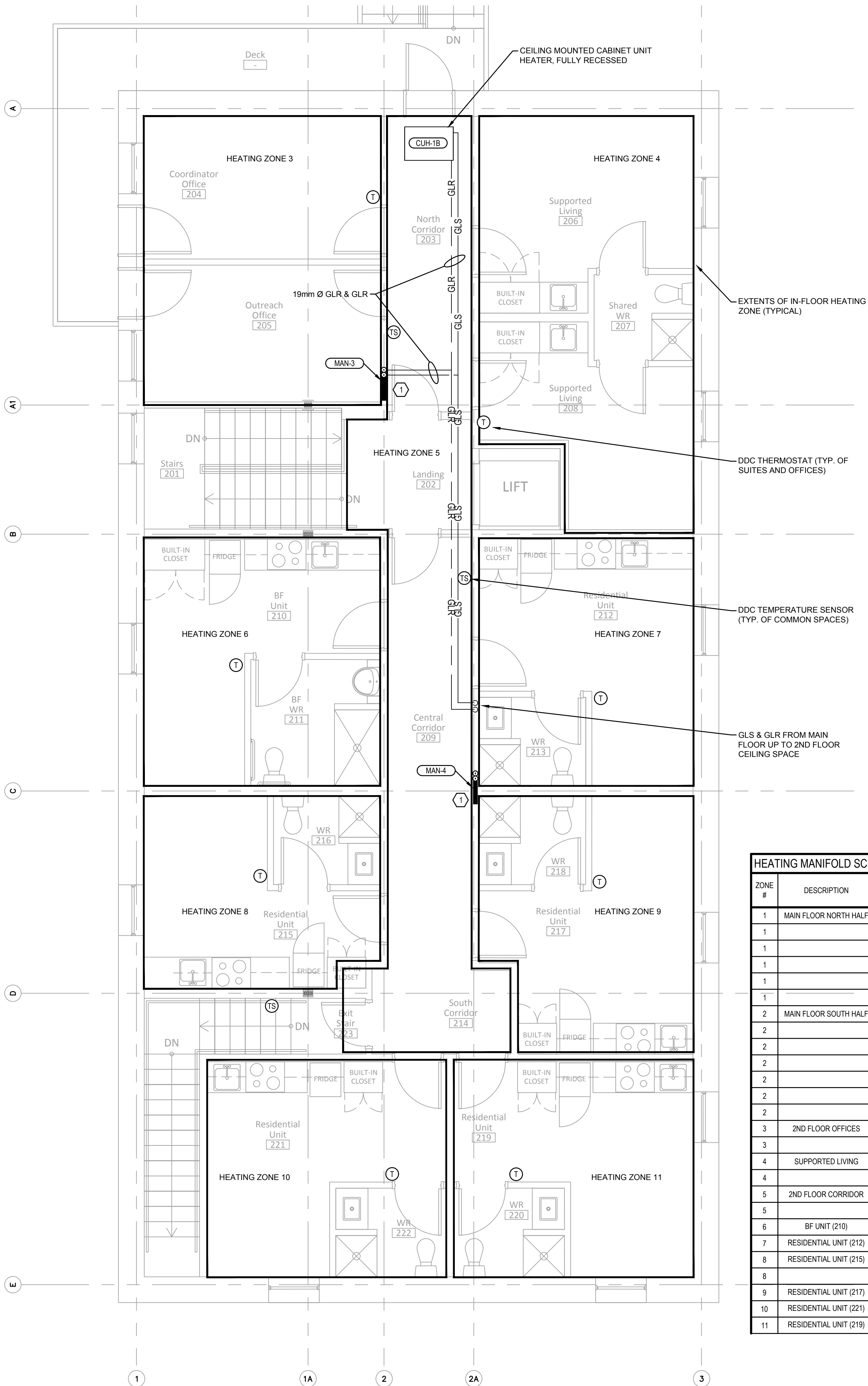
20-040

Drawing #

M300



1 FIRST FLOOR PLAN  
M300 scale 1:50



2 SECOND FLOOR PLAN  
M300 scale 1:50

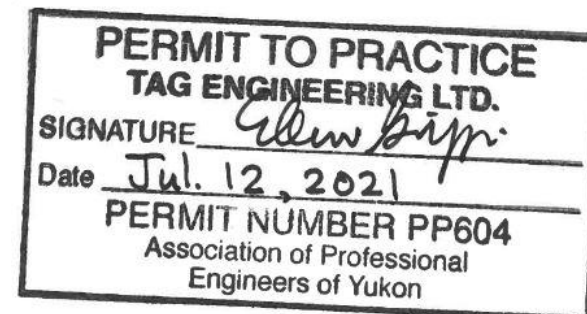
HEATING MANIFOLD SCHEDULE				
ZONE #	DESCRIPTION	MAN. #	LOOP #	LOOP LENGTH (MM)
1	MAIN FLOOR NORTH HALF	1	1	88390
1		1	2	83820
1		1	3	80770
1		1	4	79250
1		1	5	79250
1		1	6	50290
2	MAIN FLOOR SOUTH HALF	2	1	77720
2		2	2	80770
2		2	3	47240
2		2	4	91440
2		2	5	56390
2		2	6	56390
2		2	7	30480
3	2ND FLOOR OFFICES	3	1	65530
3		3	2	79250
4	SUPPORTED LIVING	3	3	62480
4		3	4	51820
5	2ND FLOOR CORRIDOR	3	5	77720
5		3	6	54860
6	BF UNIT (210)	3	7	86870
7	RESIDENTIAL UNIT (212)	3	8	79250
8	RESIDENTIAL UNIT (215)	4	1	51820
8		4	2	24380
9	RESIDENTIAL UNIT (217)	4	3	71630
10	RESIDENTIAL UNIT (221)	4	4	82300
11	RESIDENTIAL UNIT (219)	4	5	86870

### GENERAL NOTES

- FIRE DAMPERS REQUIRED IN DUCTWORK THAT PENETRATE FIRE-RATED WALLS OR CEILINGS. SEE ARCHITECTURAL PLANS.
- BALANCING DAMPERS NOT REQUIRED ON SUPPLY OR EXHAUST BRANCHES WHERE LIFE-BREATH TECH GRILLES ARE USED. IF GRILLES ARE SUBSTITUTED, BALANCING DAMPERS WILL BE REQUIRED.
- PROVIDE ACCESS HATCHES IN CEILING TO ALL BALANCING DAMPERS AND FIRE DAMPERS. COORDINATE LOCATIONS WITH ARCHITECTURAL.

### KEYNOTES

- ENSURE 2050 mm VERTICAL SPACE CLEAR IN FRONT OF DOOR TO ENSURE COMPLIANCE WITH ARCHITECTURAL HEAD CLEARANCE FOR EXITS OR PATH OF TRAVEL.
- MIN. 3000 mm BETWEEN INTAKE AND EXHAUST VENTS.
- DUCT EXPOSED IN JANITOR ROOM.
- WELLNESS ROOM TO RECEIVE CONTINUOUS LOW AIRFLOW OF 13 L/s. HIGH AIRFLOW TO BE USED WHEN REQUIRED (BY INPUT FROM 20/40/60 TIMER SWITCH). HIGH AIRFLOW NUMBERS SHOWN IN PLANS.
- ACOUSTICALLY-INSULATED TRANSFER DUCT IN CEILING SPACE.



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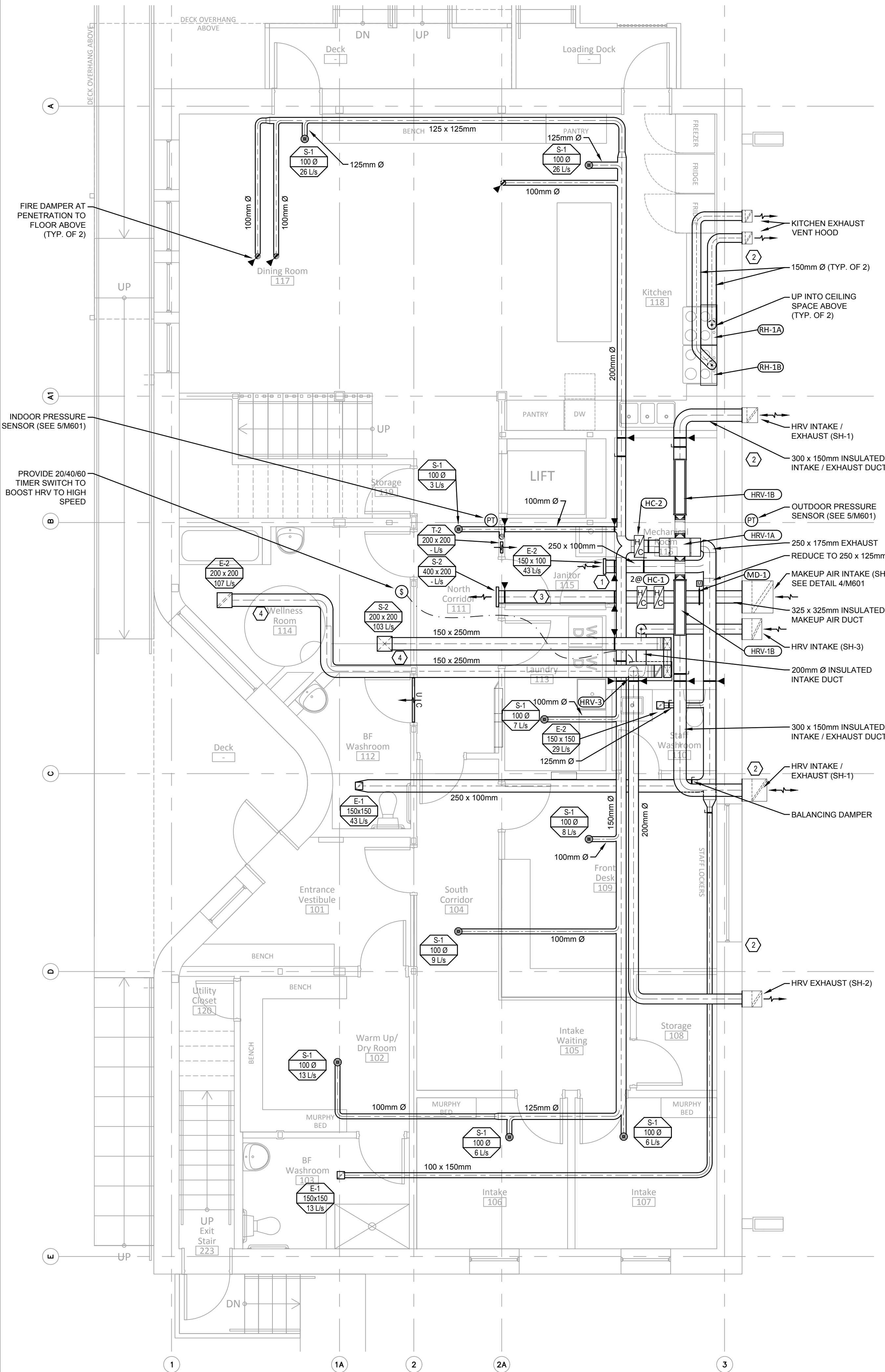
Project: JEJE ZHO TH MEN'S SHELTER  
Dawson, YT

project north  
true north  
Drawing by: N.S.  
Drawing by: A.M., J.L.  
Scale: As Noted

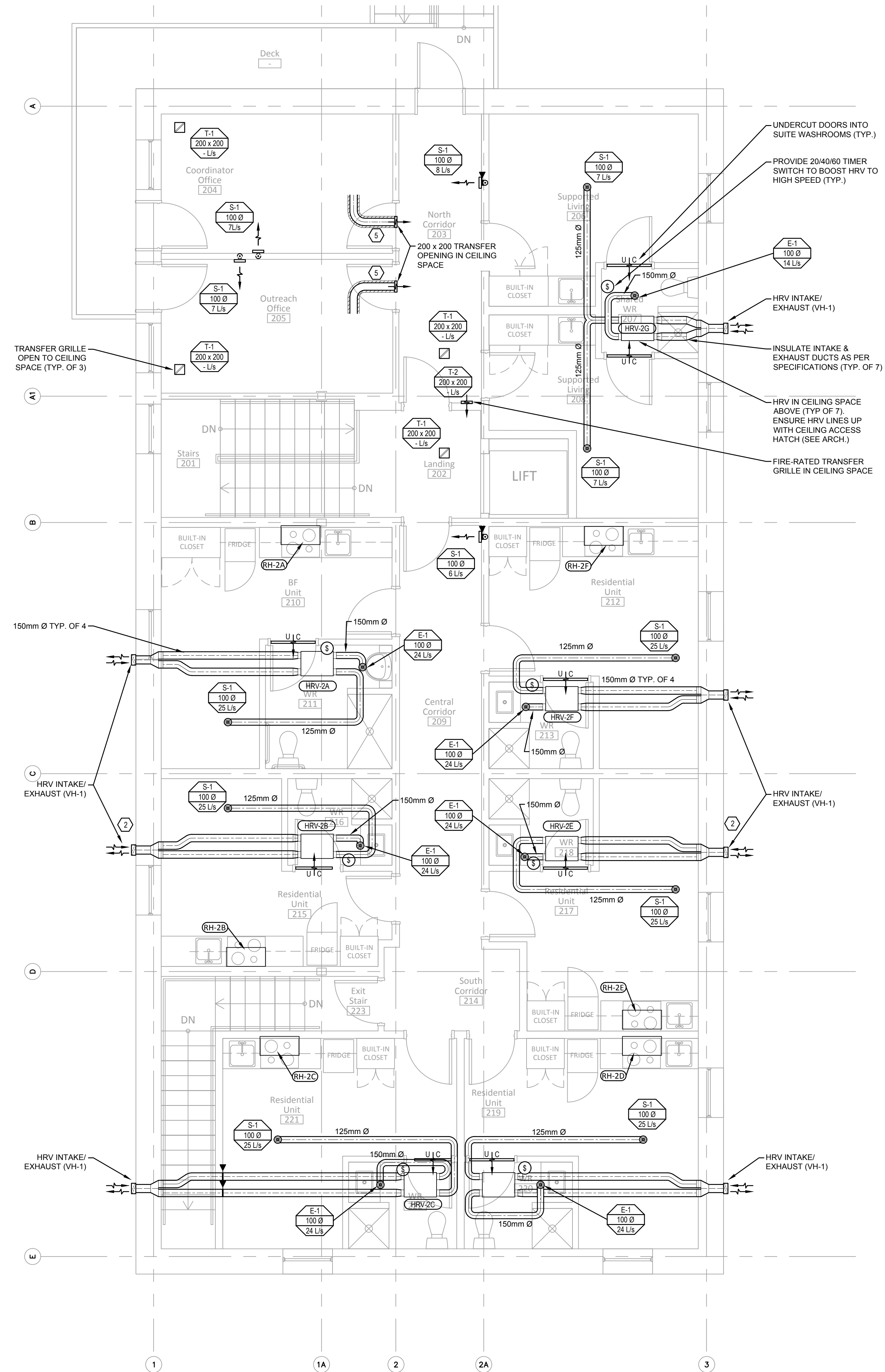
### Mechanical Ventilation Plans

Project #  
20-040

Drawing #  
M400

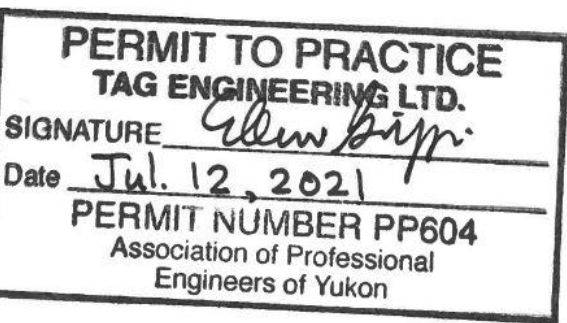


1 FIRST FLOOR PLAN  
M400 scale 1:50



### GENERAL NOTES

- 1 ALL HEATED BUILDING SPACES TO BE SPRINKLERED TO MEET NFPA 13. CONTRACTOR TO PROVIDE HYDRAULIC SPRINKLER CALCULATIONS FOR SPRINKLER PIPING LAYOUT, STAMPED BY AN ENGINEER REGISTERED IN YT.
- 2 CONTRACTOR TO PROVIDE FIRE EXTINGUISHERS THROUGHOUT TO MEET NFPA 10.
- 3 ALL FIRE EXTINGUISHERS TO BE 2.27 kg TYPE ABC, UNLESS NOTED OTHERWISE.
- 4 FIRE EXTINGUISHER CABINETS TO BE SURFACE MOUNTED UNLESS NOTED OTHERWISE.
- 5 SPRINKLER HEADS TO BE EXPOSED PENDANT TYPE, UNLESS NOTED OTHERWISE.



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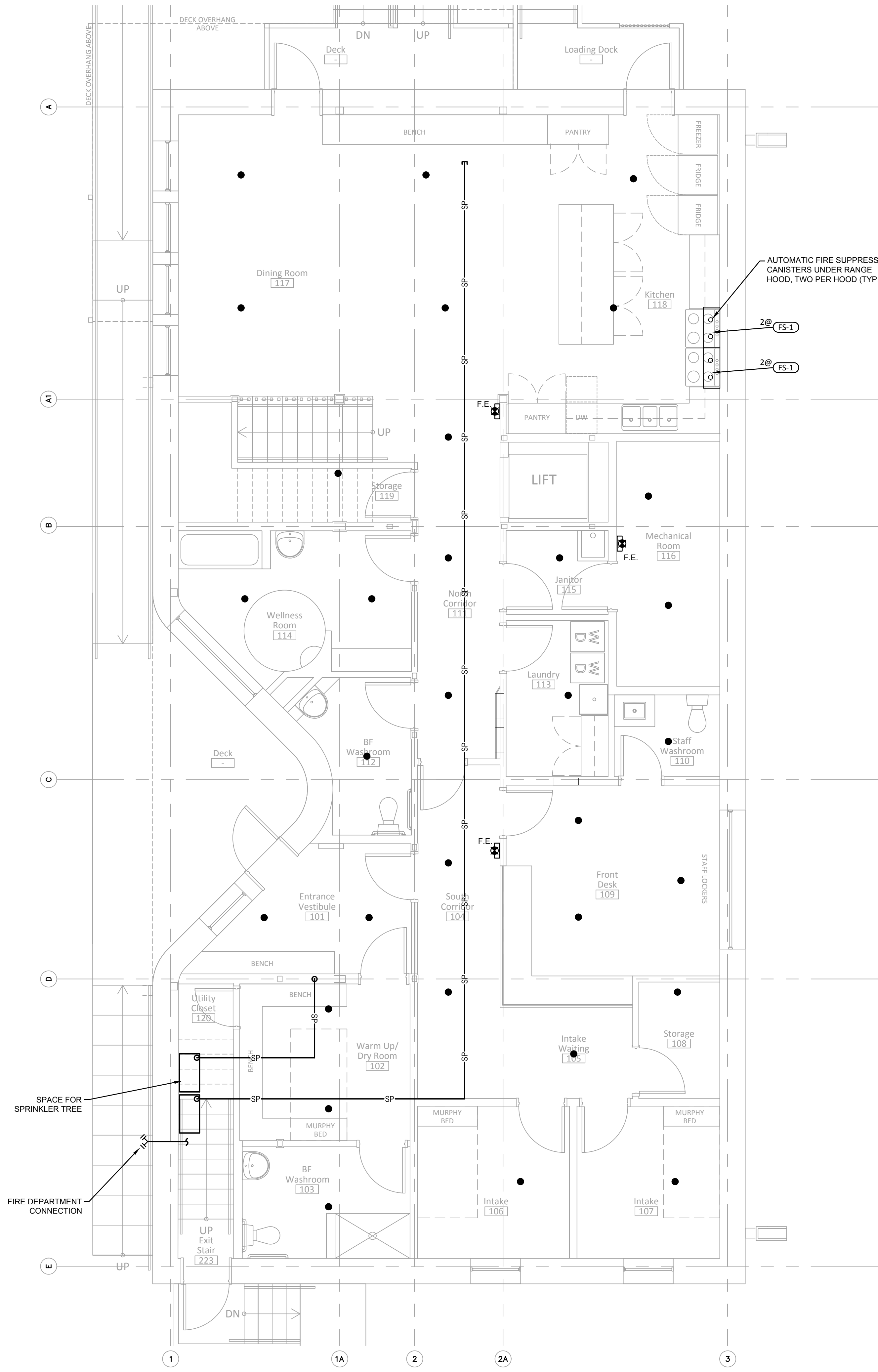
Dawson, YT

project north true north	Design by: N.S.
	Drawing by: A.M., J.L.
	Scale: As Noted

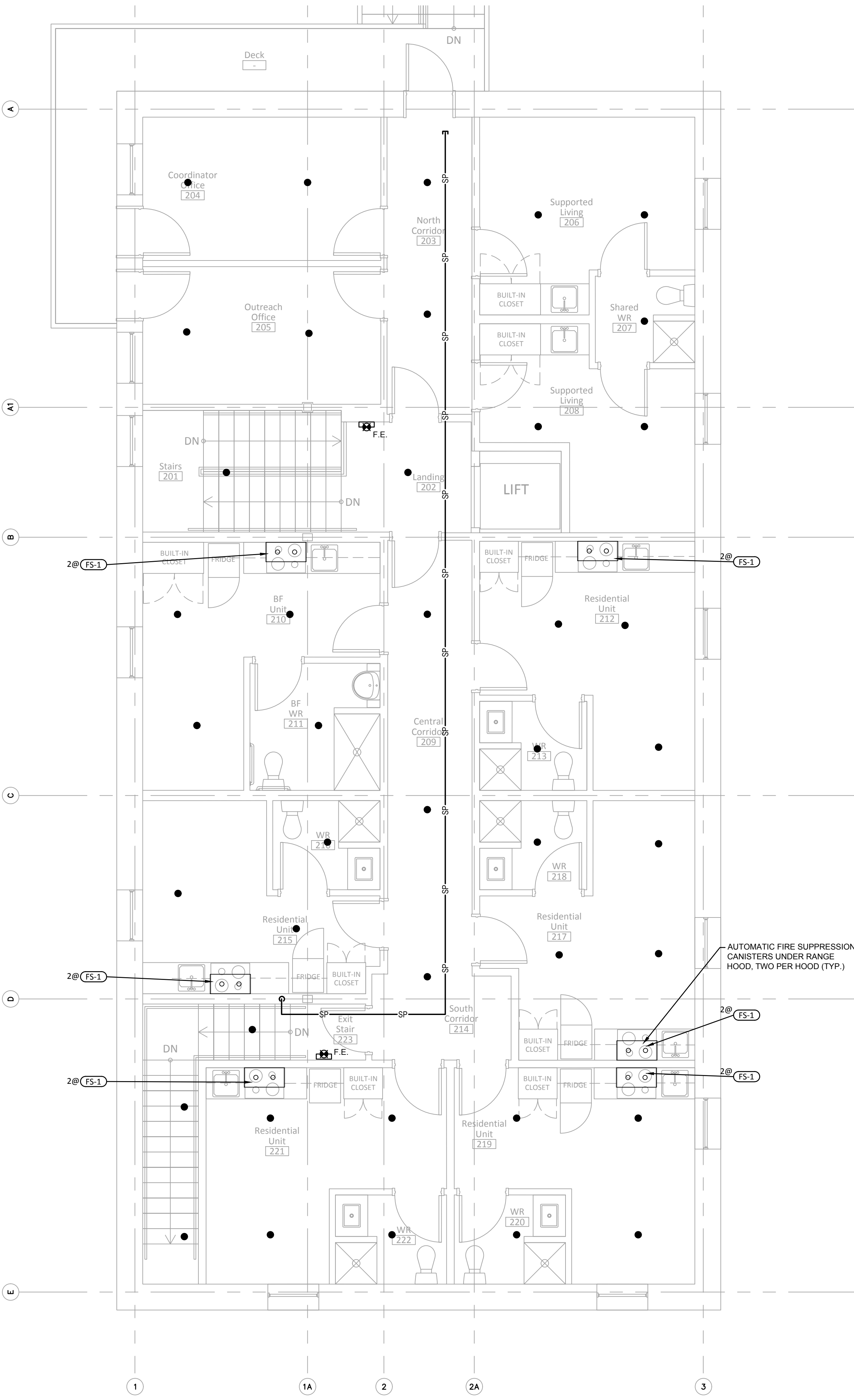
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**Mechanical Fire Protection Plans**

Project #  
**20-040**

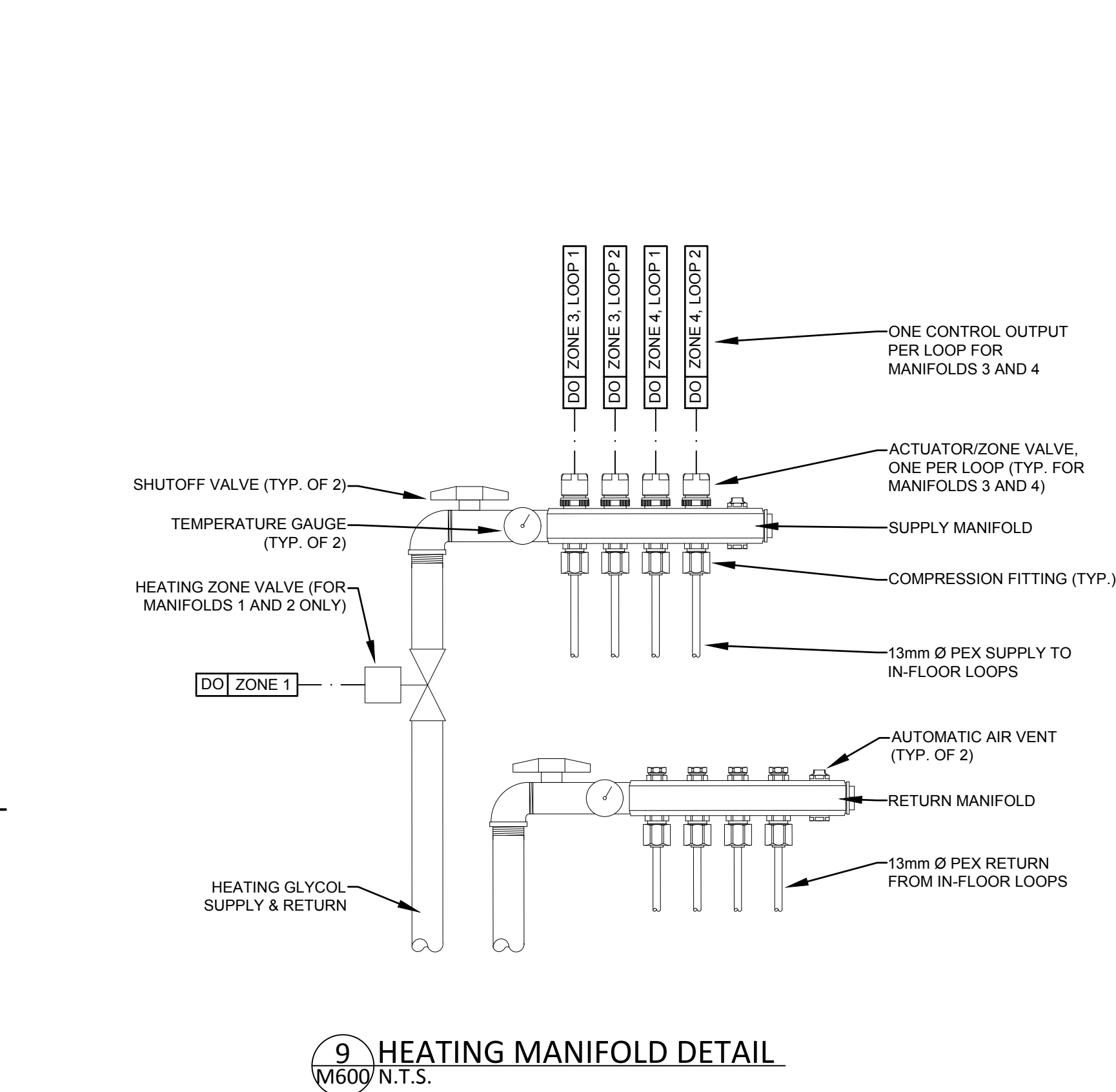
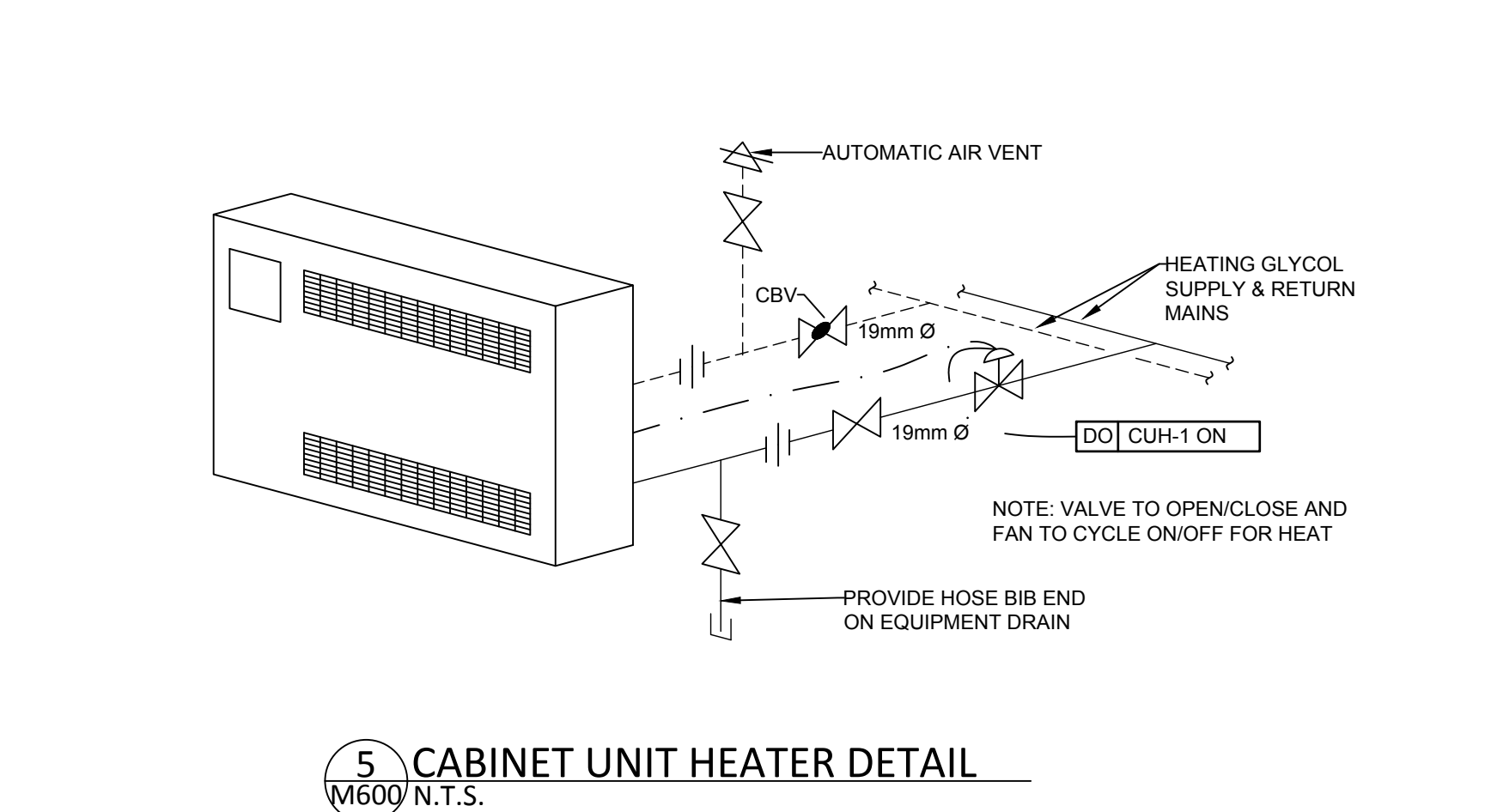
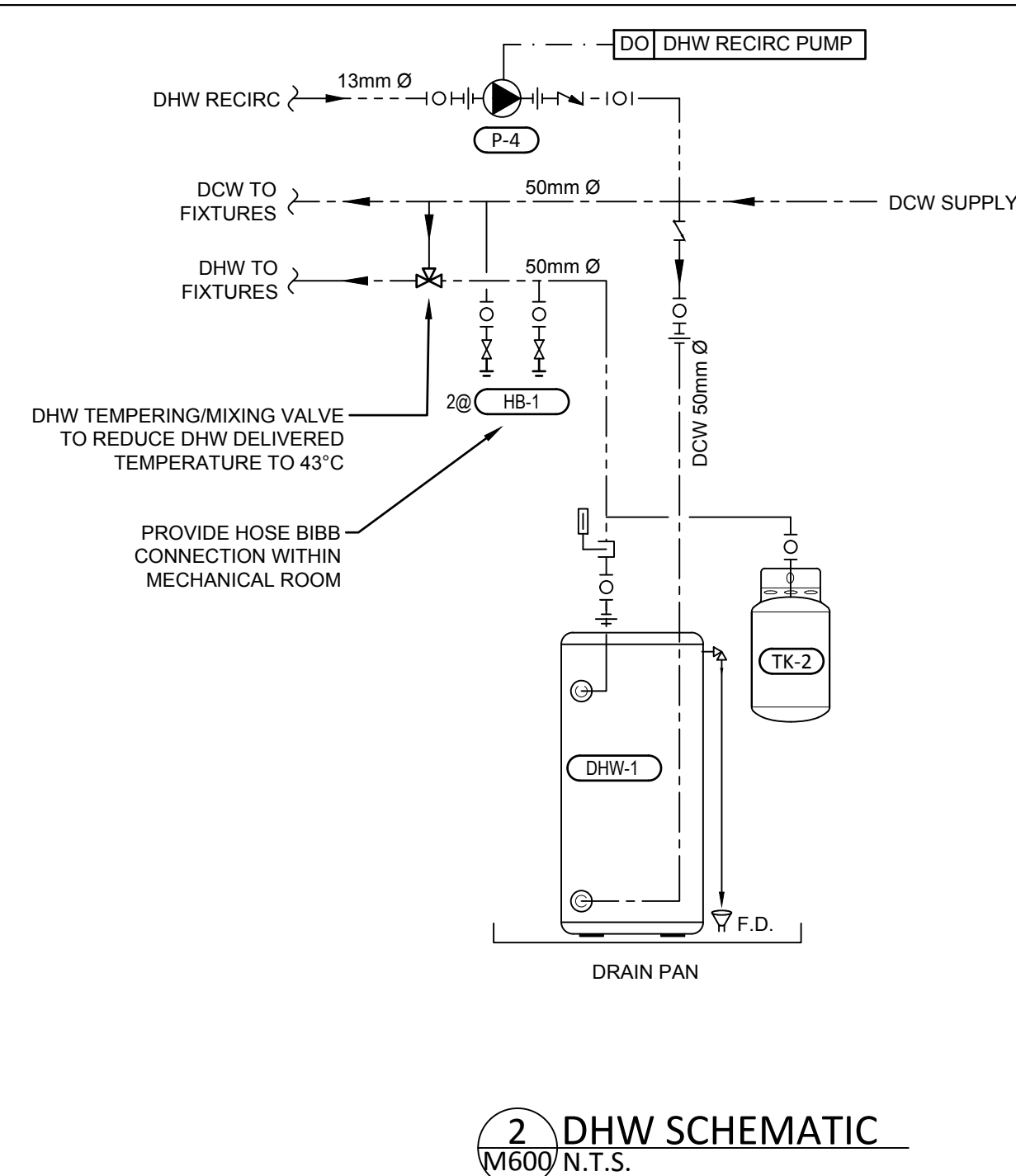
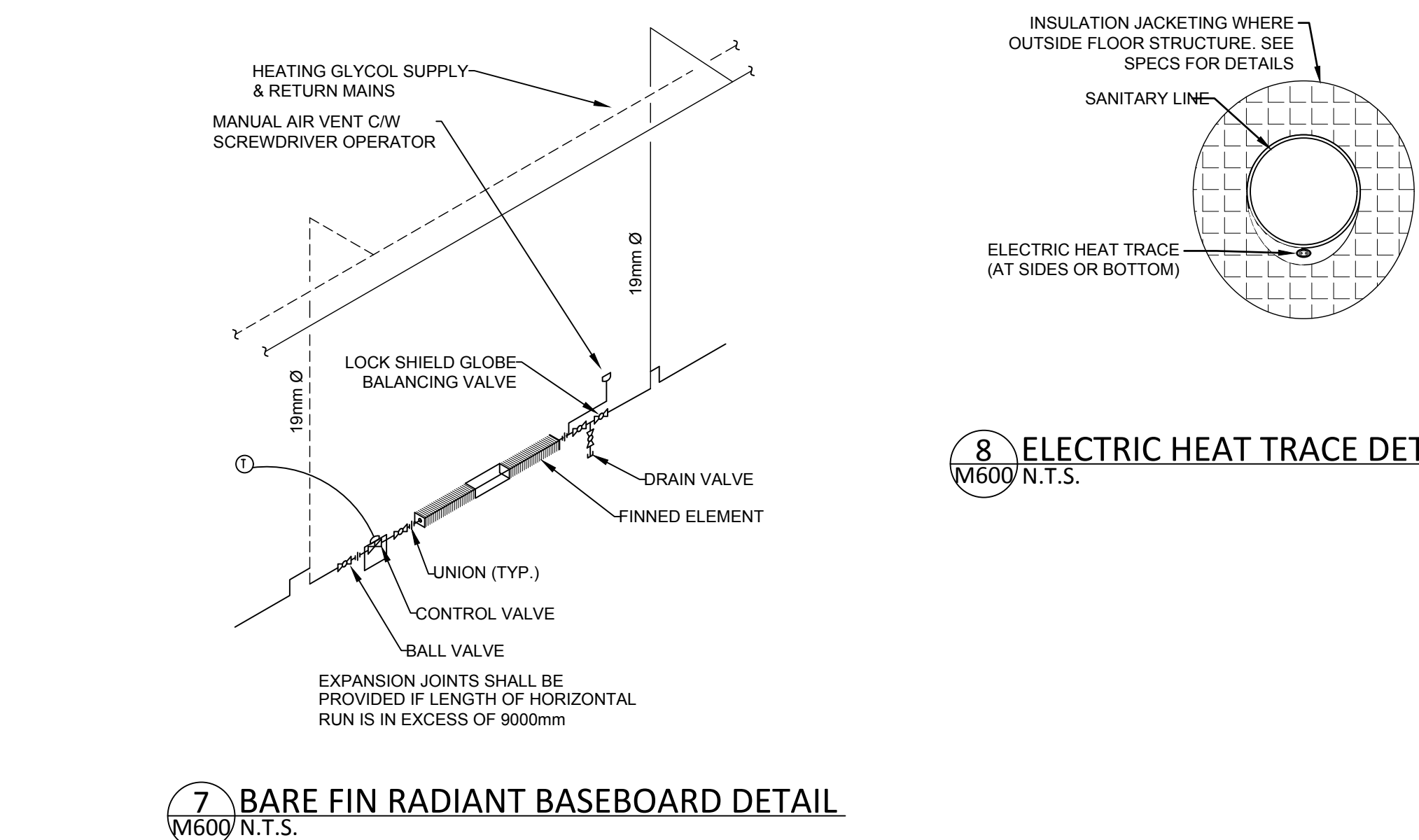
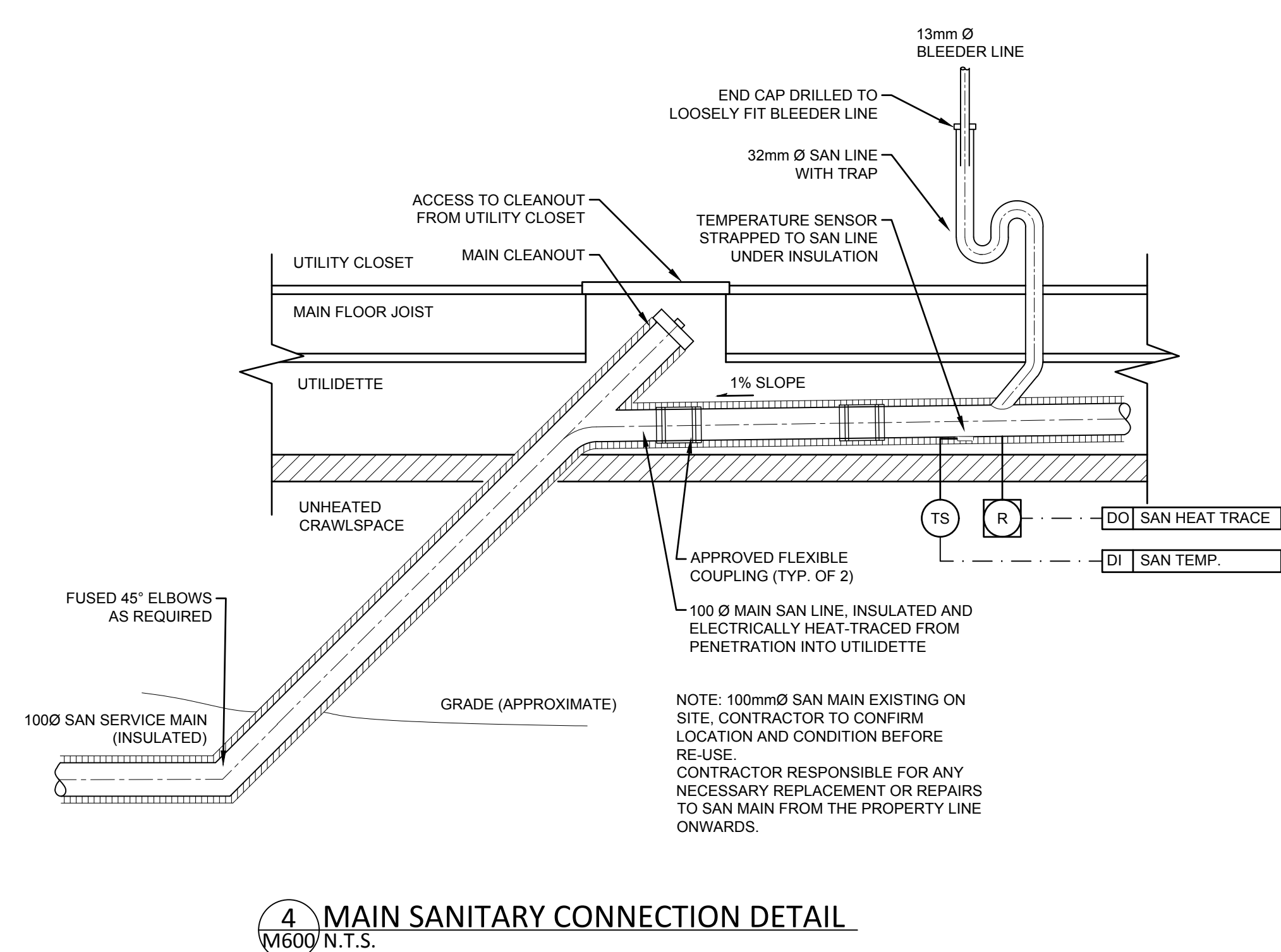
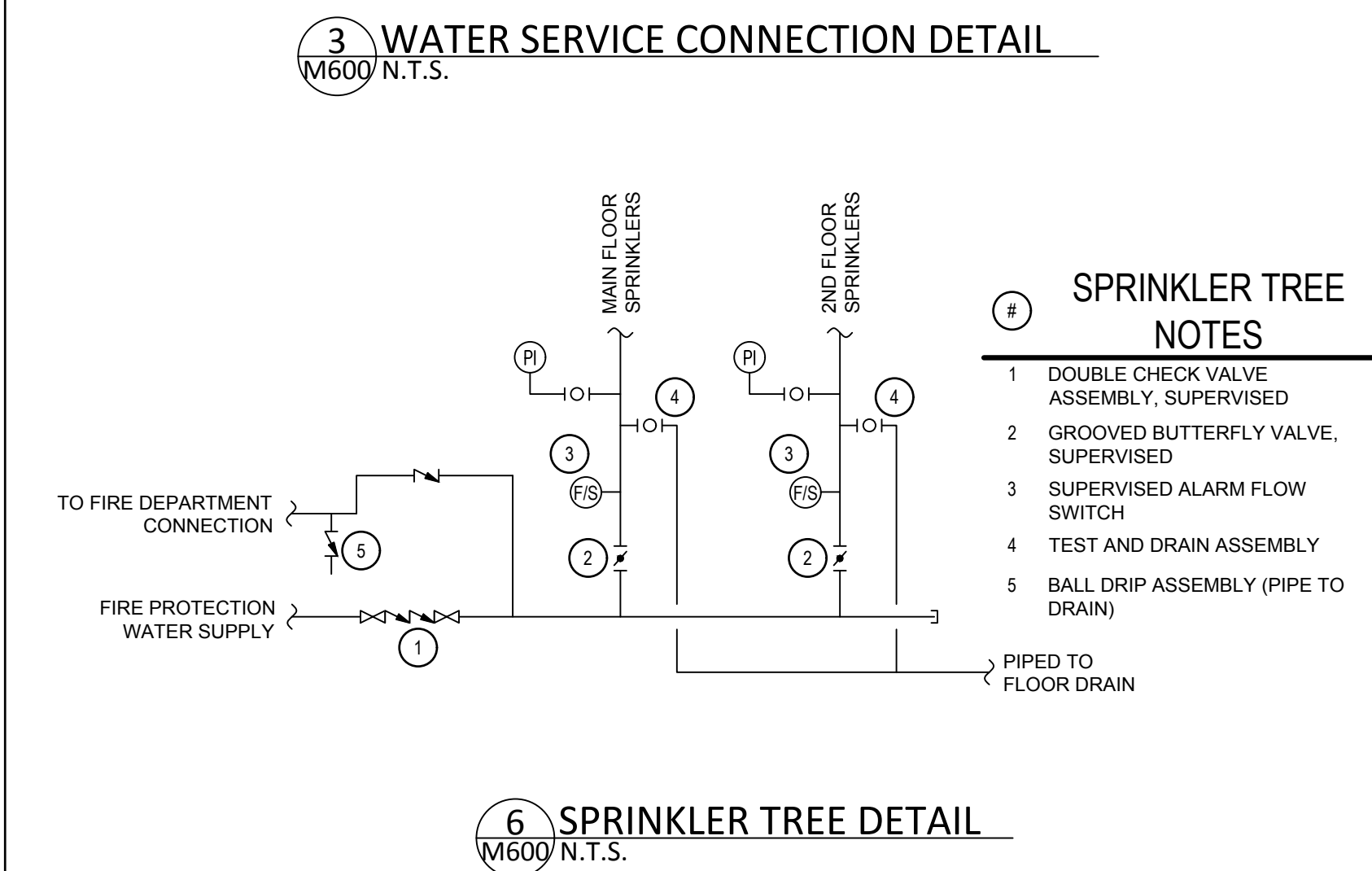
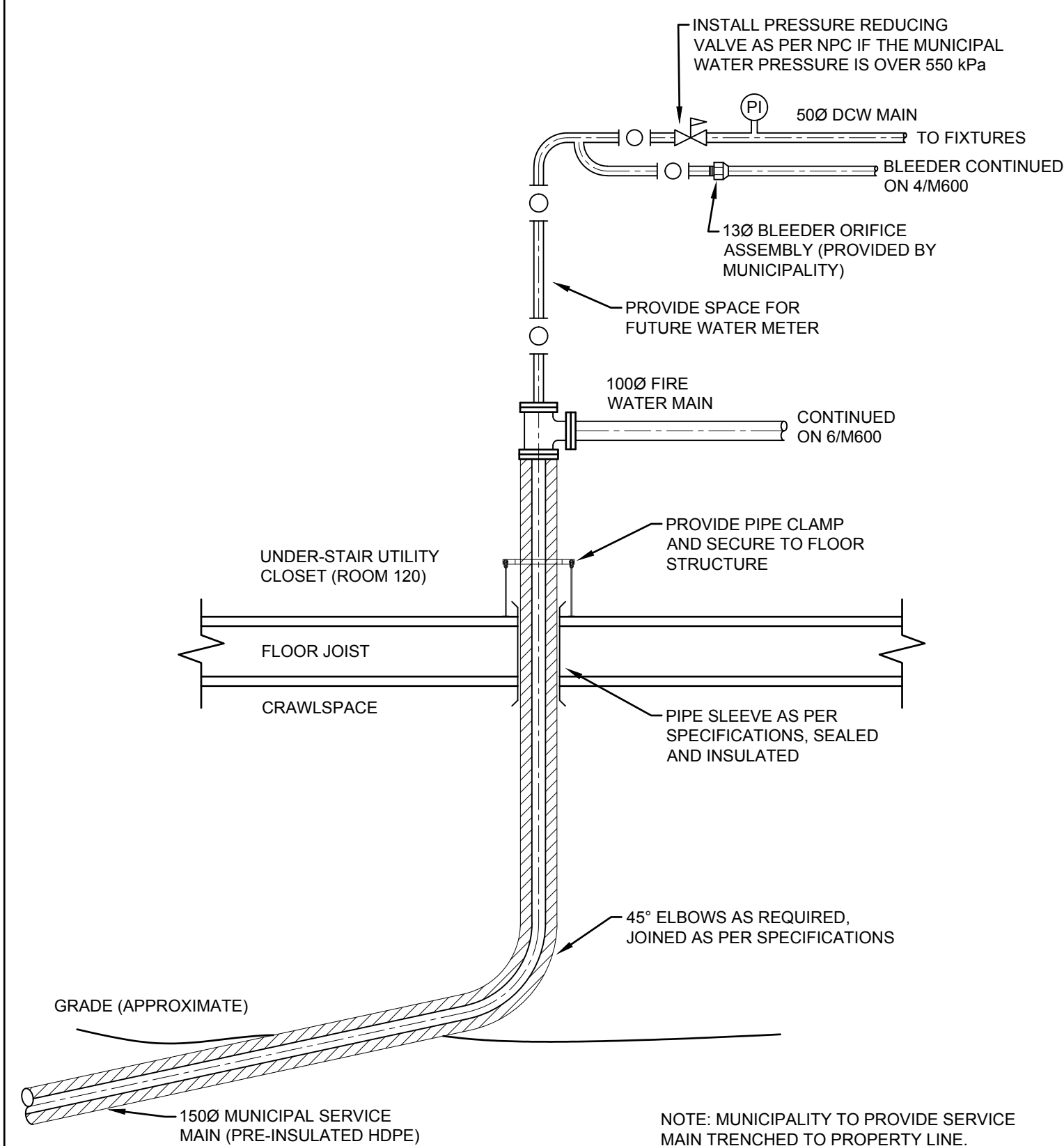
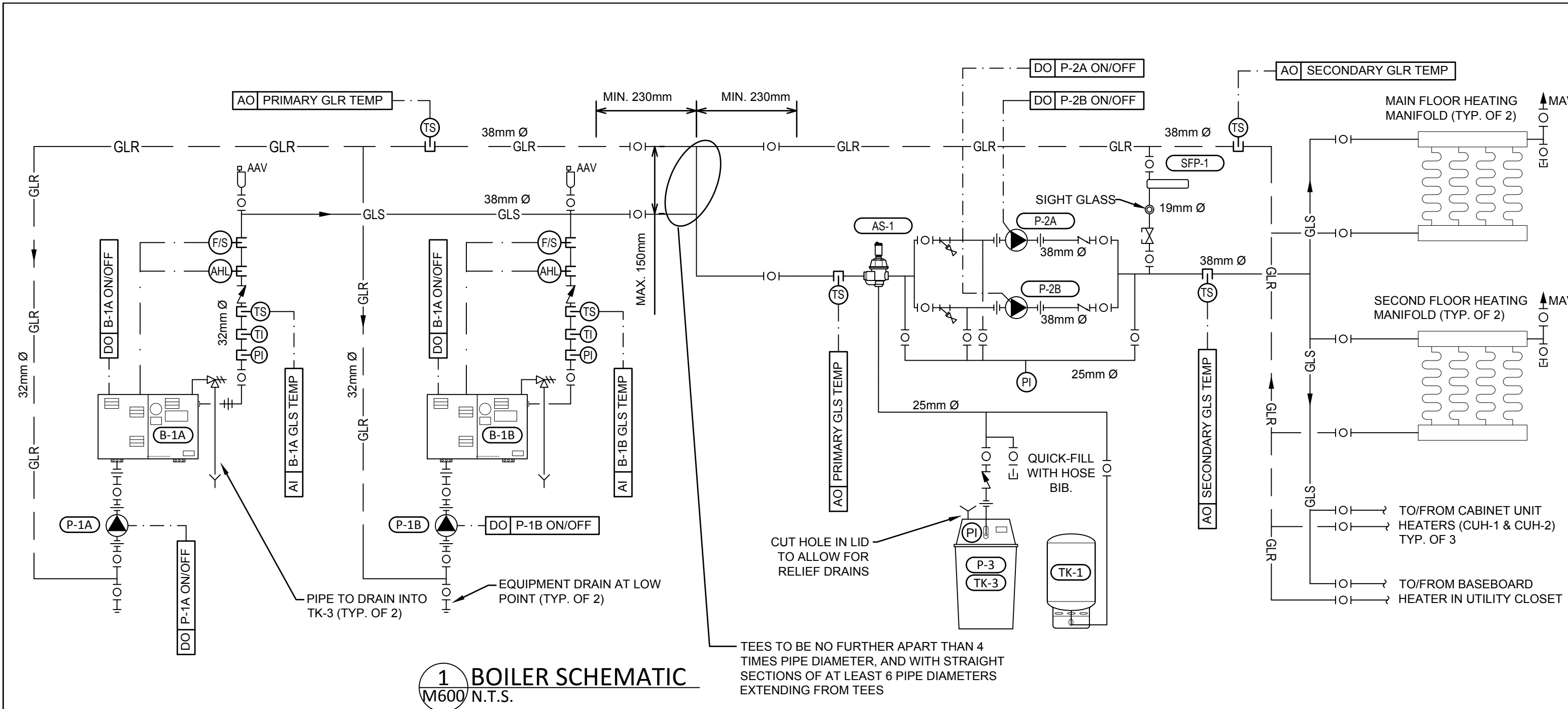
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**M500**



**1 FIRST FLOOR PLAN**  
M500 scale 1:50



**2 SECOND FLOOR PLAN**  
M500 scale 1:50



#	Date	Description
4	21-July-12	Issued for Tender
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#	Date	Description
Revisions		
Date: March 8, 2021		

Project: JEJE ZHO TH MEN'S SHELTER

Dawson, YT

project north  
true north

Sheet name:

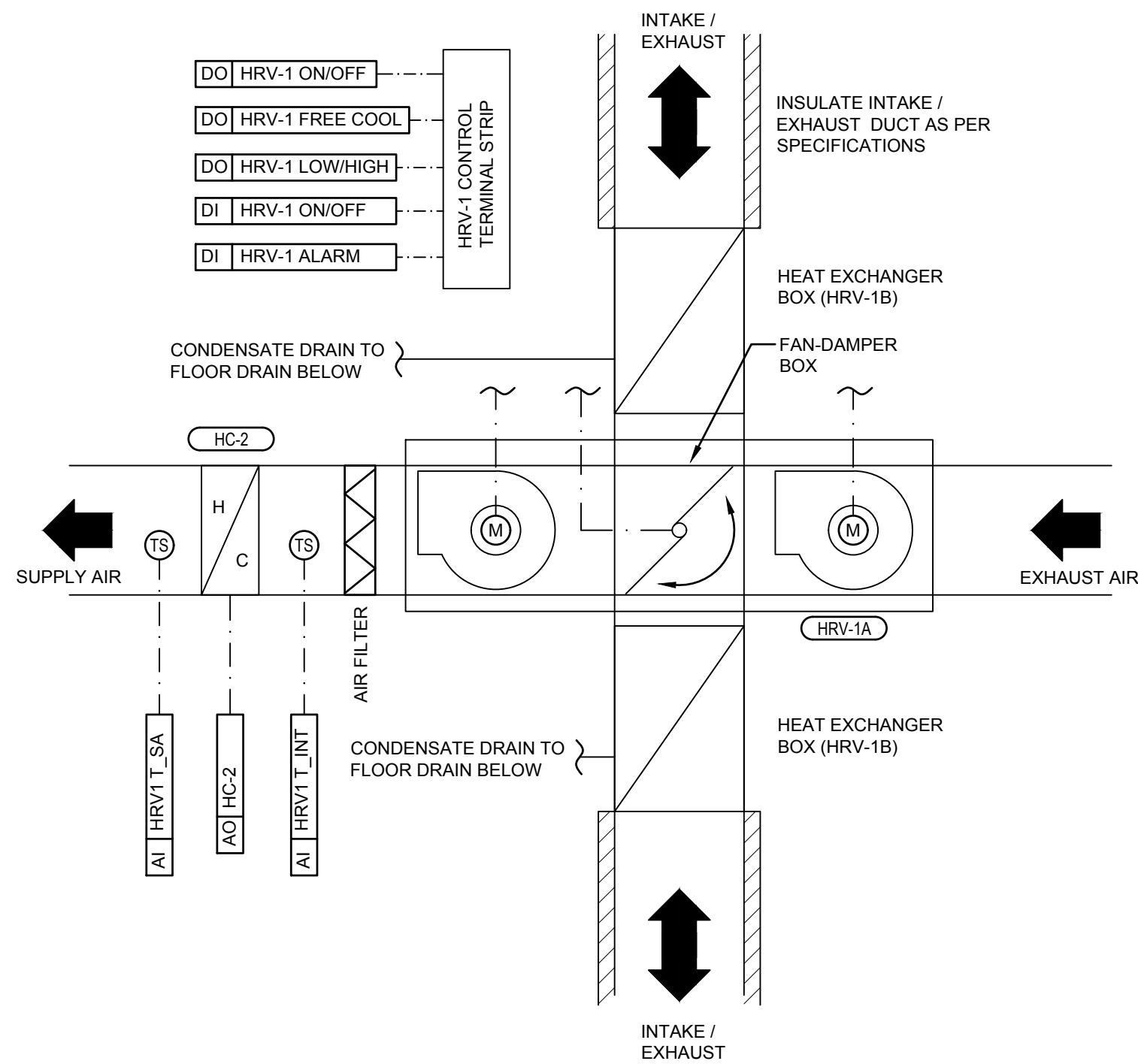
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Project #

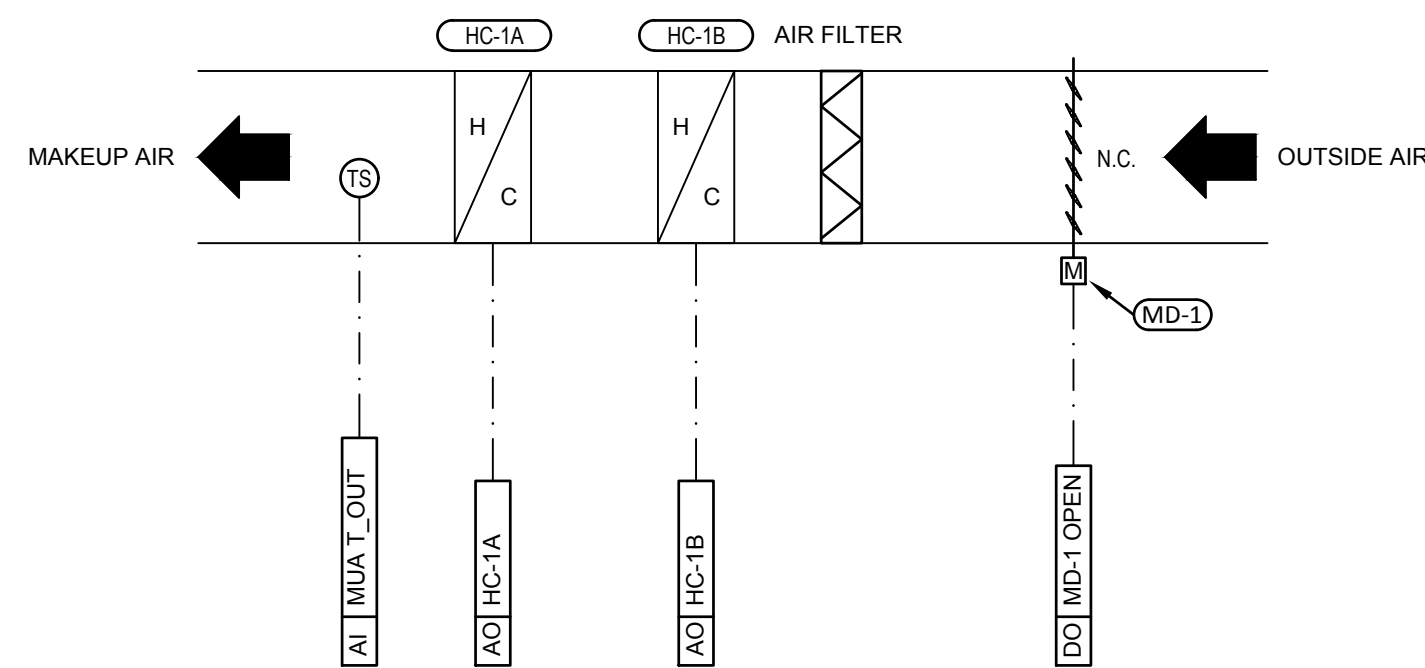
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Drawing #

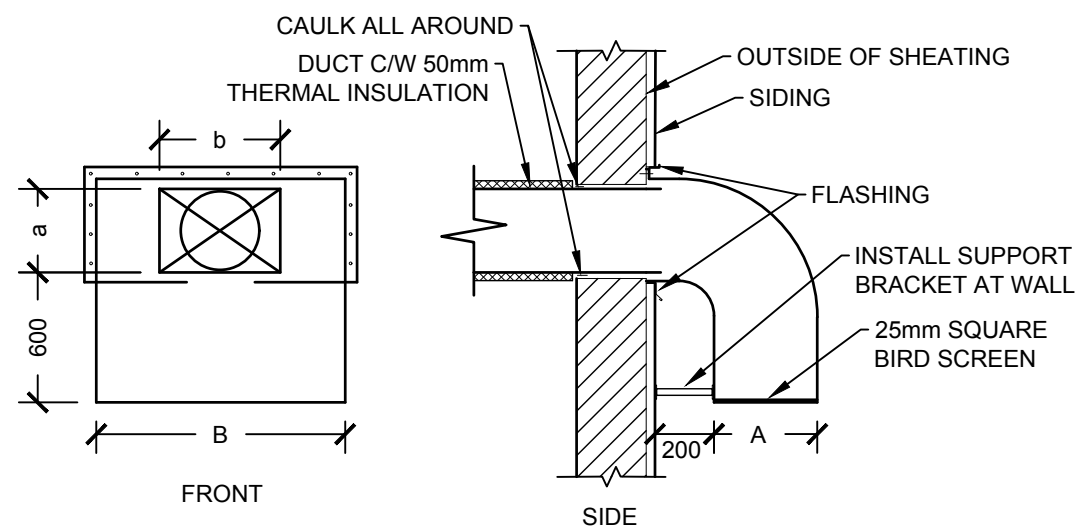
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1 HRV-1 AIR CONTROL SCHEMATIC  
M601 N.T.S.



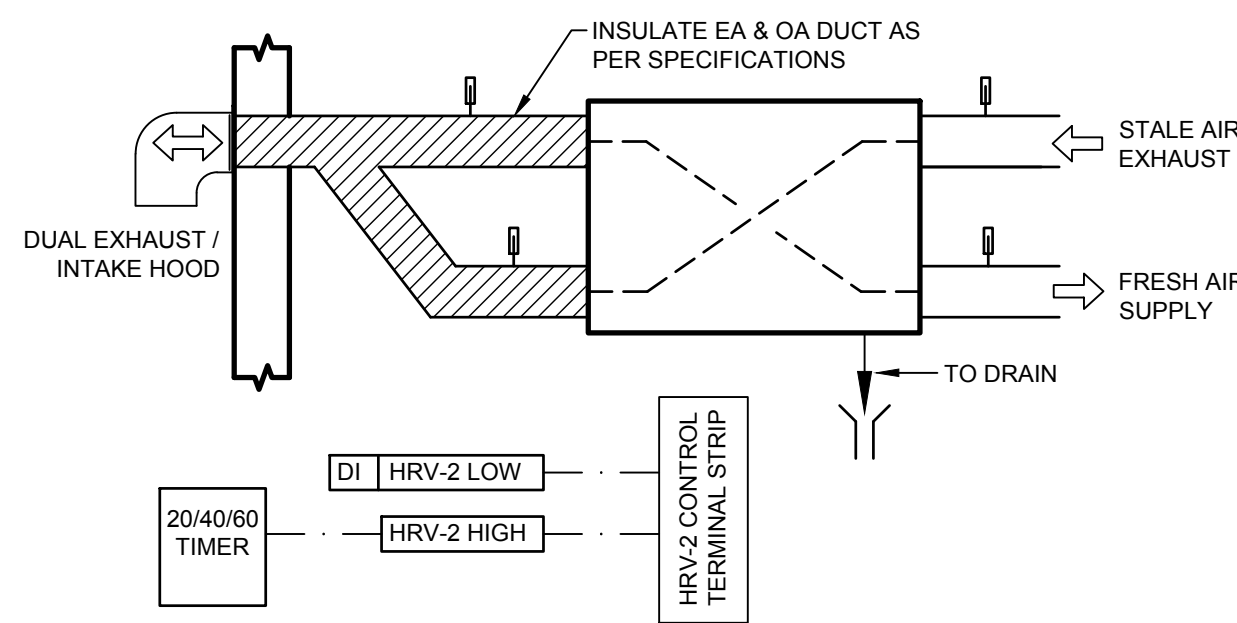
4 MAKEUP AIR CONTROL SCHEMATIC  
M601 N.T.S.



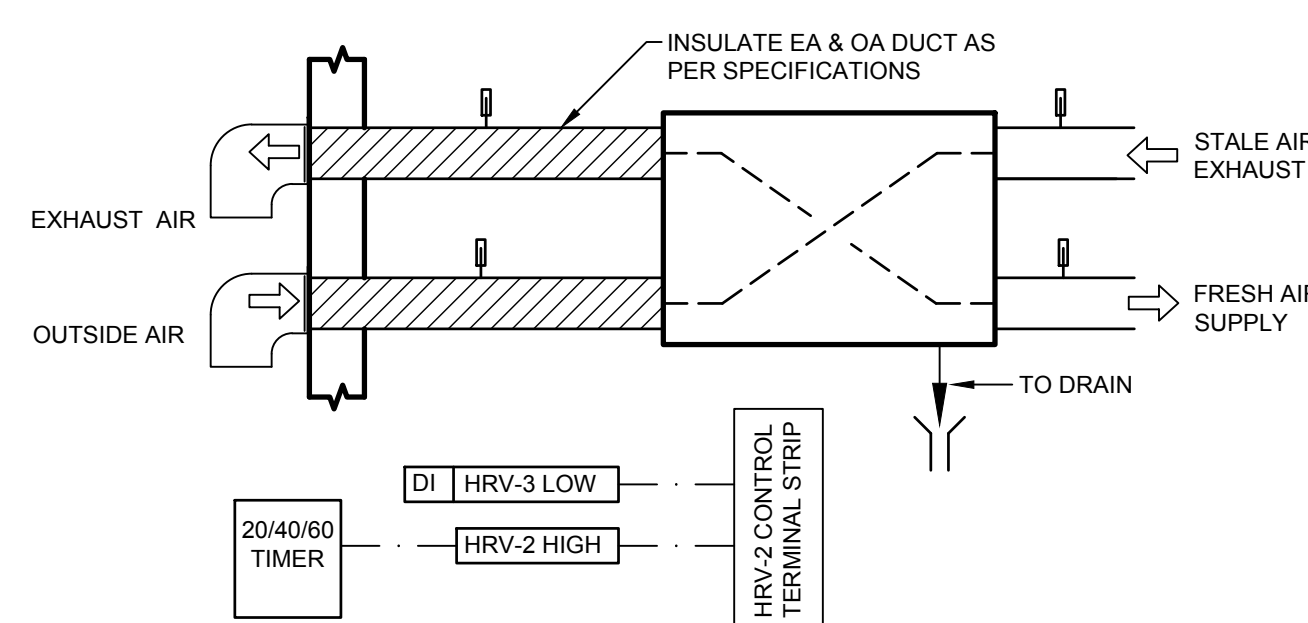
SNOWHOOD SCHEDULE						
ITEM	QTY	a	b	A	B	FUNCTION
SH-1	2	150	300	300	450	HRV-1 INTAKE/ EXHAUST
SH-2	1	200	Ø	200	325	HRV-3 EXHAUST
SH-3	1	200	Ø	200	425	HRV-3 INTAKE
SH-4	1	325	325	425	650	MAKEUP AIR INTAKE

INSTALL SNOW HOODS WITH WALL PENETRATION WITHIN 1m OF FINISHED CEILING HEIGHT

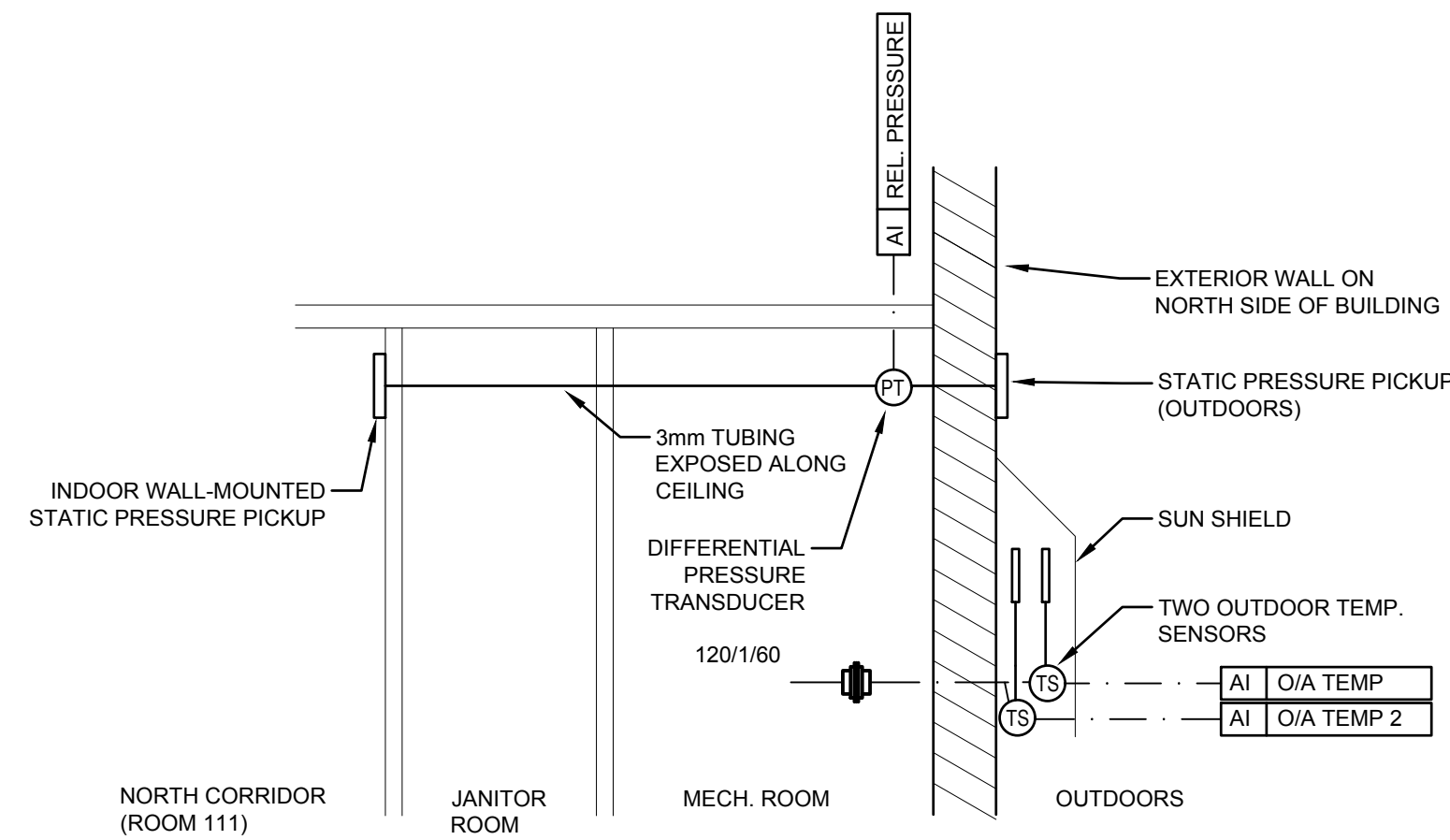
7 SNOW HOOD DETAIL  
M601 N.T.S.



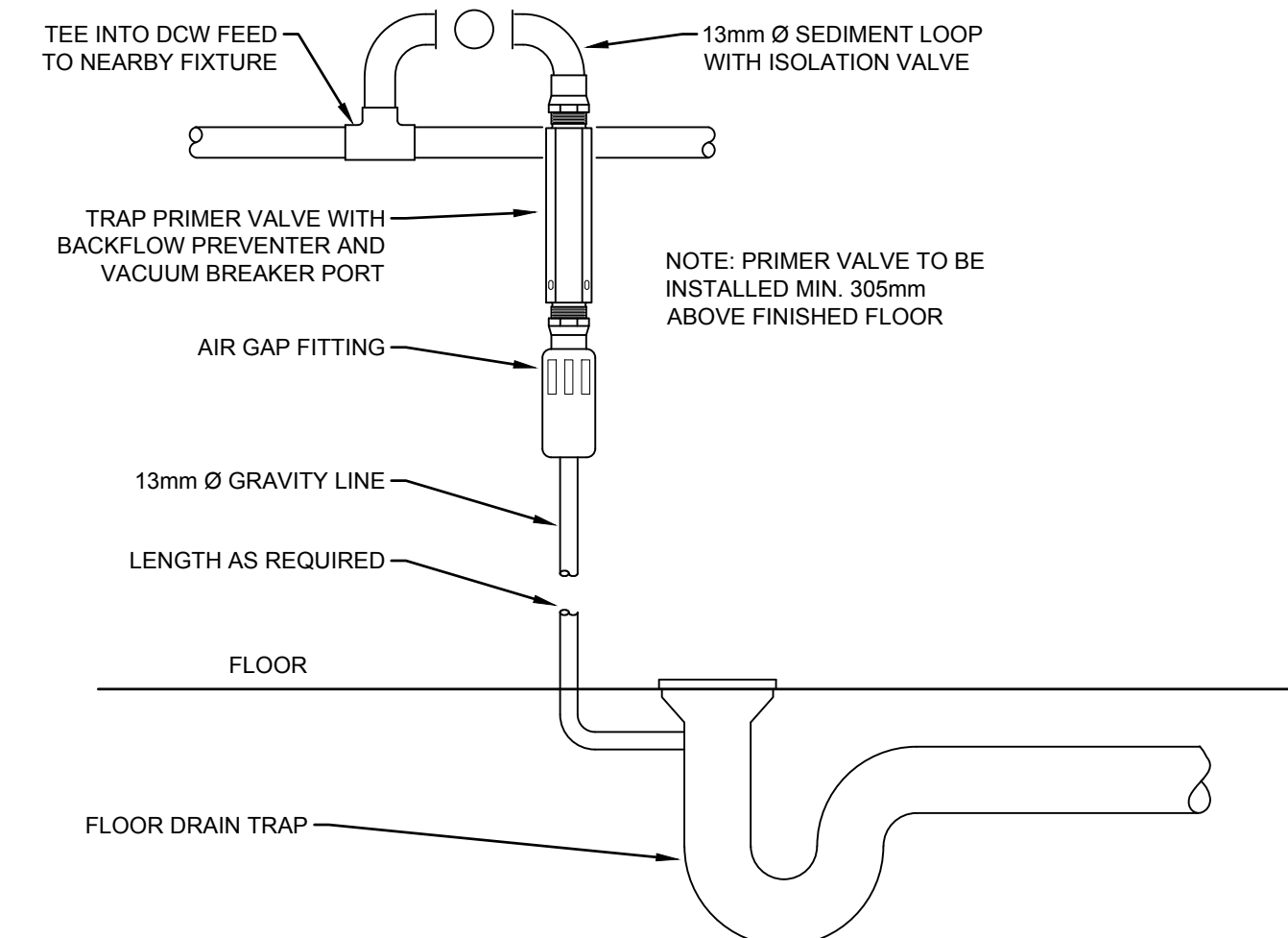
2 HRV-2 SCHEMATIC  
M601 N.T.S.



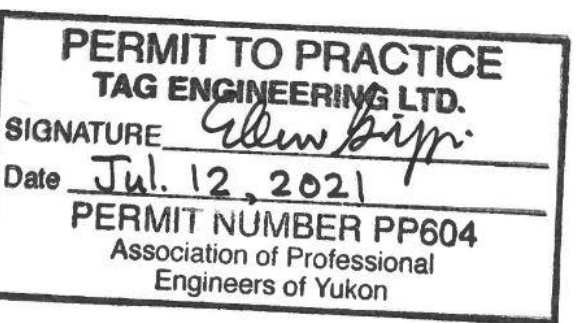
3 HRV-3 SCHEMATIC  
M601 N.T.S.



5 OUTDOOR SENSOR SCHEMATIC  
M601 N.T.S.



6 FLOOR DRAIN TRAP PRIMER DETAIL  
M601 N.T.S.



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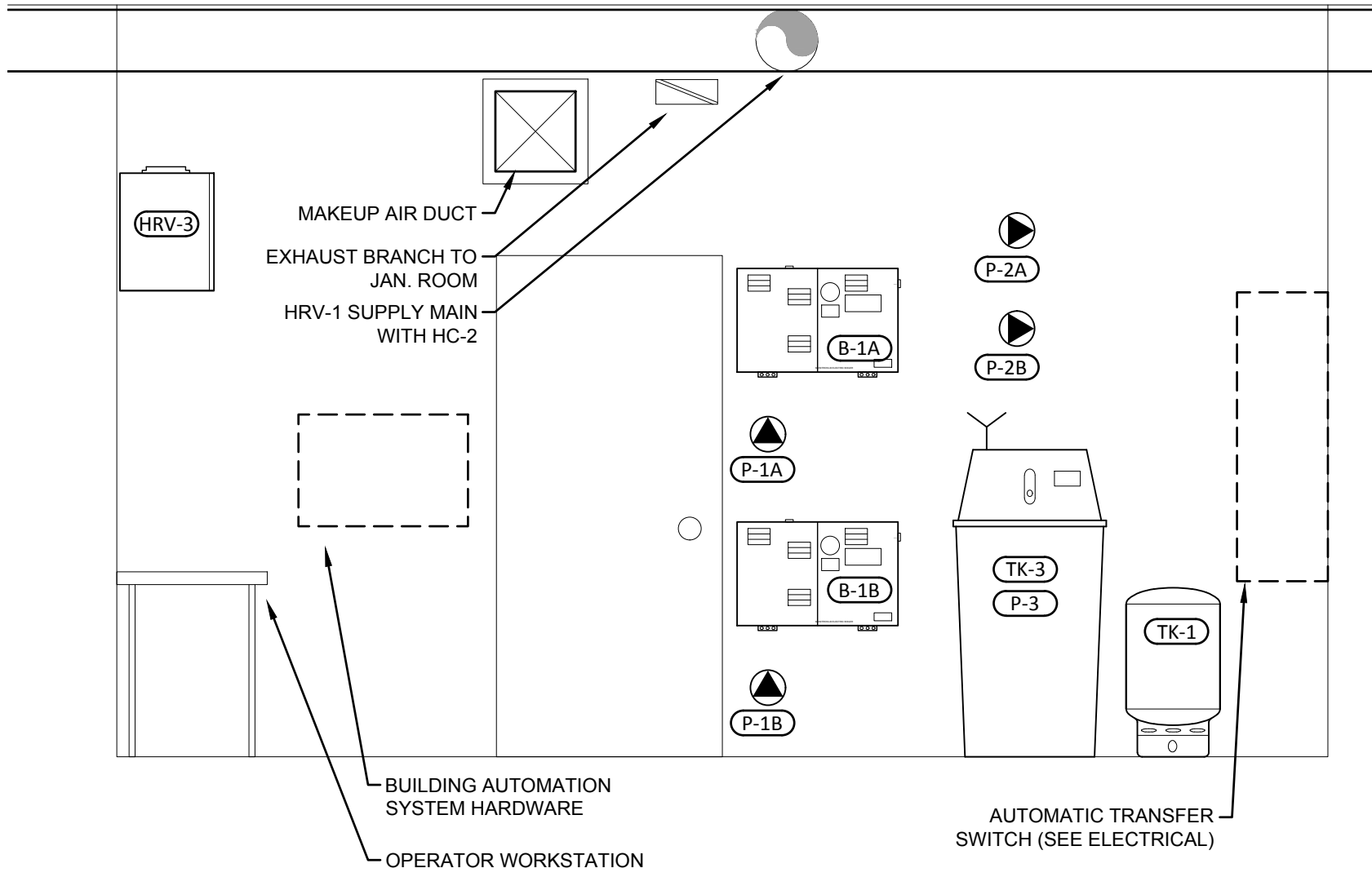
Project: JEJE ZHO TH MEN'S SHELTER  
Dawson, YT

project north true north	Design by: N.S. Drawing by: A.M., J.L. Scale: As Noted
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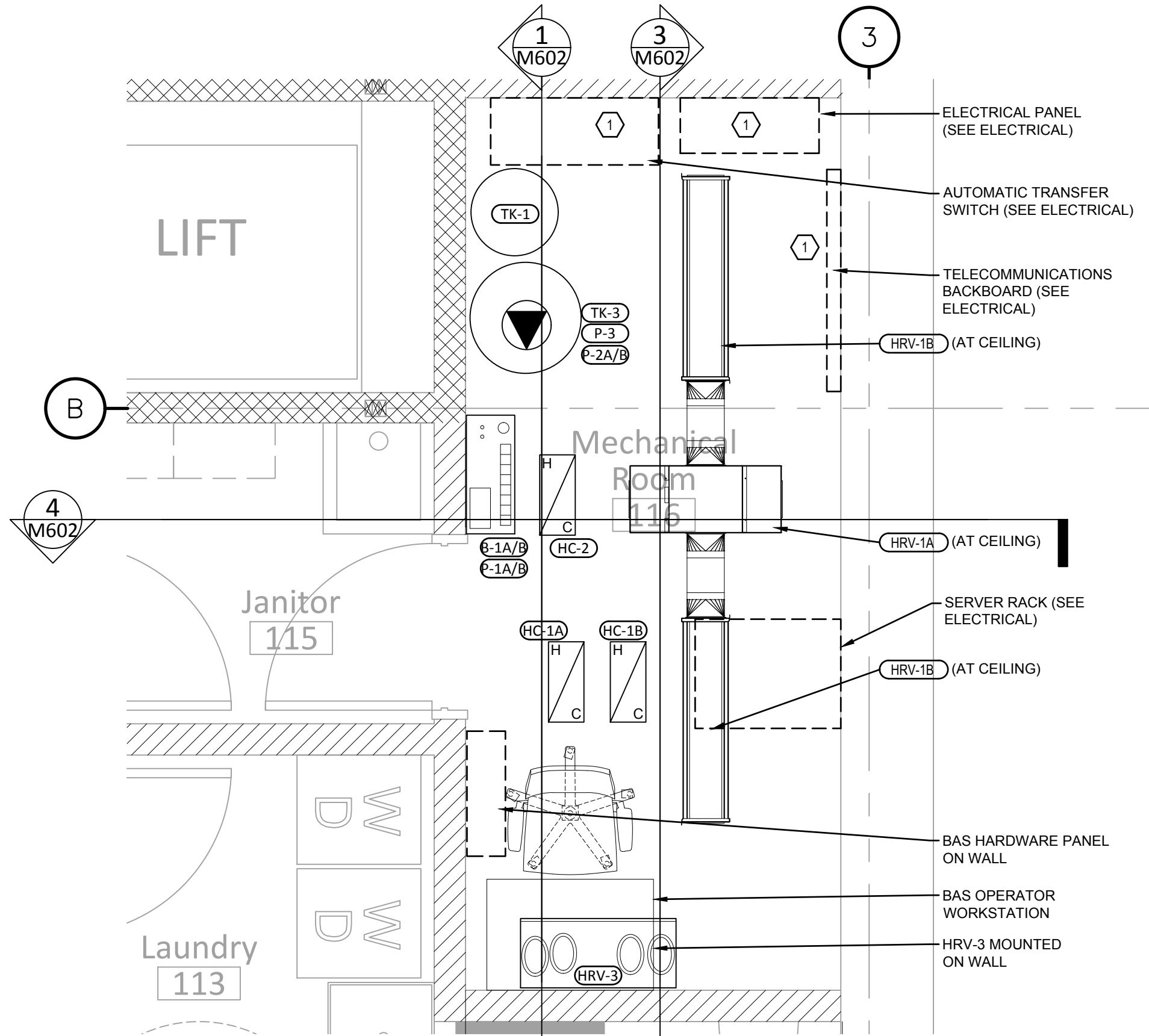
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Mechanical Schematics and Details 2

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20-040

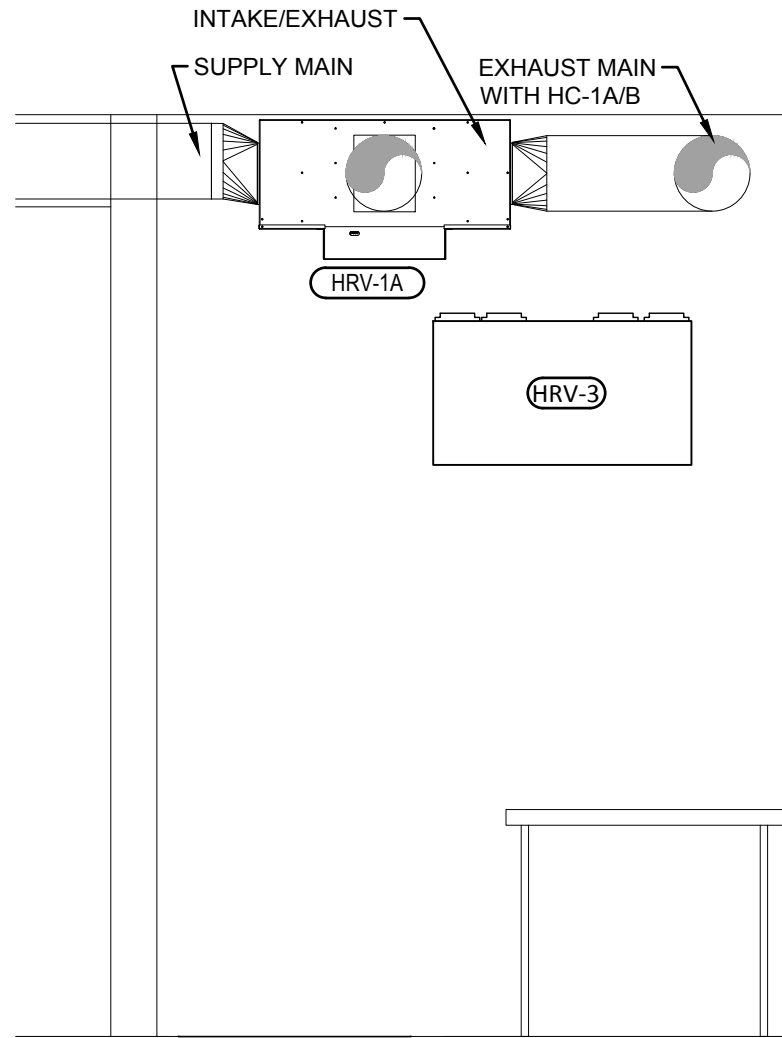
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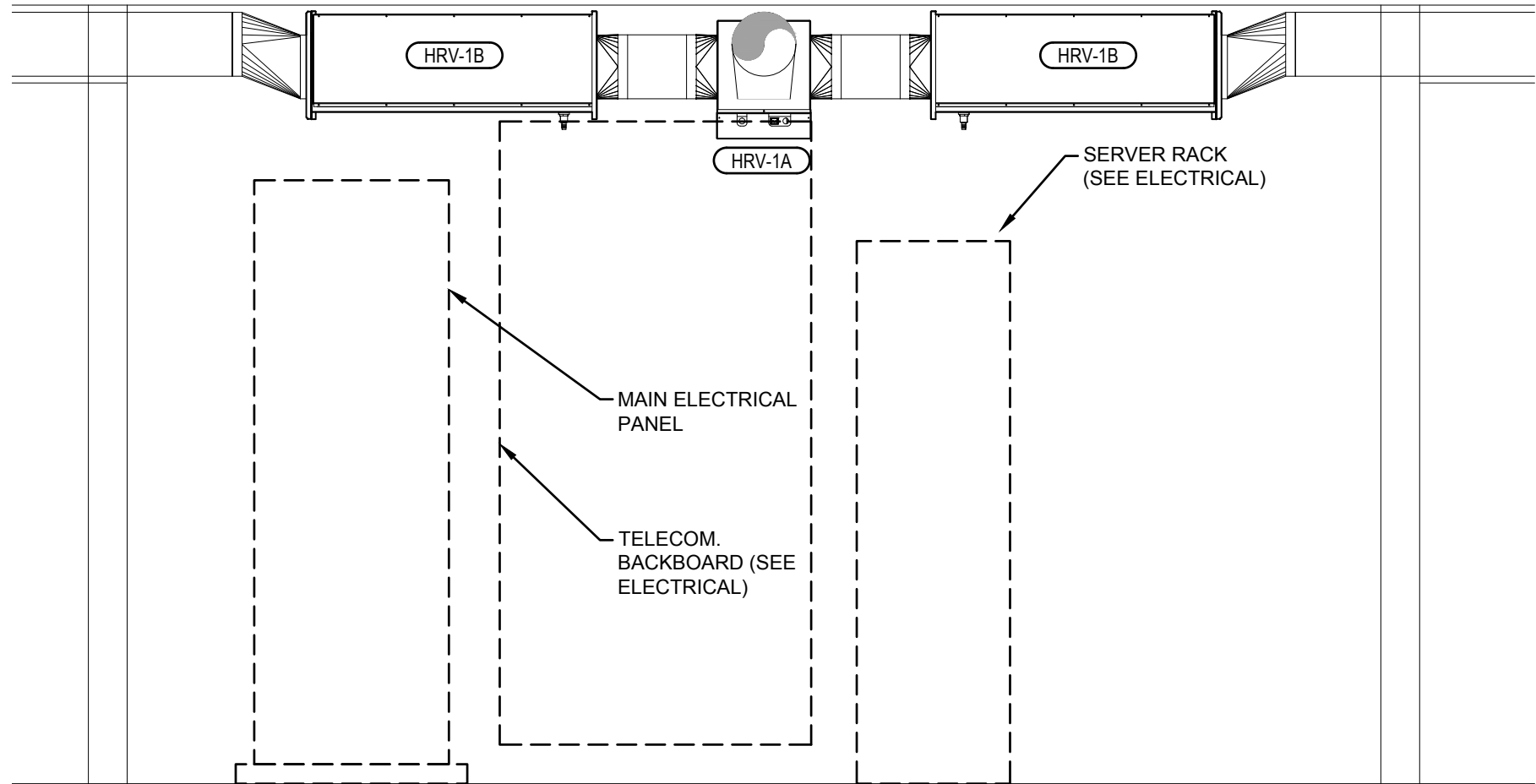
1 MECHANICAL ROOM WEST WALL (MAJOR EQUIPMENT ONLY)  
M602 scale 1:25



2 MECHANICAL ROOM PLAN (MAJOR EQUIPMENT ONLY)  
M602 scale 1:25

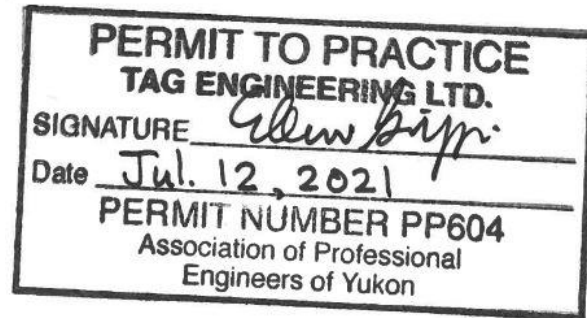


4 MECHANICAL ROOM SOUTH SECTION (MAJOR EQUIPMENT ONLY)  
M602 scale 1:25



3 MECHANICAL ROOM EAST WALL (MAJOR EQUIPMENT ONLY)  
M602 scale 1:25

KEYNOTES
1 ELECTRICAL EQUIPMENT REQUIRES 1m CLEARANCE IN FRONT. SEE ELECTRICAL DRAWINGS.



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Revisions  
Date: March 8, 2021

Project: JEJE ZHO TH MEN'S SHELTER  
Dawson, YT

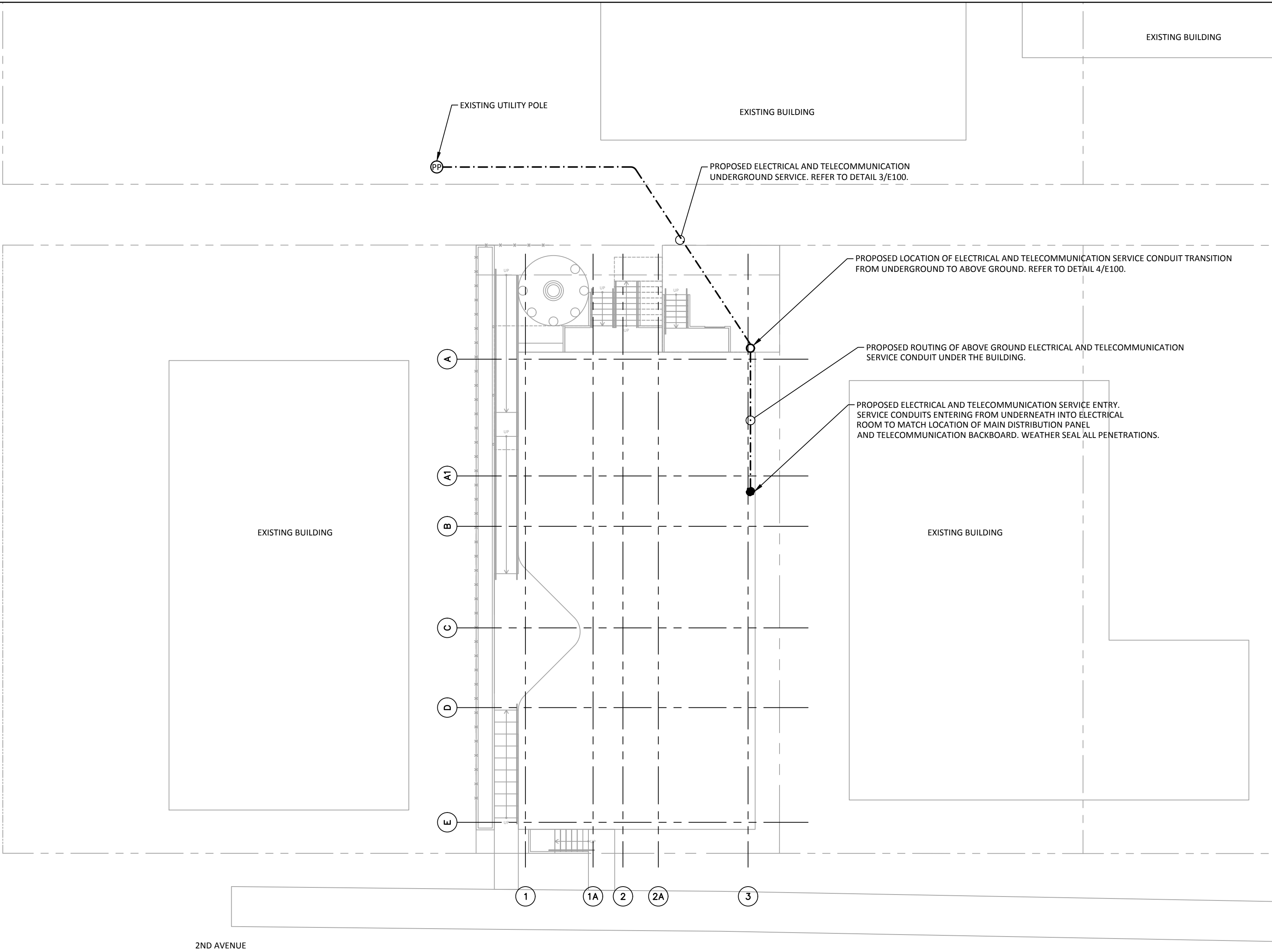
project north true north	Design by: N.S. Drawing by: A.M., J.L. Scale: As Noted
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Sheet name:  
Mechanical Room Layouts

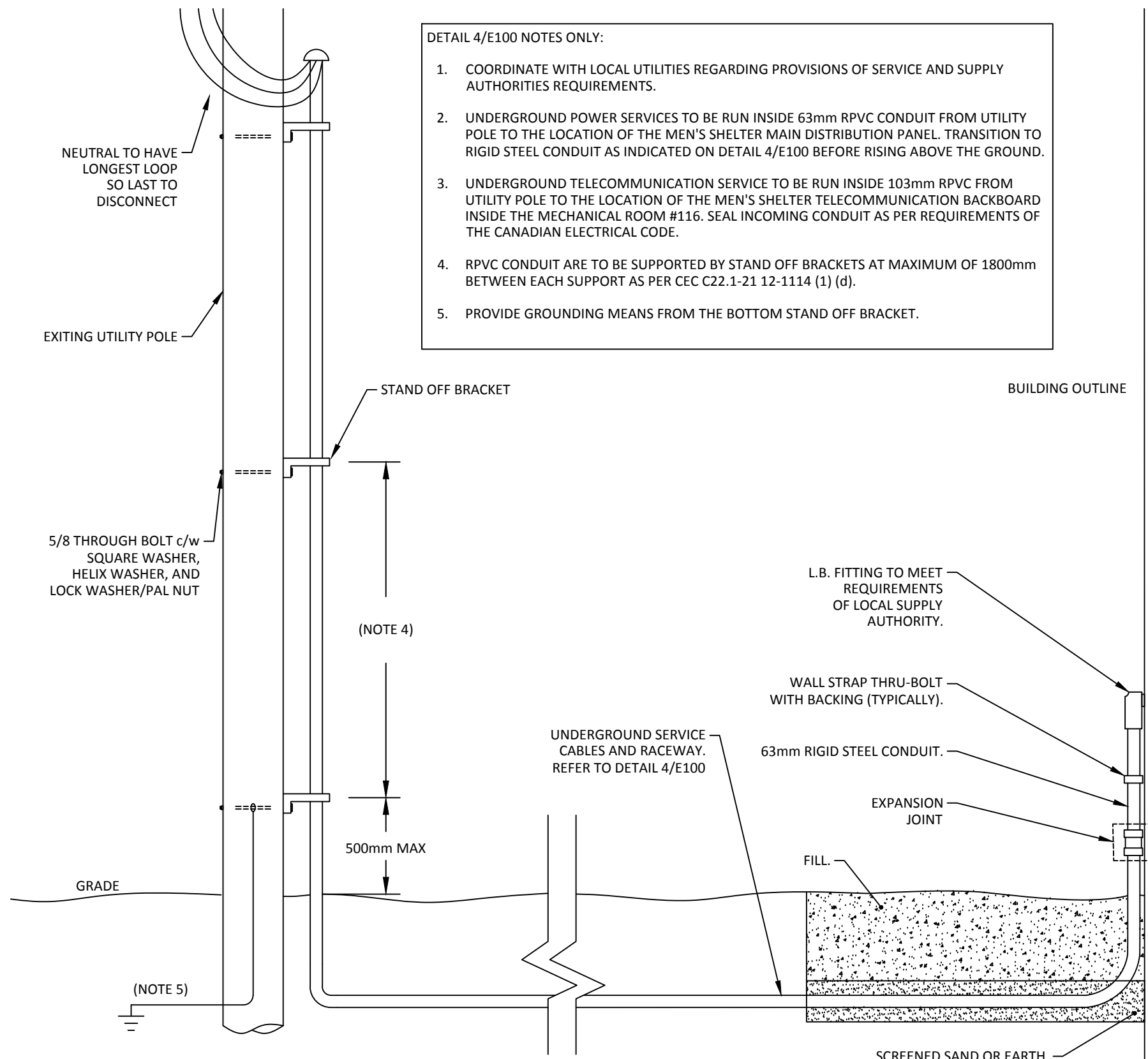
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Drawing #  
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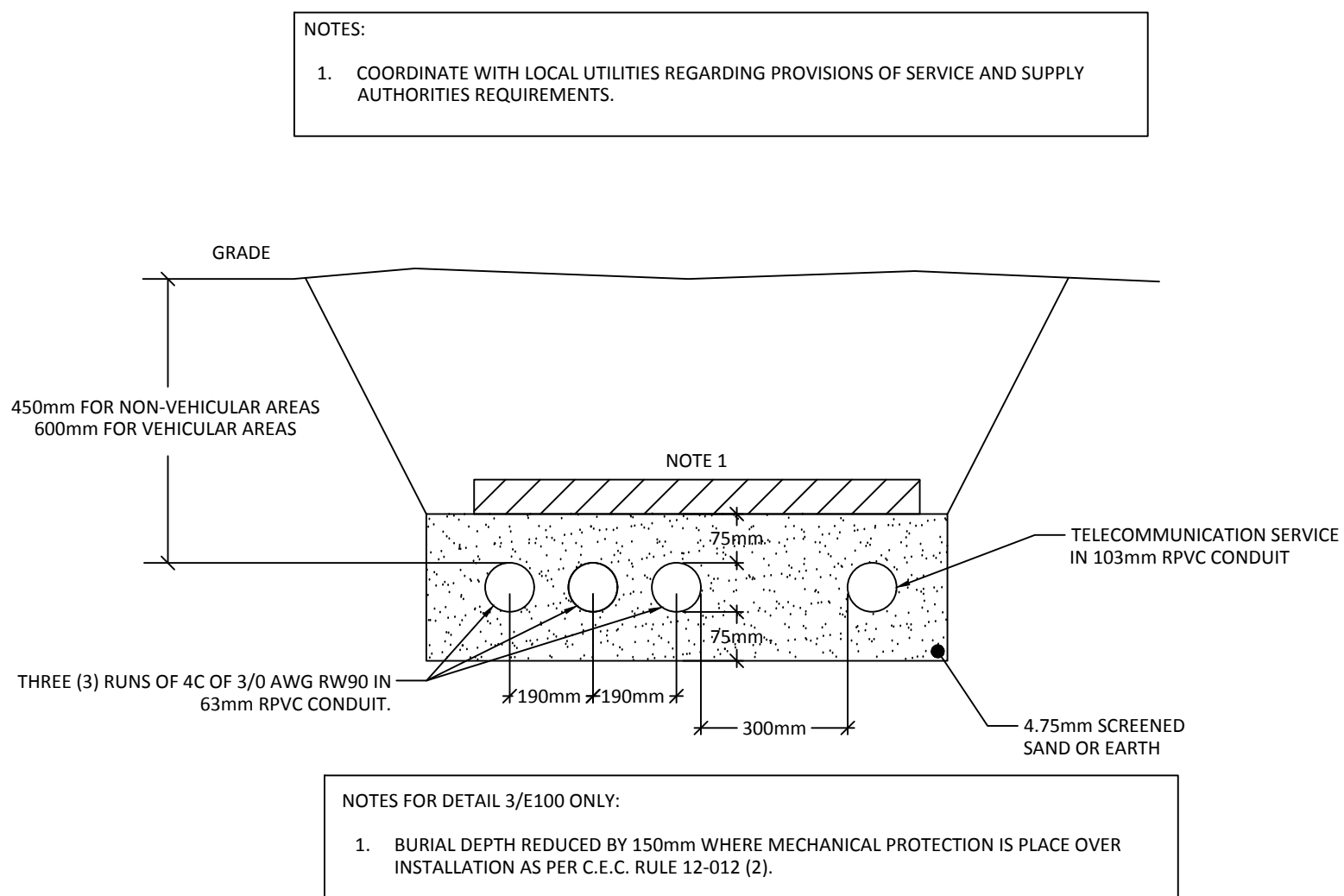
1 Electrical Site Layout  
E100 scale 1:150



4 Electrical and Telecommunication Service Entry Detail  
E100 scale N.T.S.

SYMBOL LEGEND			
LIGHTING		POWER	
	RECESSED MOUNTED 610x1219MM LUMINAIRE		DUPLEX 5-15R RECEPTACLE
	RECESSED MOUNTED STRIP LUMINAIRE 1219MM LONG		DUPLEX 5-15R RECEPTACLE WITH INTEGRAL GFCI
	STRIP LUMINAIRE 1219MM LONG		DUPLEX 5-20R RECEPTACLE
	SUSPENDED STRIP LUMINAIRE 1219MM LONG		SPECIAL PURPOSE RECEPTACLE
	RECESSED MOUNTED STRIP LUMINAIRE 915MM LONG		WALL MOUNTED JUNCTION BOX
	STRIP LUMINAIRE 610MM LONG		CEILING MOUNTED JUNCTION BOX
	WALL MOUNTED LUMINAIRE 610MM LONG		UTILITY POLE
	RECESSED MOUNTED DOWNLIGHT LESS THAN 152MM		MOTOR
	RECESSED MOUNTED DOWNLIGHT		ELECTRICAL PANEL
	WALL MOUNTED LUMINAIRE	FD	FRIDGE
	WALL MOUNTED EXIT SIGN (SINGLE FACE)	FR	FREEZER
	CEILING MOUNTED EXIT SIGN (SINGLE FACE)	R	RANGE
	EMERGENCY BATTERY PACK c/w 2 LAMPS	RH	RANGE HOOD
	WALL MOUNTED REMOTE EMERGENCY HEAD c/w 2 LAMPS	D	DRYER
SWITCHES		W	WASHER
	LINE VOLTAGE SWITCH (1-GANG)	TR	TAMPER RESISTANT
	LINE VOLTAGE SWITCH (2-GANG)	M	MICROWAVE
	LINE VOLTAGE SWITCH (3-GANG)	WP	WEATHER PROOF
	LINE VOLTAGE 3-WAY SWITCH	●	INDICATES DEVICE ABOVE COUNTER TOP
	LINE VOLTAGE 4-WAY SWITCH		MANUAL MOTOR PROTECTION
	CEILING MOUNTED OCCUPANCY SENSOR	COMMUNICATION	
	WALL MOUNTED OCCUPANCY SENSOR		WALL MOUNTED STRUCTURED WIRING OUTLET (# INDICATES QUANTITY OF CABLES)
FIRE ALARM SYSTEM			WALL MOUNTED TV OUTLET
	FIRE ALARM SMOKE DETECTOR		CEILING MOUNTED WIRELESS ACCESS POINT
	SMOKE ALARM c/w CARBON MONOXIDE DETECTOR	CCTV SYSTEM	
	FIRE ALARM HEAT DETECTOR (TYPE AS INDICATED)		WALL MOUNTED FIXED TYPE CAMERA
	FIRE ALARM MANUAL STATION	ACCESS CONTROL SYSTEM	
	WALL MOUNTED FIRE ALARM HORN/STROBE		ACCESS CONTROL ELECTRIC LOCK
	CEILING MOUNTED FIRE ALARM HORN/STROBE		PUSHBUTTON
	FIRE ALARM PIEZO SOUNDER		DOOR POSITION SWITCH
	FIRE ALARM CONTROL PANEL		CARD READER
	FIRE ALARM ISOLATOR		"PRESS TO RELEASE" PUSH BUTTON
	FIRE ALARM END-OF-LINE		ACCESS DOOR CONTROLLER
	FIRE ALARM FLOW SWITCH CONNECTION		
	FIRE ALARM TAMPER SWITCH CONNECTION		
	FIRE ALARM RELAY		

2 Symbol Legend  
E100 scale N.T.S.



3 Electrical and Telecommunication Conduit Burial Detail  
E100 scale N.T.S.



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SIGNATURE: *P. Ziminski*  
Date: *July 14, 2021*  
PERMIT NUMBER PP604  
Association of Professional Engineers of Yukon

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Revisions  
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Project: JEJE ZHO TH MEN'S SHELTER

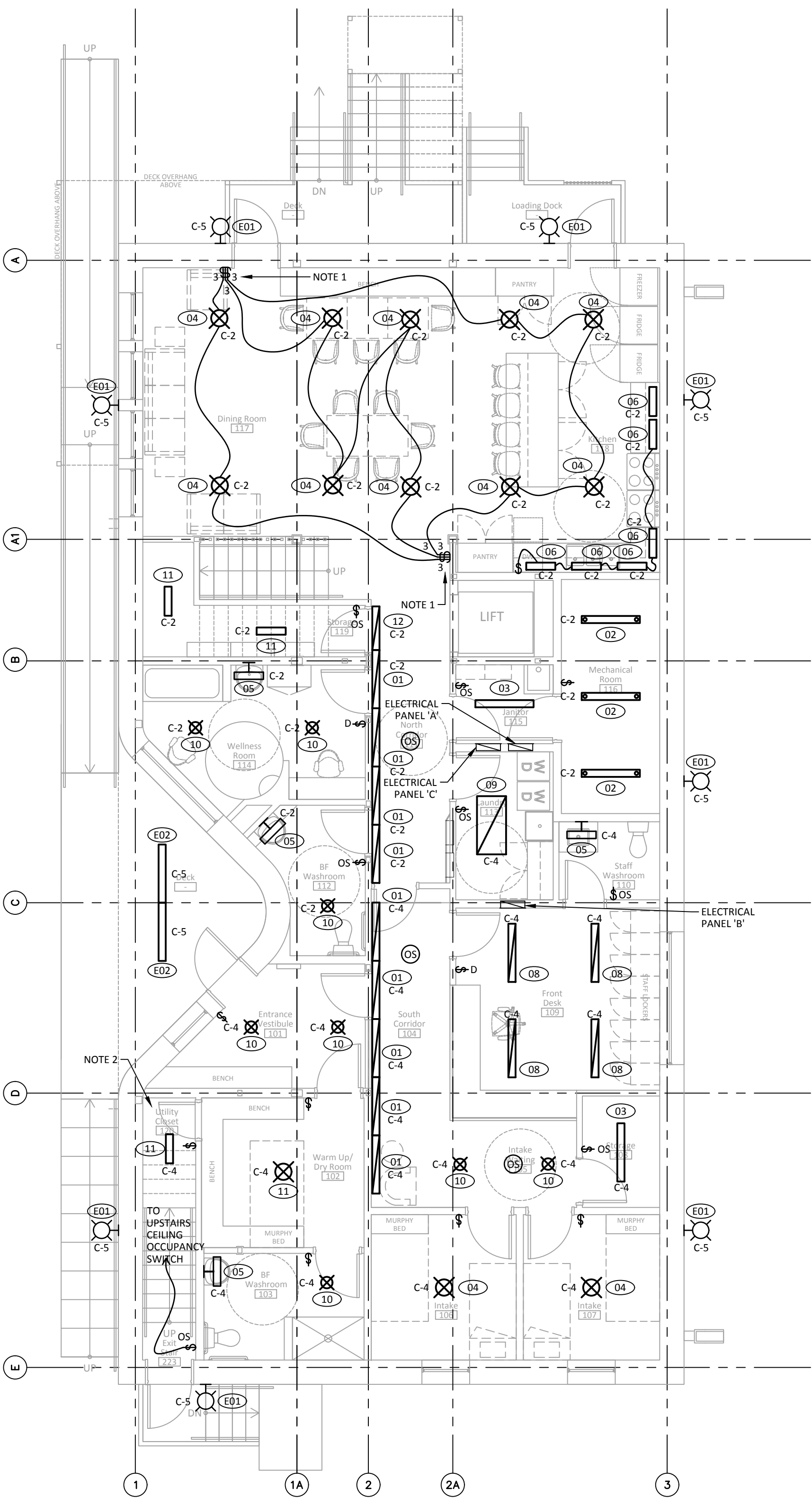
Dawson City, YT

project north true north	Design by: P.Z.
	Drawing by: M.T.
	Scale: As Noted

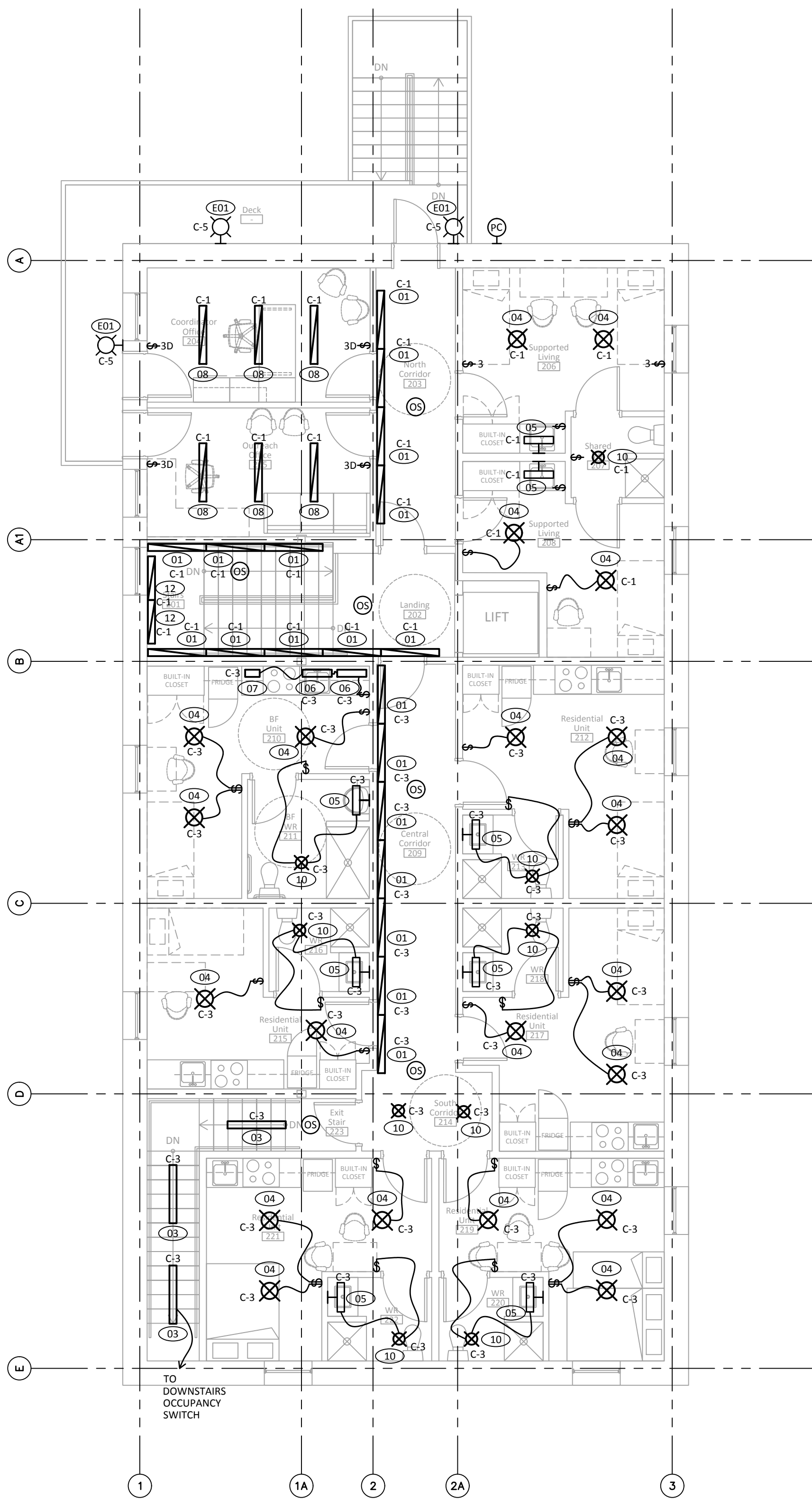
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Electrical Site Layout and Symbol Legend

Project #  
20-040

Drawing #  
E 1 0 0



1 Main Floor: Lighting Layout  
E101 scale 1:75



2 Second Floor: Lighting Layout  
E101 scale 1:75

LUMINAIRE SCHEDULE	
01	COVE MOUNTED LED LIGHTING 1219MM LONG, 3500K, 350 LUMENS PER FOOT, 4.75 WATTS PER FOOT, 80 CRI, 120V LED DRIVER, ACRYLIC FROSTED LENS, EXTRUDED ALUMINUM HOUSING. TO BE LUMENWERK VIA 1.5 LED, XAL LIGHTING BASO 1.5, METALUMEN RAIL 1 RML SERIES OR EQUAL AND APPROVED.
02	SUSPENDED MOUNTED 1219MM STRIP LED LIGHTING, 3500K, 2200 LUMENS, 16 WATTS, 80 CRI, 120V LED DRIVER, SEMI FROSTED LENS, WIRE GUARD, DIE FORMED COLD ROLLED STEEL HOUSING WITH CHANNELS, CHAIN HANGER, ND A WHITE ENAMEL FINISH. TO BE COOPER LIGHTING METALUX SNLED, COLUMBIA LIGHTING LCL, AIMLITE SZ0LS SERIES OR EQUAL AND APPROVED.
03	SURFACE MOUNTED 1219MM STRIP LED LIGHTING, 3500K, 2200 LUMENS, 16 WATTS, 80 CRI, 120V LED DRIVER, SEMI FROSTED LENS, DIE FORMED COLD ROLLED STEEL HOUSING WITH CHANNELS, AND A WHITE ENAMEL FINISH. TO BE COOPER LIGHTING METALUX SNLED, COLUMBIA LIGHTING LCL, AIMLITE SZ0LS SERIES OR EQUAL AND APPROVED.
04	RECESSED MOUNTED 305MM DIAMETER LED DOWNLIGHT, 3000K, 1300 LUMENS, 18 WATTS, 120V, 0-10V DIMMABLE LED DRIVER, ALUMINUM HOUSING, FROSTED LENS, SILVER FINISH. TO BE SGI LIGHTING LED DOWN LIGHT - 18 WATT ROUND, COOPER LIGHTING HL812, ELITE LED LIGHTING RL1175 SERIES OR EQUAL AND APPROVED.
05	WALL MOUNTED, 610MM LONG LED LIGHTING, 3000K, 2000 LUMENS, 20 WATTS, +80 CRI, 120V LED DRIVER, WET LOCATION LISTED, SOLID ALUMINUM WITH SOLID ALUMINUM END CAPS, MATTE WHITE FINISH. TO BE COOPER LIGHTING SHARPER 605-W, TERON LIGHTING APPLBY LED, COLUMBIA LIGHTING CWM SERIES OR EQUAL AND APPROVED.
06	UNDER-CABINET MOUNTED, 610MM LONG LED LIGHT FIXTURE, 3000K, 627 LUMENS, 11 WATTS, 90 CRI, 120V LED DRIVER, HEAVY GAUGE ALUMINUM HOUSING, MATTE WHITE POWDER FINISH. TO BE COOPER LIGHTING HALO HJ30, STANPRO LED SWIVEL SERIES, CONTECH LIGHTING LPU2, ACUTY BRANDS JUNO UCES LED, ORACLE LIGHTING EU-LED SERIES OR EQUAL AND APPROVED.
07	UNDER-CABINET MOUNTED, 305MM LONG LED LIGHT FIXTURE, 3000K, 222 LUMENS, 3.7 WATTS, 90 CRI, 120V LED DRIVER, HEAVY GAUGE ALUMINUM HOUSING, MATTE WHITE POWDER FINISH. TO BE COOPER LIGHTING HALO HJ30, STANPRO LED SWIVEL SERIES, CONTECH LIGHTING LPU2, ACUTY BRANDS JUNO UCES LED, ORACLE LIGHTING EU-LED SERIES OR EQUAL AND APPROVED.
08	RECESSED MOUNTED, 1219MM LED LIGHTING, 3500K, 3000 LUMENS, 29 WATTS, 80 CRI, 120V LED DRIVER, EXTRUDED ALUMINUM HOUSING, ACRYLIC LENS, MOUNTED ON DRYWALL. TO BE MARK ARCHITECTURAL LIGHTING SLOT 1, METALUMEN RAIL 1 RML SERIES OR EQUAL AND APPROVED.
09	RECESSED MOUNTED 1219MM x 610MM LED LIGHTING, 3500K, 3000 LUMENS, 23 WATTS, 80 CRI, 120V LED DRIVER, DIE-CAST COLD ROLLED STEEL HOUSING, PRISMATIC LENS, WHITE FINISH. TO BE COOPER LIGHTING 24GR LED, ORACLE LIGHTING 24-OEVHP-LED SERIES OR EQUAL AND APPROVED.
10	RECESSED MOUNTED LED LIGHT FIXTURE, 3000K, 1150 LUMENS, 14 WATTS, 90 CRI, 120V LED DRIVER, DIE-CAST ALUMINUM HOUSING, FROSTED POLYCARBONATE LENS, MATTE WHITE FINISH, WET LISTED. TO BE LITHONIA LIGHTING WF6, ELITE LED LIGHTING RL675 SERIES OR EQUAL AND APPROVED.
11	SURFACE MOUNTED 610MM STRIP LED LIGHTING, 3500K, 1800 LUMENS, 14 WATTS, 80 CRI, 120V LED DRIVER, SEMI FROSTED LENS, DIE FORMED COLD ROLLED STEEL HOUSING WITH CHANNELS, AND A WHITE ENAMEL FINISH. TO BE COOPER LIGHTING METALUX SNLED, COLUMBIA LIGHTING MP52 SERIES OR EQUAL AND APPROVED.
12	COVE MOUNTED LED LIGHTING 915MM LONG, 3500K, 350 LUMENS PER FOOT, 4.75 WATTS PER FOOT, 80 CRI, 120V LED DRIVER, ACRYLIC FROSTED LENS, EXTRUDED ALUMINUM HOUSING. TO BE LUMENWERK VIA 1.5 LED, XAL LIGHTING BASO 1.5, METALUMEN RAIL 1 RML SERIES OR EQUAL AND APPROVED.
E01	WALL MOUNTED LED LIGHTING, 4000K, 1300 LUMENS, 13 WATTS, 70 CRI, 120V LED DRIVER, IMPACT RESISTANT TEMPERED GLASS LENS, DIE-CAST ALUMINUM HINGED REMOVABLE DOOR WITH BACK BOX, OPERATIONAL AT -40°C, BUILT-IN PHOTOCELL AND BLACK FINISH, CUT-OFF VISOR. TO BE LITHONIA LIGHTING OLWXL LED, STANPRO WPV-L, ARCHITECTURAL AREA LIGHTING CY1 SERIES OR EQUAL AND APPROVED.
E02	COVE MOUNTED 1219MM LONG LED LIGHT FIXTURE, 4000K, 325 LUMENS PER FOOT, 5 WATTS PER FOOT, 70 CRI, 120V LED DRIVER, FROSTED POLYCARBONATE LENS, WET LISTED, OPERATIONAL AT -40°C. TO BE GVA LIGHTING HL-COVE, ECOSENSE TROV L50 SERIES OR EQUAL AND APPROVED.

3 Luminaire Schedule  
E101 scale N.T.S.

- NOTES:
- PROVIDE 3-WAY DIMMABLE LIGHT SWITCHES TO CONTROL LUMINAIRES IN DINING ROOM 117 AND KITCHEN 118.
  - REMOTE POWER SUPPLY FOR EXTERIOR LUMINAIRE TYPE E02 TO BE LOCATED IN UTILITY CLOSET 120. COORDINATED EQUIPMENT LOCATION WITH MECHANICAL DIVISION TO AVOID CONFLICTS WITH MECHANICAL EQUIPMENT IN SAME SPACE.



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Dawson City, YT

Design by: P.Z.  
Drawing by: M.T.  
Scale: As Noted

Sheet name:  
Lighting Layout and  
Luminaire Schedule

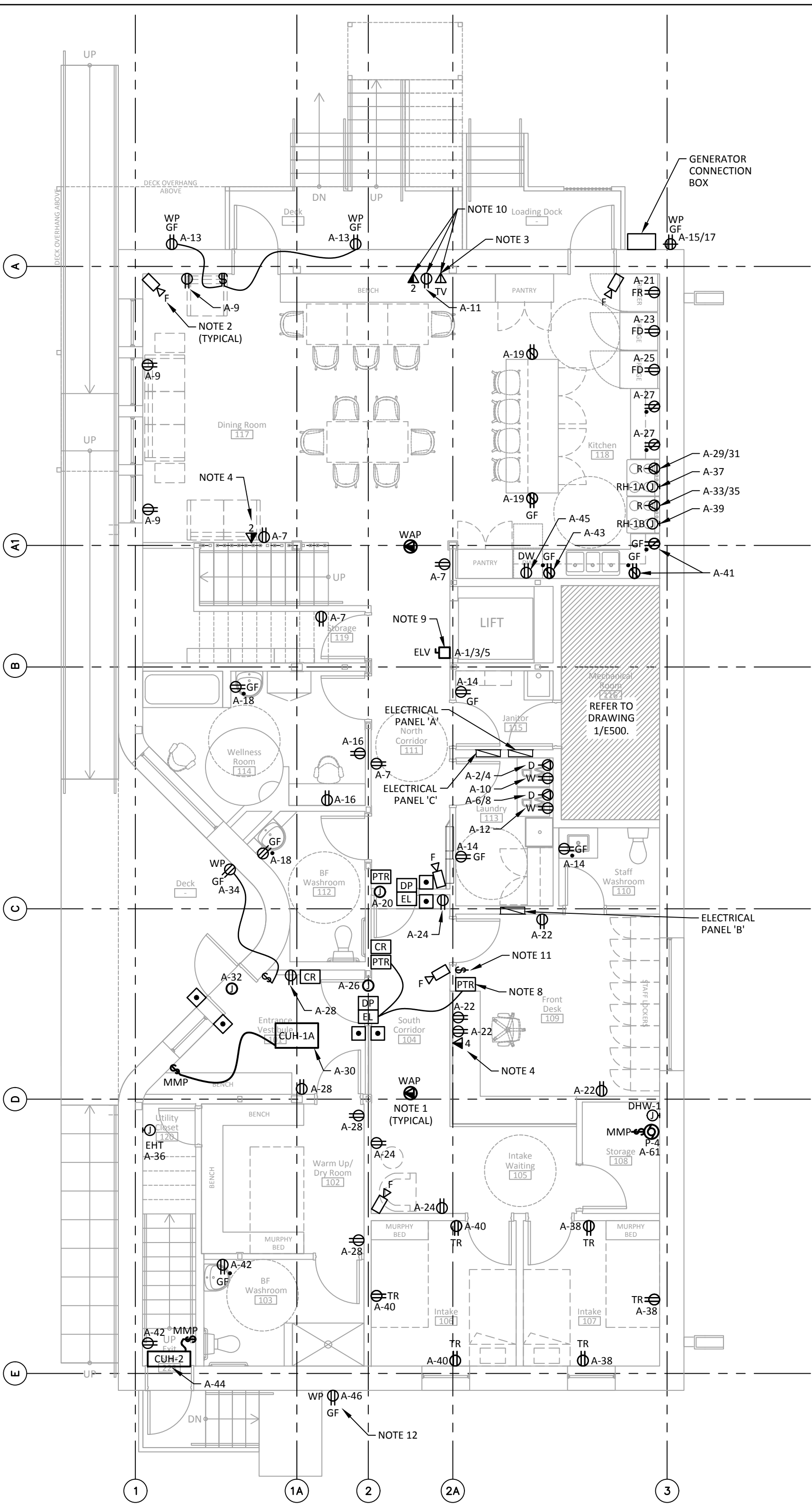
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20-040

Drawing #  
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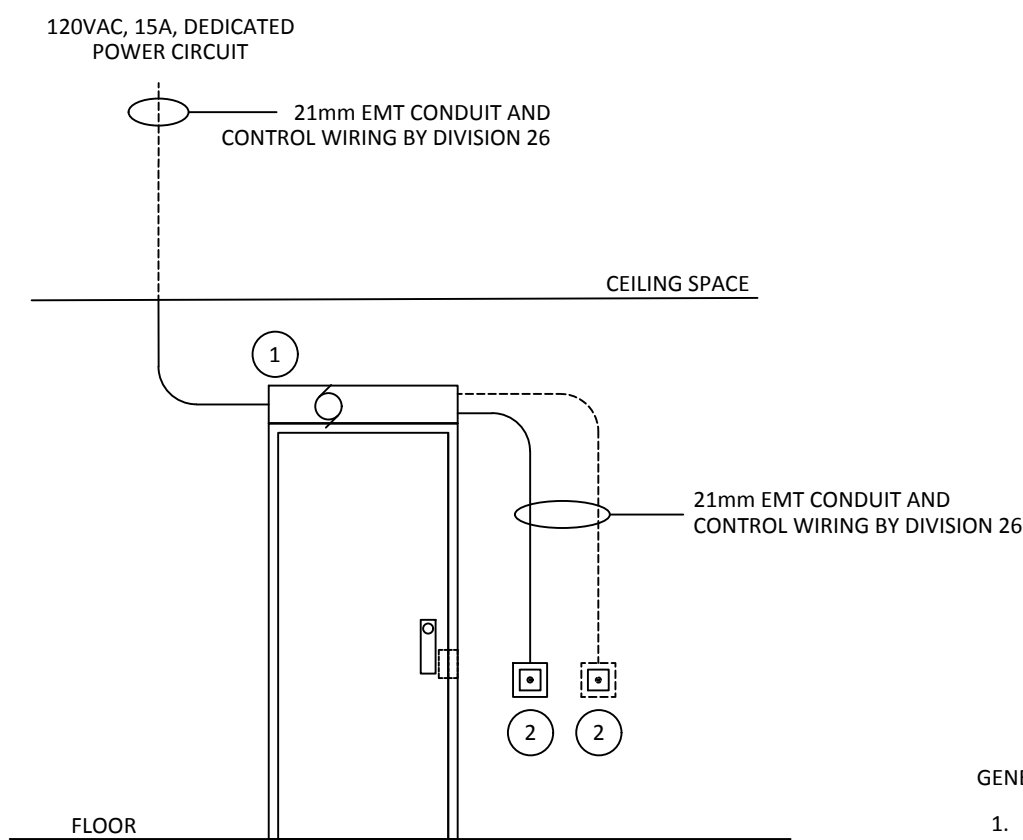


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- NOTES:
- FOR EACH WIRELESS ACCESS POINT (WAP) RUN ONE (1) CAT6 CABLE BACK TO TELECOMMUNICATION PATCH PANEL LOCATED INSIDE MECHANICAL ROOM 116.
  - FOR EACH CCTV CAMERA LOCATION PROVIDE CAT6 CABLE BACK TO PATCH PANEL LOCATED INSIDE EQUIPMENT RACK LOCATED IN MECHANICAL ROOM 116. TERMINATE CAT6 WIRES ON BOTH ENDS USING RJ45 JACKS.
  - FROM EACH TELEVISION OUTLET SHOWN ON THE DRAWING PROVIDE HDMI WIRE AND AUDIO WIRE BACK TO HDMI/R PoE RECEIVER LOCATED INSIDE SUITABLY SIZED RECESSED MEDIA EQUIPMENT METAL ENCLOSURE. REFER TO DRAWING E602 FOR WIRING REQUIREMENTS.
  - FROM EACH STRUCTURE WIRING OUTLET INDICATED ON THE DRAWING RUN CAT6 WIRES BACK TO PATCH PANELS LOCATED INSIDE MECHANICAL ROOM 116. EACH OUTLET TO BE TERMINATED USING RJ45 MODULAR JACK.
  - ABOVE COUNTER KITCHEN RECEPTACLES TO BE FED FROM 20A CIRCUIT, RECEPTACLE TO BE 5-20R T-SLOT TYPE. NO MORE THAN TWO (2) RECEPTACLES SHALL BE FED FROM SAME CIRCUIT BREAKER.
  - ALL 5-15R (15 AMP) AND 5-20R (20 AMP T-SLOT) TYPE RECEPTACLES ON THE SECOND FLOOR AND INTAKE DWELLING UNITS TO BE TAMPER RESISTANT EXCEPT THOSE DEDICATED TO STATIONARY APPLIANCES OR THOSE ABOVE 2 METERS FROM THE FINISHED FLOOR.
  - RECEPTACLE SPACING INSIDE RESIDENTIAL UNITS FOLLOWS CANADIAN ELECTRICAL CODE 2021. WHEN SCALING FROM DRAWINGS, CONTRACTOR TO MAKE SURE APPLICABLE RULES ARE BEING ADHERED TO, CONTRACTOR TO RELOCATE ANY RECEPTACLES THAT DON'T MEET CODE REQUIREMENTS AT NO EXTRA COST.
  - PROVIDE SECOND "PRESS TO RELEASE" BUTTON AT THE FRONT DESK 109 TO CONTROL LOCK LOCATED ON THE DOOR LEADING FROM THE ENTRANCE VESTIBULE 101 TO CORRIDOR 104.
  - PROVIDE POWER DISCONNECT SWITCH FOR ELEVATOR. COORDINATE FINAL POWER REQUIREMENTS WITH MANUFACTURER SPECIFICATION AND INSTALLATION MANUAL.
  - INSTALL TV OUTLET, DATA OUTLET, AND POWER RECEPTACLE DESIGNATED FOR TELEVISION EQUIPMENT AT 1600MM A.F.F.
  - PROVIDE LINE VOLTAGE SINGLE GANG SWITCH TO CONTROL FRONT BUILDING EXTERIOR RECEPTACLE. SWITCH TO BE LOCATED IN FRONT DESK ROOM 109.



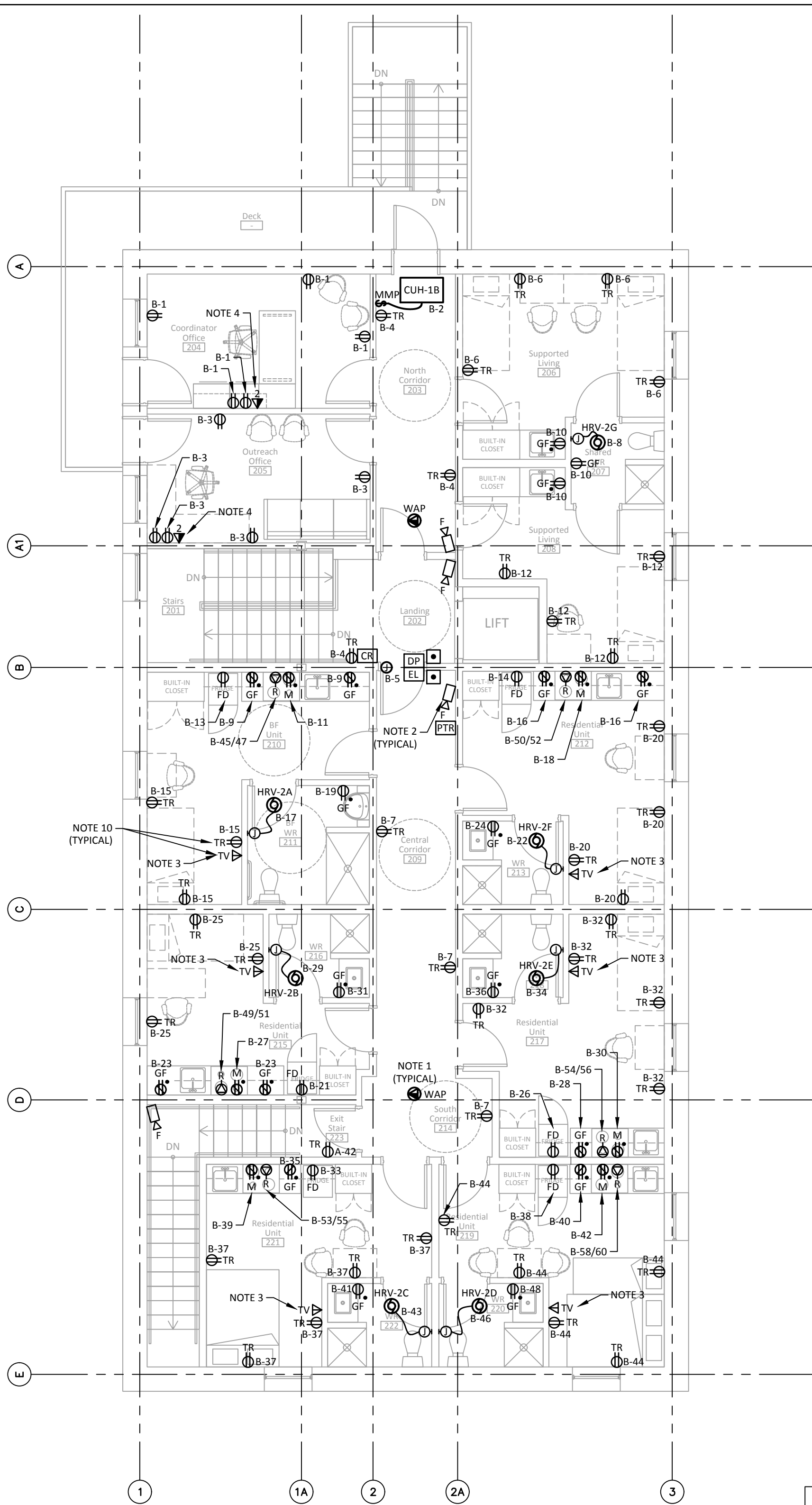
**1 Main Floor: Power and Telecommunications Layout**  
E102/ scale 1:75



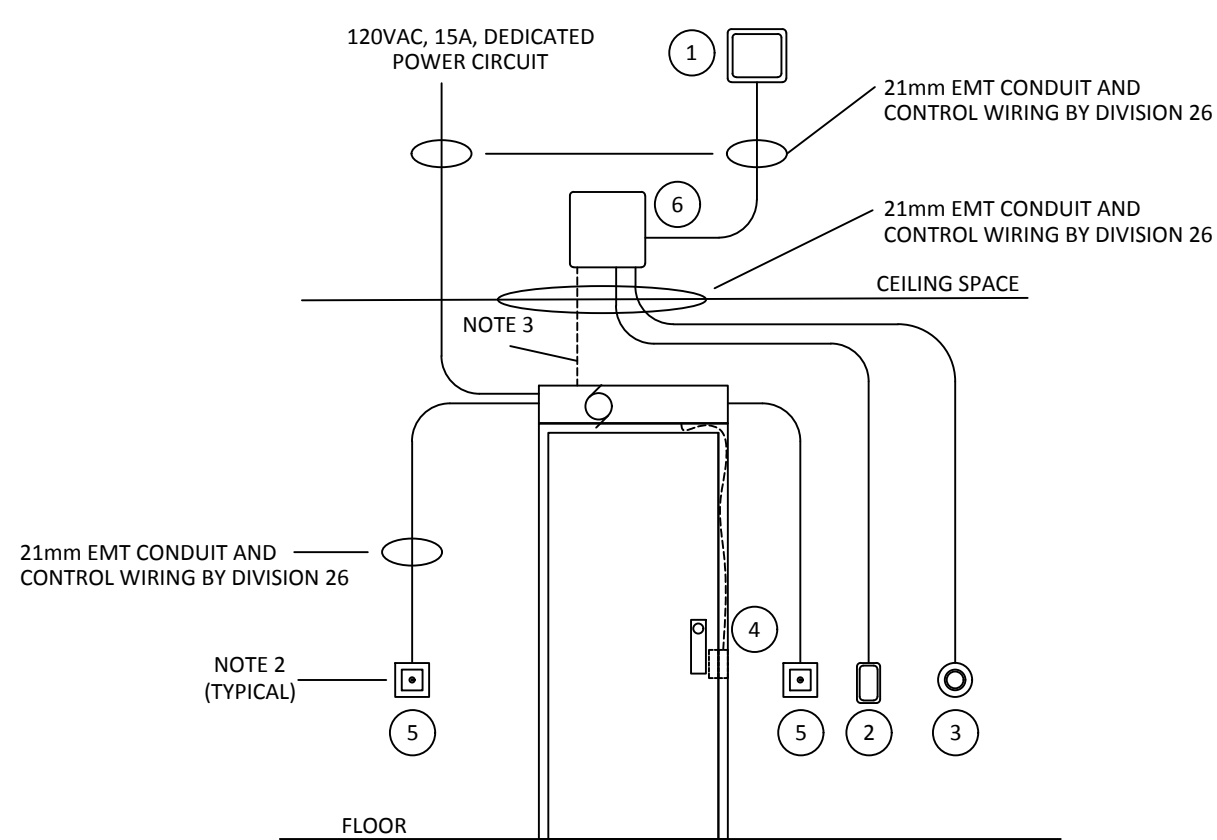
**3 Typical Barrier Free Door Operator Detail**  
E102/ scale N.T.S.

GENERAL NOTES ONLY FOR DETAIL 3/E102:

- COORDINATE DEVICE INSTALLATION LOCATIONS WITH FLOOR PLANS, MANUFACTURER'S MANUAL, AND ARCHITECTURAL DOCUMENTS. COORDINATE CONNECTION POINTS TO DOOR HARDWARE ON SITE.
- INSTALL ELECTRICAL BACK BOX FOR DOOR PUSH BUTTONS TO MEET REQUIREMENTS OF LATEST VERSION OF NATIONAL BUILDING CODE OF CANADA FOR HEIGHT.



**2 Second Floor: Power and Telecommunications Layout**  
E102/ scale 1:75



**4 Typical Barrier Free Access Control Detail**  
E102/ scale N.T.S.

DOOR ACCESS CONTROL EQUIPMENT SCHEDULE	
1	DOOR ACCESS CONTROLLER WILL BE PROVIDED BY DIV.26. TO BE LOCATED ON TELECOMMUNICATION BACKBOARD IN MECHANICAL ROOM 116.
2	ACCESS CONTROL CARD READER. (SUPPLY, WIRING, AND INSTALLATION BY DIV. 26)
3	"PRESS TO RELEASE" PUSH-BUTTON LOCATION OF DEVICE INDICATED ON DRAWINGS 1/E102 AND 2/E102. (SUPPLY, WIRING, AND INSTALLATION BY DIV. 26)
4	ELECTRIC LOCK INSIDE DOOR FRAME. COORDINATE LOCATION WITH ARCHITECTURAL DIVISION. (WIRING BY DIV. 26, SUPPLY AND INSTALLATION BY DIV.8)
5	BARRIER FREE PUSH-BUTTON LOCATED ON OTHER SIDE OF WALL, BY THE LATCH SIDE OF DOOR FRAME (COORDINATE LOCATIONS WITH FLOOR PLAN, BACK BOX BY DIV.26, PUSH BUTTON BY DIV.8)
6	CEILING MOUNTED JUNCTION BOX. JUNCTION BOX TO BE LOCATED IN ACCESSIBLE SPACE ABOVE THE CEILING. (SUPPLY, WIRING, AND INSTALLATION BY DIV. 26)

GENERAL NOTES ONLY FOR DETAIL 4/E102:

- COORDINATE DEVICE INSTALLATION LOCATIONS WITH FLOOR PLANS, MANUFACTURER'S MANUAL, AND ARCHITECTURAL DOCUMENTS. COORDINATE CONNECTION POINTS TO DOOR HARDWARE ON SITE.
- INSTALL ELECTRICAL BACK BOX FOR DOOR PUSH BUTTONS TO MEET REQUIREMENTS OF LATEST VERSION OF NATIONAL BUILDING CODE OF CANADA FOR HEIGHT.
- PROVIDE LINK BETWEEN BARRIER FREE OPERATOR AND DOOR ACCESS CONTROL SYSTEM TO PREVENT DOOR OPERATOR TO BE ACTIVATED WHILE ELECTRIC IS STILL ENGAGED. DOOR OPERATOR SHOULD ONLY BE OPERATIONAL WHEN ELECTRIC LOCK IS DISENGAGED BY CARD READER OR "PRESS TO RELEASE" PUSHBUTTON.

**NOT FOR CONSTRUCTION**  
ALL DIMENSIONS TO BE SITE VERIFIED BY CONTRACTOR

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1	21-Mar-08	Issued for Design Development
#	Date	Description

Revisions

Date: March 4, 2021

Project:

**JEJE ZHO TH MEN'S  
SHELTER**

Dawson City, YT

project north true north	Design by: P.Z.
	Drawing by: M.T.
	Scale: As Noted

Sheet name:

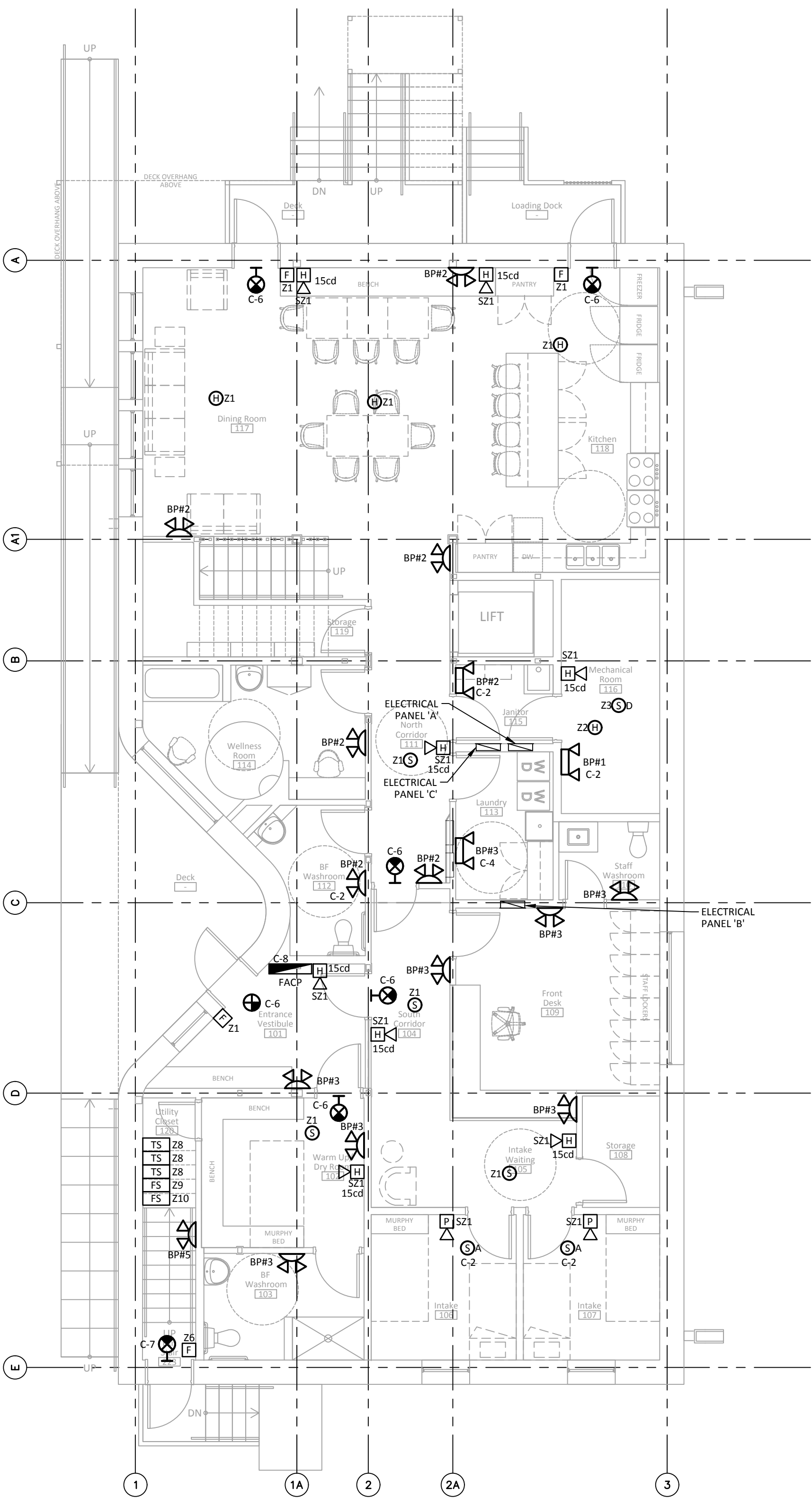
**Power and  
Telecommunications  
Layout**

Project #

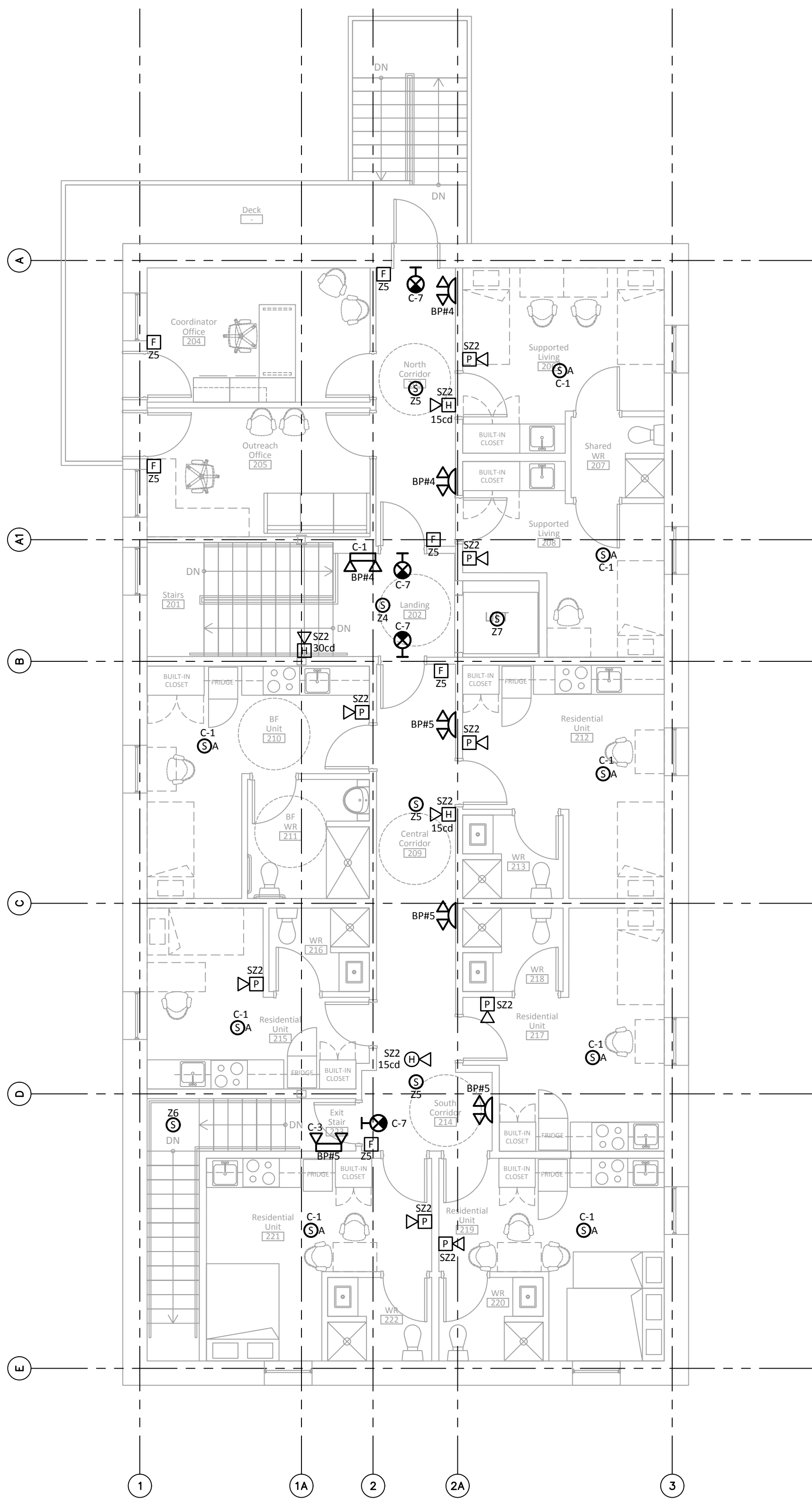
20-040

Drawing #

**E 1 0 2**



1 Main Floor: Emergency Lighting and Fire Alarm Layout  
E103/ scale 1:75



2 Second Floor: Emergency Lighting and Fire Alarm Layout  
E103/ scale 1:75

NOTES:  
1. COMBINATION SMOKE/CARBON MONOXIDE DETECTORS INSIDE EACH INDIVIDUAL UNIT SHOULD BE INTERCONNECTED SO THAT THE ACTIVATION OF ONE ALARM WILL CAUSE ALL ALARMS WITHIN THE BUILDING TO SOUND.

EMERGENCY BATTERY PACK SCHEDULE				
ID	DESCRIPTION	TIME (MINUTES)	POWER (WATTS)	VSR CIRCUIT #
BP#1	MECHANICAL ROOM	30	36	-
BP#2	JAN. CLOSET, NORTH CORRIDOR, KITCHEN, DINING/ACTIVITY ROOM	30	100	-
BP#3	LAUNDRY ROOM, SOUTH CORRIDOR, FRONT DESK, WAITING ROOM, ENTRY VESTIBULE	30	100	-
BP#4	LANDING AND NORTH CORRIDOR	30	50	-
BP#5	CENTRAL CORRIDOR, SOUTH CORRIDOR, EXIT STAIRS	30	72	-

EMERGENCY LIGHTING NOTES:  
1. SIZING IS BASED ON A PARTICULAR MANUFACTURER AT 12V WITH 5 WATT MR 16 LED LAMPS.  
2. BATTERY PACK INDICATED TO BE MINIMUM ALLOWABLE SIZE.  
3. IN ANY AREAS SERVED BY EMERGENCY LIGHTING: EMERGENCY LIGHTING SHALL TURN ON UPON FAILURE OF POWER SUPPLY TO NORMAL LIGHTING AS PER CEC 46-304.4.

3 Emergency Battery Pack Schedule  
E103/ scale N.T.S.



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Revisions  
Date: March 4, 2021

Project:  
**JEJE ZHO TH MEN'S SHELTER**

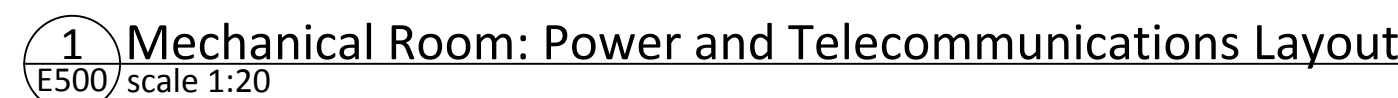
Dawson City, YT

project north true north	Design by: P.Z.
	Drawing by: M.T.
	Scale: As Noted

Sheet name:  
**Emergency Lighting and Fire Alarm System Layout**

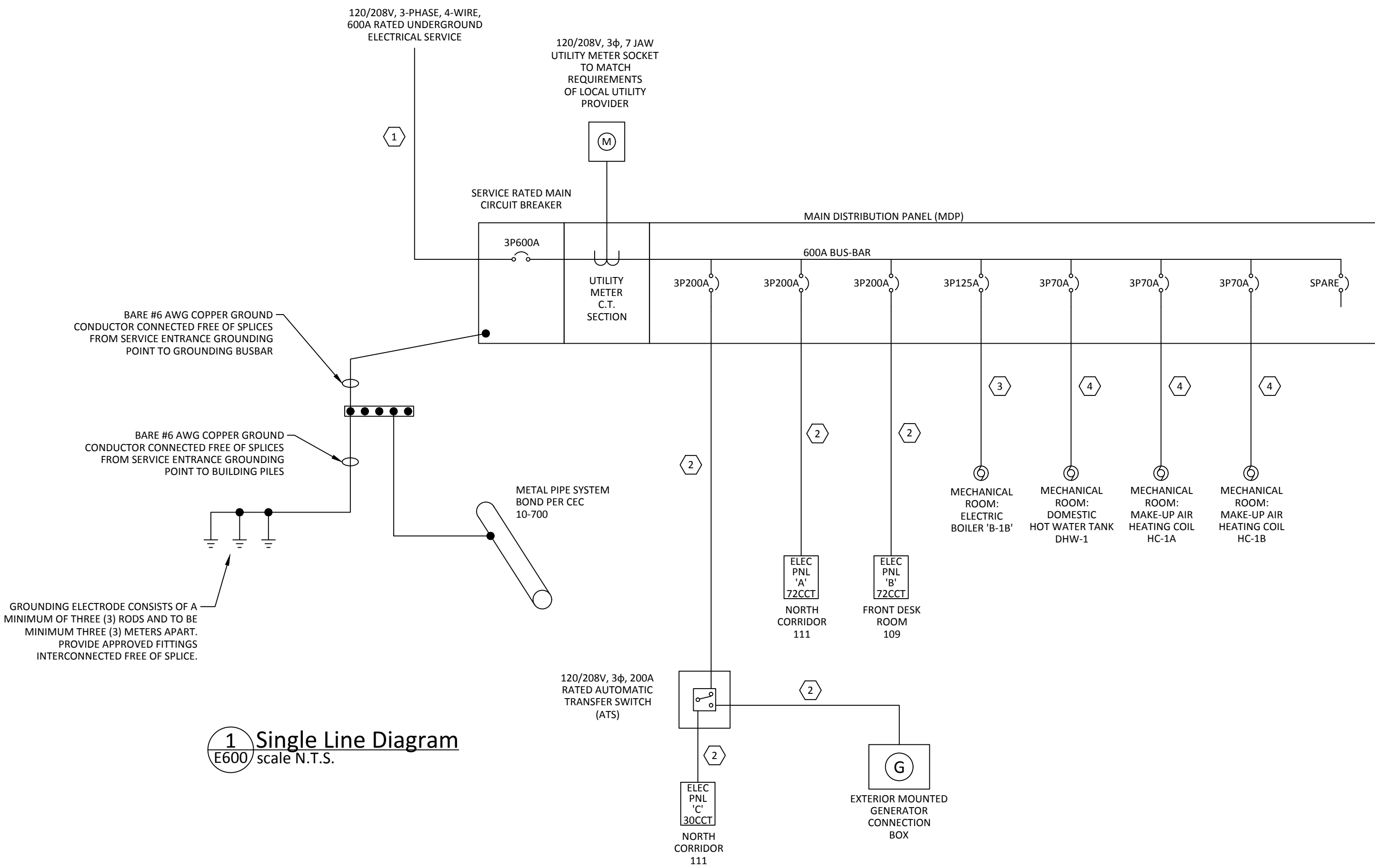
Project #  
**20-040**

Drawing #  
**E 1 0 3**



1. PROVIDE 19MM PLYWOOD BACKBOARD FOR TELECOMMUNICATION EQUIPMENT. PAINT BACKBOARD WITH FIRE-RETARDANT PAINT.

**E500**



MECHANICAL EQUIPMENT POWER AND CONTROL SCHEDULE												
TAG	EQUIPMENT	LOCATION	HP	WATTS	VOLTS	PHASE	AMPS	FEEDER SIZE	BREAKER SIZE	CCTs	CONTROLS	NOTES
B-1A	BOILER	MECHANICAL ROOM 116	-	-	208	3	90	4C #1AWG CU RW90 + #6AWG CU BOND IN 41MM EMT CONDUIT	3P125A	C-9/11/13	C.B.	-
B-1B	BOILER	MECHANICAL ROOM 116	-	-	208	3	90	4C #1AWG CU RW90 + #6AWG CU BOND IN 41MM EMT CONDUIT	3P125A	MDP	C.B.	-
CUH-1A	CABINET UNIT HEATER	ENTRY VESTIBULE 101	1/15	-	120	1	-	2C #12AWG CU RW90 + #12AWG CU BOND IN 21MM EMT CONDUIT	1P15A	A-30	MMP	-
CUH-1B	CABINET UNIT HEATER	NORTH CORRIDOR 203	1/15	-	120	1	-	2C #12AWG CU RW90 + #12AWG CU BOND IN 21MM EMT CONDUIT	1P15A	B-2	MMP	-
CUH-2	CABINET UNIT HEATER	EXIT STAIRS 223	1/15	-	120	1	-	2C #12AWG CU RW90 + #12AWG CU BOND IN 21MM EMT CONDUIT	1P15A	A-44	MMP	-
DHW-1	DOMESTIC WATER HEATER	MECHANICAL ROOM 116	-	-	208	3	41.6	3C #4AWG CU RW90 + #8AWG CU BOND IN 27MM EMT CONDUIT	3P70A	MDP	C.B.	-
HC-1A	MAKEUP AIR HEATING COIL	MECHANICAL ROOM 116	-	15000	208	3	-	3C #4AWG CU RW90 + #8AWG CU BOND IN 27MM EMT CONDUIT	3P70A	MDP	C.B.	-
HC-1B	MAKEUP AIR HEATING COIL	MECHANICAL ROOM 116	-	15000	208	3	-	3C #4AWG CU RW90 + #8AWG CU BOND IN 27MM EMT CONDUIT	3P70A	MDP	C.B.	-
HC-2	MAKEUP AIR HEATING COIL	MECHANICAL ROOM 116	-	-	208	3	5.56	3C #12AWG CU RW90 + #12AWG CU BOND IN 21MM EMT CONDUIT	3P15A	A-54/56/58	C.B.	-
EHT	ELECTRIC HEAT TRACE	UTILITY CLOSET 120	-	16W/m	120	1	-	2C #12AWG CU RW90 + #12AWG CU BOND IN 21MM EMT CONDUIT	1P15A	A-36	C.B.	-
P-1A	BOILER PUMP	MECHANICAL ROOM 116	-	34	115	1	-	2C #12AWG CU RW90 + #12AWG CU BOND IN 21MM EMT CONDUIT	1P15A	C-12	MMP	-
P-1B	BOILER PUMP	MECHANICAL ROOM 116	-	34	115	1	-	2C #12AWG CU RW90 + #12AWG CU BOND IN 21MM EMT CONDUIT	1P15A	C-14	MMP	-
P-2A	HEATING CIRC PUMP	MECHANICAL ROOM 116	-	171	115	1	-	2C #12AWG CU RW90 + #12AWG CU BOND IN 21MM EMT CONDUIT	1P15A	C-16	MMP	-
P-2B	HEATING CIRC PUMP	MECHANICAL ROOM 116	-	171	115	1	-	2C #12AWG CU RW90 + #12AWG CU BOND IN 21MM EMT CONDUIT	1P15A	C-18	MMP	-
P-3	GLYCOL FILL PUMP	MECHANICAL ROOM 116	-	-	115	1	0.7	2C #12AWG CU RW90 + #12AWG CU BOND IN 21MM EMT CONDUIT	1P15A	A-64	GFCI/REC.	-
P-4	DOMESTIC HOT WATER RECIRC PUMP	MECHANICAL ROOM 116	FRAC.	-	120	1	-	2C #12AWG CU RW90 + #12AWG CU BOND IN 21MM EMT CONDUIT	1P15A	A-61	MMP	-
HRV-1A	HEAT RECOVERY VENTILIATOR	MECHANICAL ROOM 116	-	-	120	1	6.4	2C #12AWG CU RW90 + #12AWG CU BOND IN 21MM EMT CONDUIT	1P25A	A-60	MMP	-
HRV-1B	HEAT RECOVERY VENTILIATOR	MECHANICAL ROOM 116	-	-	120	1	6.4	2C #12AWG CU RW90 + #12AWG CU BOND IN 21MM EMT CONDUIT	1P25A	A-62	MMP	-
HRV-2A	HEAT RECOVERY VENTILIATOR	RESIDENTIAL UNIT WASHROOM 211	-	-	120	1	1.4	2C #12AWG CU RW90 + #12AWG CU BOND IN 21MM EMT CONDUIT	1P15A	B-17	C.B.	-
HRV-2B	HEAT RECOVERY VENTILIATOR	RESIDENTIAL UNIT WASHROOM 216	-	-	120	1	1.4	2C #12AWG CU RW90 + #12AWG CU BOND IN 21MM EMT CONDUIT	1P15A	B-29	C.B.	-
HRV-2C	HEAT RECOVERY VENTILIATOR	RESIDENTIAL UNIT WASHROOM 222	-	-	120	1	1.4	2C #12AWG CU RW90 + #12AWG CU BOND IN 21MM EMT CONDUIT	1P15A	B-43	C.B.	-
HRV-2D	HEAT RECOVERY VENTILIATOR	RESIDENTIAL UNIT WASHROOM 220	-	-	120	1	1.4	2C #12AWG CU RW90 + #12AWG CU BOND IN 21MM EMT CONDUIT	1P15A	B-46	C.B.	-
HRV-2E	HEAT RECOVERY VENTILIATOR	RESIDENTIAL UNIT WASHROOM 218	-	-	120	1	1.4	2C #12AWG CU RW90 + #12AWG CU BOND IN 21MM EMT CONDUIT	1P15A	B-34	C.B.	-
HRV-2F	HEAT RECOVERY VENTILIATOR	RESIDENTIAL UNIT WASHROOM 213	-	-	120	1	1.4	2C #12AWG CU RW90 + #12AWG CU BOND IN 21MM EMT CONDUIT	1P15A	B-22	C.B.	-
HRV-2G	HEAT RECOVERY VENTILIATOR	RESIDENTIAL UNIT WASHROOM 207	-	-	120	1	1.4	2C #12AWG CU RW90 + #12AWG CU BOND IN 21MM EMT CONDUIT	1P15A	B-8	C.B.	-
HRV-3	HEAT RECOVERY VENTILIATOR	MECHANICAL ROOM 116	-	-	120	1	4.5	2C #12AWG CU RW90 + #12AWG CU BOND IN 21MM EMT CONDUIT	1P15A	A-63	MMP	-
RH-1A	RANGE HOOD	COMMON AREA KITCHEN 118	-	-	120	1	2.5	2C #12AWG CU RW90 + #12AWG CU BOND IN 21MM EMT CONDUIT	1P15A	A-37	C.B.	-
RH-1B	RANGE HOOD	COMMON AREA KITCHEN 118	-	-	120	1	2.5	2C #12AWG CU RW90 + #12AWG CU BOND IN 21MM EMT CONDUIT	1P15A	A-39	C.B.	-
ELV	ELEVATOR	LANDING 202	1.5	-	220	3	-	3C #12AWG CU RW90 + #12AWG CU BOND IN 21MM EMT CONDUIT	3P15A	A-1/3/5	C.B.	-
DDC	BAS CONTROL PANEL	MECHANICAL ROOM 116	-	-	120	1	-	2C #12AWG CU RW90 + #12AWG CU BOND IN 21MM EMT CONDUIT	1P15A	C-23	C.B.	-
TX-1	CONTROL TRANSFORMER	MECHANICAL ROOM 116	-	-	120	1	-	2C #12AWG CU RW90 + #12AWG CU BOND IN 21MM EMT CONDUIT	1P15A	C-15	C.B.	-
TX-2	CONTROL TRANSFORMER	MECHANICAL ROOM 116	-	-	120	1	-	2C #12AWG CU RW90 + #12AWG CU BOND IN 21MM EMT CONDUIT	1P15A	C-17	C.B.	-
TX-3	CONTROL TRANSFORMER	MECHANICAL ROOM 116	-	-	120	1	-	2C #12AWG CU RW90 + #12AWG CU BOND IN 21MM EMT CONDUIT	1P15A	C-19	C.B.	-

NOTES:

- MECHANICAL EQUIPMENT POWER AND CONTROL SCHEDULE IS FOR ESTIMATING PURPOSES ONLY. CONTRACTOR IS TO CONFIRM ALL MOTOR POWER AND CONTROLS REQUIREMENTS WITH ACTUAL EQUIPMENT NAMEPLATES ON SITE.
- CONFIRM FINAL MECHANICAL EQUIPMENT LOCATIONS WITH DIVISION 23 AND 25.

CONTROLS LEGEND:

LRD - LOAD RATED DISCONNECT  
CMS - COMBINATION MAGNETIC STARTER  
MMP - MANUAL MOTOR PROTECTION  
R - RELAY  
HOA - HAND/OFF/AUTO SWITCH  
C.B. - CIRCUIT BREAKER  
REC. - RECEPTACLE  
GFCI - GROUND FAULT CIRCUIT INTERRUPTER

FEEDER SCHEDULE			
1	THREE (3) RUNS OF 4C #3/0 AWG CU RW90 IN 63MM RPVC CONDUIT UNDERGROUND AND RIGID STEEL CONDUIT ABOVE GROUND.	2	SINGLE (1) RUN OF 4C #3/0 AWG CU RW90XLPE C/W #6 AWG CU BOND IN 53MM EMT CONDUIT.
3	SINGLE (1) RUN OF 4C #1 AWG CU RW90XLPE C/W #6 AWG CU BOND IN 41MM EMT CONDUIT.	4	SINGLE (1) RUN OF 3C #4 AWG CU RW90 C/W #8 AWG CU BOND IN 27MM EMT CONDUIT.

POWER DEMAND CALCULATIONS					
BASED ON C.E.C. C22.1-21/ 8-202 & 8-210					
PROJECT: Jeje Zho TH Men's Shelter, Dawson City, YT					
Typical Loads for 20m <sup>2</sup>	Basic Load for First 45m <sup>2</sup>	Basic Load For Second 45m <sup>2</sup>	Demand Factor	Load	Units
Per Unit	3500	1500	100%	3500	W
Additional Load	Power	Quantity	Demand Factor	Load	Units
Electrical Range	7200	1	100%	7200	W
Total Loads Per Apartment				10700	W
	Quantity	Power	Percent	Load	Units
Largest unit	1	10700	100%	10700	W
Next Two Units	2	10700	65%	13910	W
Next Two Units	2	10700	40%	8560	W
Next Fifteen Units	3	10700	25%	8025	W
Sub-total	8			41195	W
Other Types of Occupancy	Total Area (m <sup>2</sup> )	W/m <sup>2</sup>	Demand Factor	Load	Units
Offices	281	50	100%	14050	W
Additional Load	Power	Qty	Demand Factor	Load	Units
Mechanical Loads	119382	1	80%	95506	W
Kitchen Loads	12000	1	80%	9600	W
Dryer Loads	5000	2	80%	8000	W
Parking Lot Receptacles	1200	2	100%	2400	W
Total Sum for Entire Building				168351	W
At 120/208V, 3Ø, 4W				468	A
Minimum circuit breaker (80% rated)				585	A
Main circuit breaker size				600	A
Service capacity				216	kW

2 Power Demand Calculations  
E600 scale N.T.S.

3 Mechanical Equipment Power and Control Schedule  
E600 scale N.T.S.

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Revisions

Date: March 4, 2021

Project:

**JEJE ZHO TH MEN'S SHELTER**

Dawson City, YT

project north true north	Design by: P.Z.
	Drawing by: M.T.
	Scale: As Noted

Sheet name:

**Single Line Diagram and Power Demand Calculations**

Project #

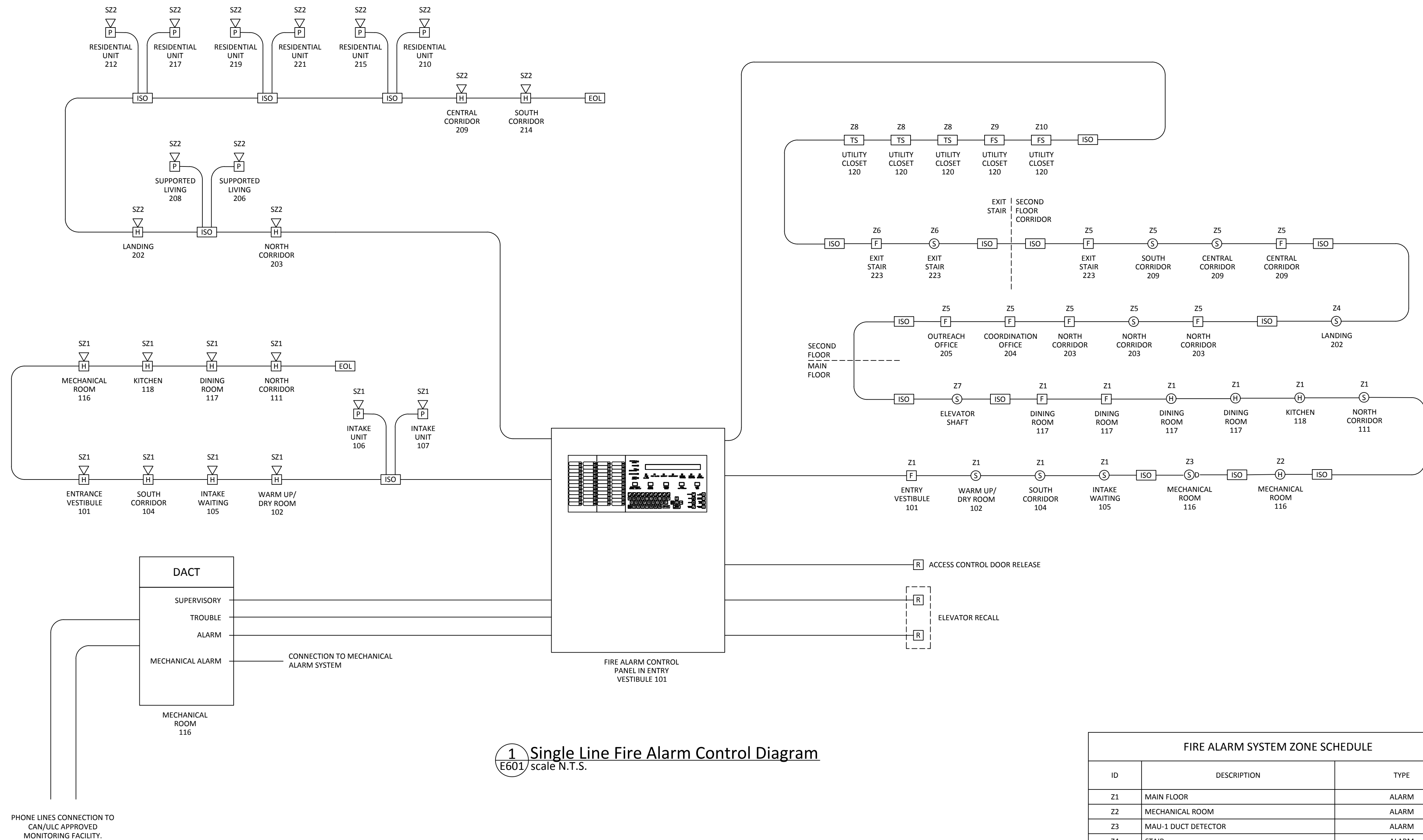
**20-040**

Drawing #

**E600**



PERMIT TO PRACTICE  
TAG ENGINEERING LTD.  
SIGNATURE: *P. Ziminski*  
Date: *July 14, 2021*  
PERMIT NUMBER PP604  
Association of Professional  
Engineers of Yukon



FIRE ALARM SYSTEM ZONE SCHEDULE		
ID	DESCRIPTION	TYPE
Z1	MAIN FLOOR	ALARM
Z2	MECHANICAL ROOM	ALARM
Z3	MAU-1 DUCT DETECTOR	ALARM
Z4	STAIR	ALARM
Z5	SECOND FLOOR	ALARM
Z6	EXIT STAIR	ALARM
Z7	ELEVATOR SHAFT	ALARM
Z8	SPRINKLER SYSTEM TAMPER VALVES	SUPERVISORY
Z9	MAIN FLOOR FLOW SWITCH	ALARM
Z10	SECOND FLOOR FLOW SWITCH	ALARM

2 Fire Alarm System Zone Schedule  
E601 scale N.T.S.

FIRE ALARM SYSTEM SIGNAL ZONE SCHEDULE		
ID	DESCRIPTION	TYPE
SZ1	MAIN FLOOR	PIEZO, HORN/STROBE
SZ2	SECOND FLOOR	PIEZO, HORN/STROBE

3 Fire Alarm System Signal Zone Schedule  
E601 scale N.T.S.

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Revisions  
Date: March 4, 2021

Project: JEJE ZHO TH MEN'S SHELTER

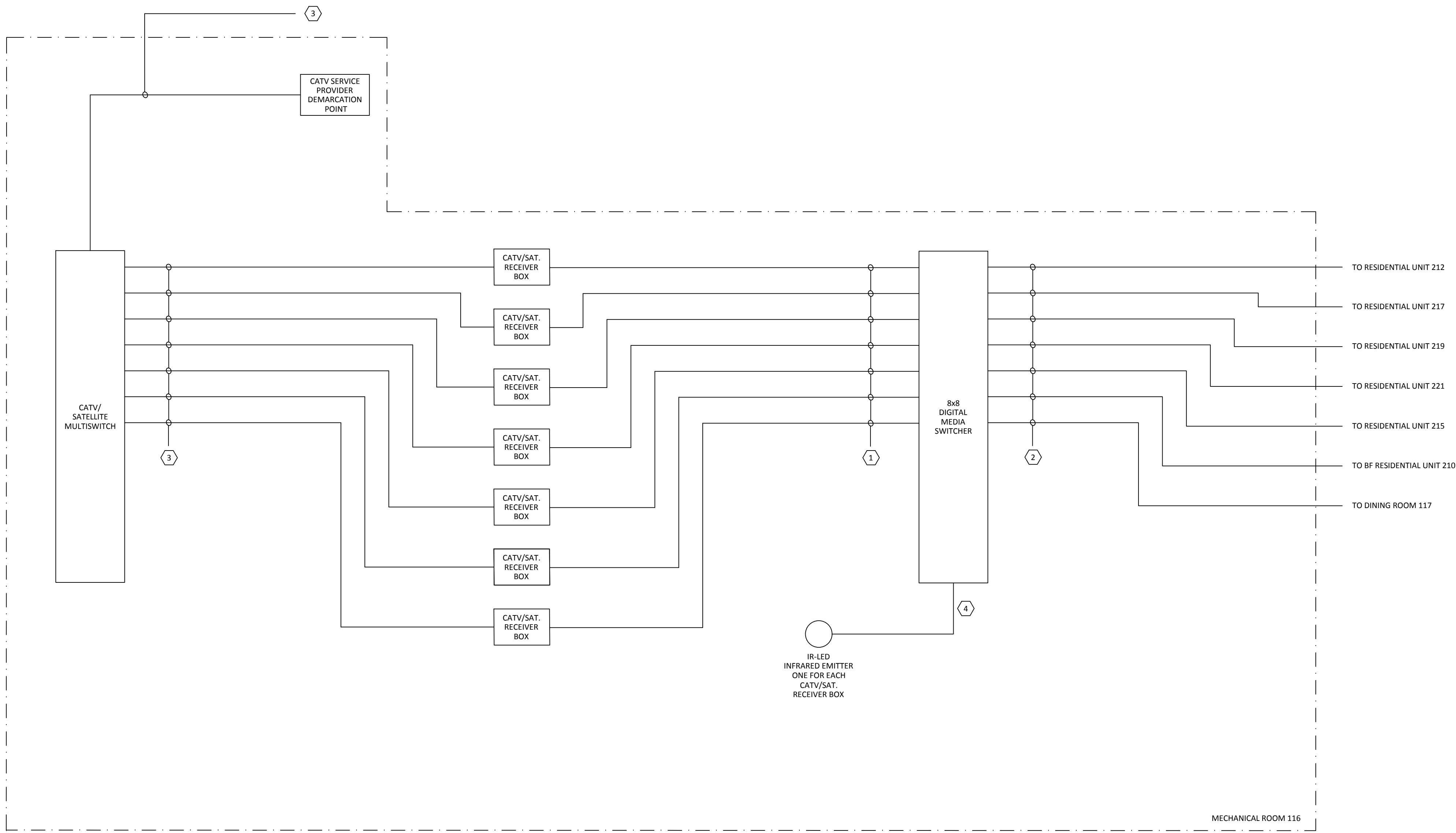
Dawson City, YT

project north true north  
Design by: P.Z.  
Drawing by: M.T.  
Scale: As Noted

Sheet name:  
Fire Alarm Riser  
Diagram and Zone  
Schedule

Project #  
20-040

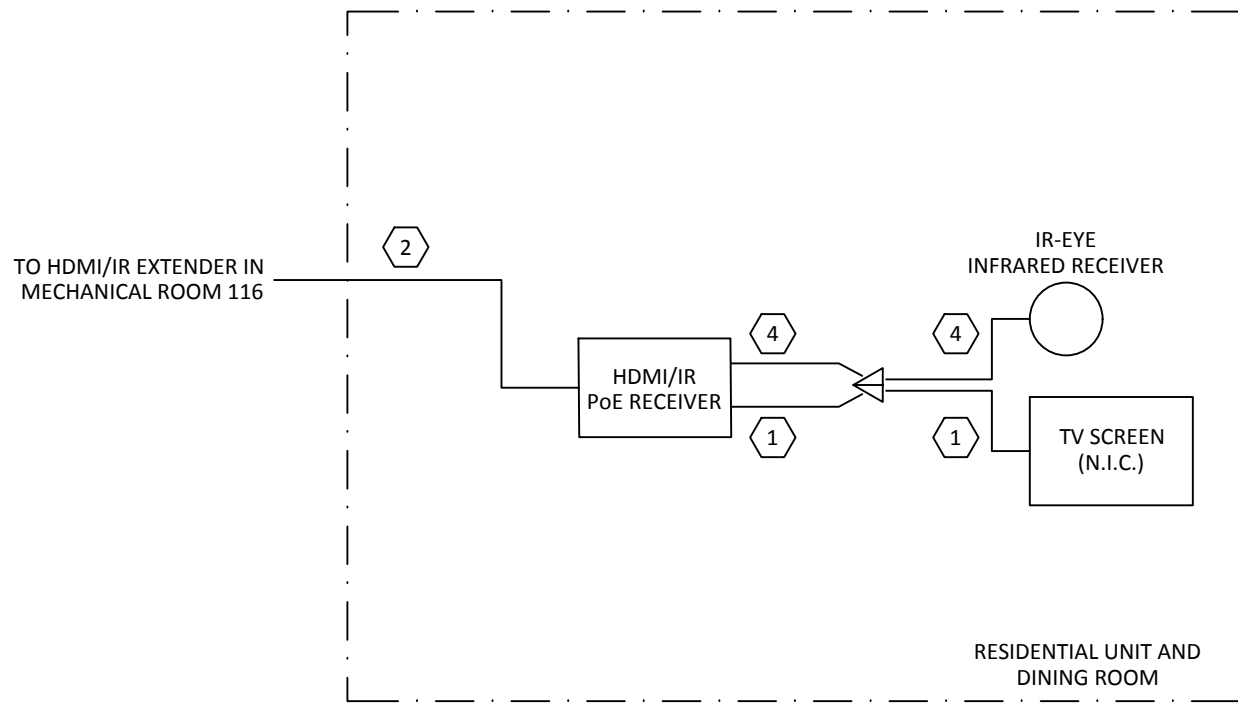
Drawing #  
E601



1 TV Distribution System Diagram  
E602 / N.T.S.

TV DISTRIBUTION SYSTEM WIRING SCHEDULE			
1	HDMI CABLE	3	RG6 CO-AX CABLE
2	CAT6 CABLE	4	2C #16AWG SHIELDED AUDIO CABLE

2 TV Distribution System Wiring Schedule  
E602 / N.T.S.



3 Typical Residential Unit and Dining Room TV System Wiring  
E602 / N.T.S.

NOTE (APPLICABLE TO DETAIL 3/E602):  
1. PROVIDE WALL MOUNTED TV OUTLET WHICH WILL INCLUDE AUDIO JACK CONNECTION FOR IR-EYE INFRARED RECEIVER AND HDMI OUTLET FOR CONNECTION OF TV SCREEN.



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Revisions  
Date:  
March 4, 2021

Project:  
**JEJE ZHO TH MEN'S SHELTER**

Dawson City, YT

project north true north	Design by: P.Z.
	Drawing by: M.T.
	Scale: As Noted

Sheet name:

**TV Distribution System Riser Diagram**

Project #

**20-040**

Drawing #

**E602**

**1 Main Floor Electrical Panel 'A'**  
E700 scale N.T.S.

2 Second Floor Electrical Panel 'B'  
E700 scale N.T.S.

3 Emergency Electrical Panel 'C'  
E700 scale N.T.S.

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Date: March 4, 2021

Project:

**JEJE ZHO TH MEN'S  
SHELTER**

Dawson City, YT

<p><b>project north</b> true north</p> 	Design by: P.Z.
	Drawing by: M.T.
	Scale: As Noted

Sheet name

## Electrical Panel Schedules

Project #

20-040

### Drawing

# E700

# Committee Minutes

THURSDAY 29<sup>th</sup> JULY 2021  
19:00

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**Meeting Type: Regular****Meeting: # HAC 21-13****Facilitators:** Stephani McPhee, PDA & Stephanie Pawluk, CDO**Attendees:** Angharad Wenz (chair), Patrik Pikálek, Megan Gamble, Jim Williams**Regrets:** Eve Dewald, Rebecca Jansen

Meeting Called to order at 7:09 PM.

## *Minutes*

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**Agenda Item: Agenda Adoption****Presenter:** Angharad Wenz**Resolution:** 21-13-01**Second:** Patrik Pikálek

THAT the Agenda for Heritage Advisory Committee Meeting 21-13 has been adopted as presented.

**Discussion:** None.

Votes For: 4

Votes Against: 0

Abstained: 0

CARRIED

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**Agenda Item: Conflict of Interest****Presenter:** Angharad Wenz**Resolution:** 21-13-02**Second:** Patrik Pikálek**Discussion:** None.

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**Agenda Item: Committee of the Whole****Presenter:** Angharad Wenz**Resolution:** 21-13-03**Second:** Patrik Pikálek

THAT the Heritage Advisory Committee move into the Committee of the Whole.

**Discussion:** None

Votes For: 4

Votes Against: 0

Abstained: 0

CARRIED

---

**Agenda Item: Delegations****Presenter:** Angharad Wenz**Resolution:** 21-13-4**Second:** Patrik Pikálek

Peter Marangu – Development Permit Application 21-068

**Discussion:**

- Peter brought cladding example renderings to present the intent behind the design.
- HAC questioned the large size of the building but ultimately concluded that the size and massing of the building appears to be compatible with the neighboring structures. Notably, the building height is comparable. Peter expressed that many community members experience an urgent need for shelter services. The large size of the building was designed to accommodate this urgent need by providing sufficient unit space.
- Peter presented 5 cladding designs. The last 4 options are being considered, and option 1 has been removed from consideration. The inspiration for these cladding options is to display Tr'ondëk Hwëch'in living culture. For example, the coral coloring in Option 2 is reflective of hanging salmon on drying racks, and birch bark is the inspiration for the design of Option 3.
- Peter explained that the fencing included in each option is representative of fish racks.

- The cladding will be non-combustible for safety reasons.
- 
- Peter requested HAC's support for the design.

---

**Agenda Item: Delegations**  
**Resolution: 21-13-5**

**Presenter:** Angharad Wenz  
**Seconded:** Jim Williams

Tracy Abbott – DP 21-080

**Discussion:**

- Tracy came to discuss the anticipated mural design on the Robert Service building of the Westmark and to request direction from HAC to ensure that they are representing Dawson accurately.
- Tracy clarified that it would be the same artist that painted the Skagway mural. It was clarified that it would be the same style but with Dawson content.
- Tracy confirmed that it would have trim around the border.
- HAC raised concern about the font choice, saying that it is not representative of Dawson and suggested that Administration forward the font document to Tracy for the artist to mimic. Tracy confirmed that the artist would do a rendering that they will bring to HAC.
- HAC asked what inspired the streetscape location. Tracy said that they chose it because they wanted it to be in a very public area with foot traffic. It will go on the bottom left of the building.
- HAC wanted to clarify that it is a mural painted straight on wood wall. Tracy confirmed.

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**Agenda Item: Revert to Heritage Advisory Committee**  
**Resolution: 21-13-6**

**Presenter:** Angharad Wenz  
**Seconded:** Jim Williams

THAT the Committee of the Whole revert to the Heritage Advisory Committee.

**Discussion:** None.

Votes For: 4                                      Votes Against: 0                                      Abstained: 0    CARRIED

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**Agenda Item: Adoption of the Minutes**  
**Resolution: 21-13-7**

**Presenter:** Angharad Wenz  
**Seconded:** Jim Williams

THAT the Minutes for HAC meeting 21-11 are accepted as presented.

**Discussion:** None

Votes For: 4                                      Votes Against: 0                                      Abstained: 0    CARRIED

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**Agenda Item: Business Arising from the Minutes**  
**Resolution: 21-13-8**

**Presenter:** Angharad Wenz

**Discussion:** None

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**Agenda Item: Applications**  
**Resolution: #21-13-9**

**Presenter:** Angharad Wenz  
**Seconded:** Patrik Pikálek

THAT the Heritage Advisory Committee move to DISCUSS development permit 20-074.

**Discussion:**

- HAC discussed the CBC building in Brodie's absence, summarizing that sheet metal that was originally there as skirting would be reused at the base of the building. HAC hopes to see a non-shiny metal material being used.

- HAC summarized that technical work is in progress for the basement, and that insulation work was initially considered but discarded to ensure that the exterior of the building is not damaged. HAC summarized that they had previously discussed roof insulation and concerns about window function.
- HAC summarized that the North end staircase was discussed briefly as a way of concealing stairs or a lift, etc. They also mentioned that the staircase on the river side of the building was added later and is not truly historic in that location.
- HAC concluded by saying that discussion at the last HAC meeting was productive and in early stages.

Votes For: 0

Votes Against: 0

Abstained: 0

CARRIED

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**Agenda Item: Applications**

**Presenter:** Angharad Wenz

**Resolution:** #21-13-10

**Second:** Patrik Pikálek

THAT the Heritage Advisory Committee move to FORWARD development permit 21-068 to Council with feedback.

**Discussion:**

- Administration provided the context that Council is currently considering seven requests from TH regarding the Men's Shelter, one of which is the exemption of the Men's Shelter building from the City's design guidelines, including exemption from Heritage Advisory Committee review of the plans. These requests were initially discussed at the July 20<sup>th</sup> Committee of the Whole meeting. At this meeting, Committee of the Whole directed Administration to process the application as any other application, including HAC review until Council makes a decision. This is why the application is on this agenda.
- Administration requested that HAC provide an analysis of the proposals' conformity to the heritage guidelines and outline what does and does not adhere to the design requirements for new infill.

**Facade**

- HAC raised concern about a lack of street facing façade. The guidelines suggest that the connection to the streetscape is important. HAC recognized, however that beyond the aesthetic design, the function of the proposed design is to protect the privacy of Shelter users.
- The lack of symmetry of the front façade is an issue and the rhythm on the streetscape does not comply to the guidelines, as it is non-symmetrical.
- HAC feels that the lack of a stately and symmetrical entrance is noncompliant as the entrance is not substantial or obvious as is expected of commercial buildings.
- HAC feels that the building's proportions work and that the blocking and asymmetry of the windows on the sides and rear is permissible in the commercial zone.
  - A precedent of a window spanning multiple floors was discussed. The front façade windows should however be symmetrical.
  - There is precedent in a commercial asymmetrical roofline in the Westminster building.

**Materials**

- All materials proposed (including cement board) are compliant materials. Cement board siding can apply when it is made to look historic.
- HAC stated that the glass second-floor balcony does not comply due to the material and modern style.

**Other**

- The fencing does not comply as horizontal fencing is noncompliant; however, HAC understands the architectural expression displayed in the design, as well as the functional purpose of providing privacy.
- The lack of finish around the windows (no trim) is non-compliant.
- The lack of roof overhang on the building is non-compliant. In addition to historic compliance, it is also critical to protect buildings from rot and water damage. A roof overhang is also important and tends to give balance to a façade. Without it, it creates a modern design look.

**Future Considerations**

- HAC supports TH's expressed desire to establish a new architectural style. HAC expressed the desire to participate and provide general advice on design and function if TH requests it in developing a different set

of guidelines, not necessarily Gold Rush Style recommendations, but rather the City's values re. streetscape, materials, walkability, human scale, etc.

- HAC also noted that consideration should be given to what will happen in the future if a property owner wants to build in TH's style.
- HAC feels that a larger Dawson style can be created that is somewhat streamlined and has predictable parameters, but merges both values and expressions of culture.

#### **Conclusion**

- HAC concluded the design analysis with the following statement: If the windows on the street were symmetrical, if the front entrance were more pronounced, if window trim was added, if a roof overhang was added, and if the fence was vertical, , the design could be considered to conform to the guidelines.
- HAC feels that their role is to provide analysis of the proposed designs against the guidelines and provide suggestions about how to make it comply with existing guidelines. The nature of the proposal leads HAC to forward the application to Council.

Votes For: 4

Votes Against: 0

Abstained: 0

CARRIED

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#### **Agenda Item: Applications**

**Resolution: #21-13-11**

**Presenter:** Angharad Wenz

**Second:** Patrik Pikálek

THAT the Heritage Advisory Committee move to APPROVE development permit 21-070.

**Discussion:** None.

Votes For: 4

Votes Against: 0

Abstained: 0

CARRIED

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#### **Agenda Item: Applications**

**Resolution: #21-13-12**

**Presenter:** Angharad Wenz

**Second:** Patrik Pikálek

THAT the Heritage Advisory Committee move to APPROVE development permit 21-072.

**Discussion:**

- Administration provided an update that the Development Permit was approved with the condition that the applicant sends an image of historically compliant signage.
- Since the season is so short, HAC stated that a very simple hand drawn sign should be accepted.

Votes For: 4

Votes Against: 0

Abstained: 0

CARRIED

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#### **Agenda Item: Applications**

**Resolution: #21-13-13**

**Presenter:** Angharad Wenz

**Second:** Patrik Pikálek

THAT the Heritage Advisory Committee move to APPROVE development permit 21-077.

**Discussion:** None

Votes For: 4

Votes Against: 0

Abstained: 0

CARRIED

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#### **Agenda Item: Applications**

**Resolution: #21-13-14**

**Presenter:** Angharad Wenz

**Second:** Patrik Pikálek

THAT the Heritage Advisory Committee move to TABLE decision development permit 21-080 until receipt of mural rendering.

**Discussion:**

- HAC requested to see the mural before it's approved with compliant font and Dawson mural content.

Votes For: 4

Votes Against: 0

Abstained: 0 CARRIED

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**Agenda Item: Business Arising from Delegations**

**Resolution:** N/A

**Discussion:** None.

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**Agenda Item: New Business**

**Resolution:** #21-12-18

**Presenter:** Angharad Wenz

**Second:** Jim Williams

THAT the Heritage Advisory Committee move to DISCUSS the non-compliance of the Placer mining sign in fluorescent yellow colour

**Discussion:**

- HAC clarified that the signage does not comply and were initially meant to be a temporary sign for a campaign, but most have not been taken down.
  - HAC recommended that a letter be sent to the Mining Commission to inform that the signage does not conform to heritage guidelines, in hopes of collaborating with them to make a compliant sign.
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**Agenda Item: Unfinished Business**

**Resolution:** #21-12-19

**Presenter:** Angharad Wenz

**Second:** Jim Williams

None.

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**Agenda Item: Adjournment**

**Resolution:** #21-11-20

**Presenter:** Angharad Wenz

**Second:** Jim Williams

That Heritage Advisory Committee meeting HAC 21-13 be adjourned at 8:51pm on July 29<sup>th</sup>, 2021.

**Discussion:** None.

**Minutes accepted on:**





July 9, 2021

The Chief Administrative Officer  
City of Dawson. P O Box 308 Dawson City, YT. Y0B1G0

Dear Cory Bellmore,

**RE: City of Dawson support for Tr'ondek Hwech'in Jeze Zho Men's Shelter on 1217 2<sup>nd</sup> Avenue.**

Tr'ondek Hwech'in is developing a Men's Shelter that will greatly enhance the emergency shelter service that TH has been offering in the community. We have made substantial progress in the development of the new facility, and recently submitted a development permit application to the City of Dawson.

50% of those served by the current shelter service over the last 3 years are non TH citizens. The new shelter will have ten units. There will be two emergency rooms for those with immediate needs, six transitional units, and two highly supported units that will allow long term supported living. In addition to providing accommodation, we will continue to provide services such as support with housing, resumes or job applications, daily hot meals, harm reduction services and referrals to other support agencies and outreach services.

We plan to start construction this year, and have it available for use by the winter of 2022. We are requesting the City of Dawson to partner with us and contribute or support the development and operation of the facility in the following ways:

1. Waiving of Load Capacity Charges as in kind contributions for construction.
2. Waiving of Water and Sewer connection charges as in kind contribution contributions for construction.
3. Waiving of Planning and development application fees as in kind contributions for construction.
4. Waiving of parking stall requirements as in kind contributions for construction.
5. Making a one time cash contribution to the construction.
6. Making the equivalent of the Development Incentive Program regrading tax relief for 7 or more years available to Tr'ondek Hwech'in, as the building meets the criteria.

Tr'ondek Hwech'in is a Self Governing First Nation, but we do not have revenues or a drawn down mandate for providing this service. We are working with partners and stakeholders with



an interest in the community to make the project possible, and look forward to the added support of the City of Dawson.

Sincerely,

**Peter Marangu**

**Housing and Infrastructure Director**



July 9, 2021

The Chief Administrative Officer  
City of Dawson. P O Box 308 Dawson City, YT. Y0B1G0

Dear Cory Bellmore,

**RE: Exemption of Tr'ondek Hwech'in Jeze Zho Men's Shelter on 1217 2<sup>nd</sup> Avenue from the Gold Rush Era Heritage Guidelines.**

Tr'ondek Hwech'in is developing a Men's Shelter that will greatly enhance the emergency shelter service that TH has been offering in the community. Most recently, we have applied for a development permit (DP# 21-068) for the multi-unit residential construction.

Our understanding is that before development permits are approved, the city will ensure adherence to bylaws that allow a safe and pleasant community. We are happy to address any concerns about setbacks, drainage, fire safety etc.

In addition, all Dawson residents are expected to present their plans to the Heritage Advisory Committee. The Heritage Advisory Committee has a mandate to support the 2008 Dawson City Heritage Management Plan that provides the following recommendations for the Downtown Heritage Management Area.

*Treatment of new infill construction: Buildings should replicate (reconstruct) the external design of the building that stood on that particular site during the Gold Rush era (ca. 1896-1910), when there is sound historic evidence as to the appearance of the former building. In certain instances, an alternative source for replication may be selected.*

*When there is insufficient historic evidence concerning the appearance of the former building to enable good replication, then new infill construction will adopt the 'Dawson Style' (explained below with the Residential Heritage Management Area and in Section 6.2)*

The guidelines currently do not encourage or accept the expression of Tr'ondek Hwech'in culture and heritage through our buildings. This community building will provide shelter, healing, sanctuary, community, strength and support to those most in need and should be warm and welcoming.



We are requesting that the plans of the building be exempted from the requirements of Gold Rush Era construction. Further, we are also look forward to participating with the City of Dawson in future heritage and cultural plans and initiatives.

Sincerely,

**Peter Marangu**

**Housing and Infrastructure Director**